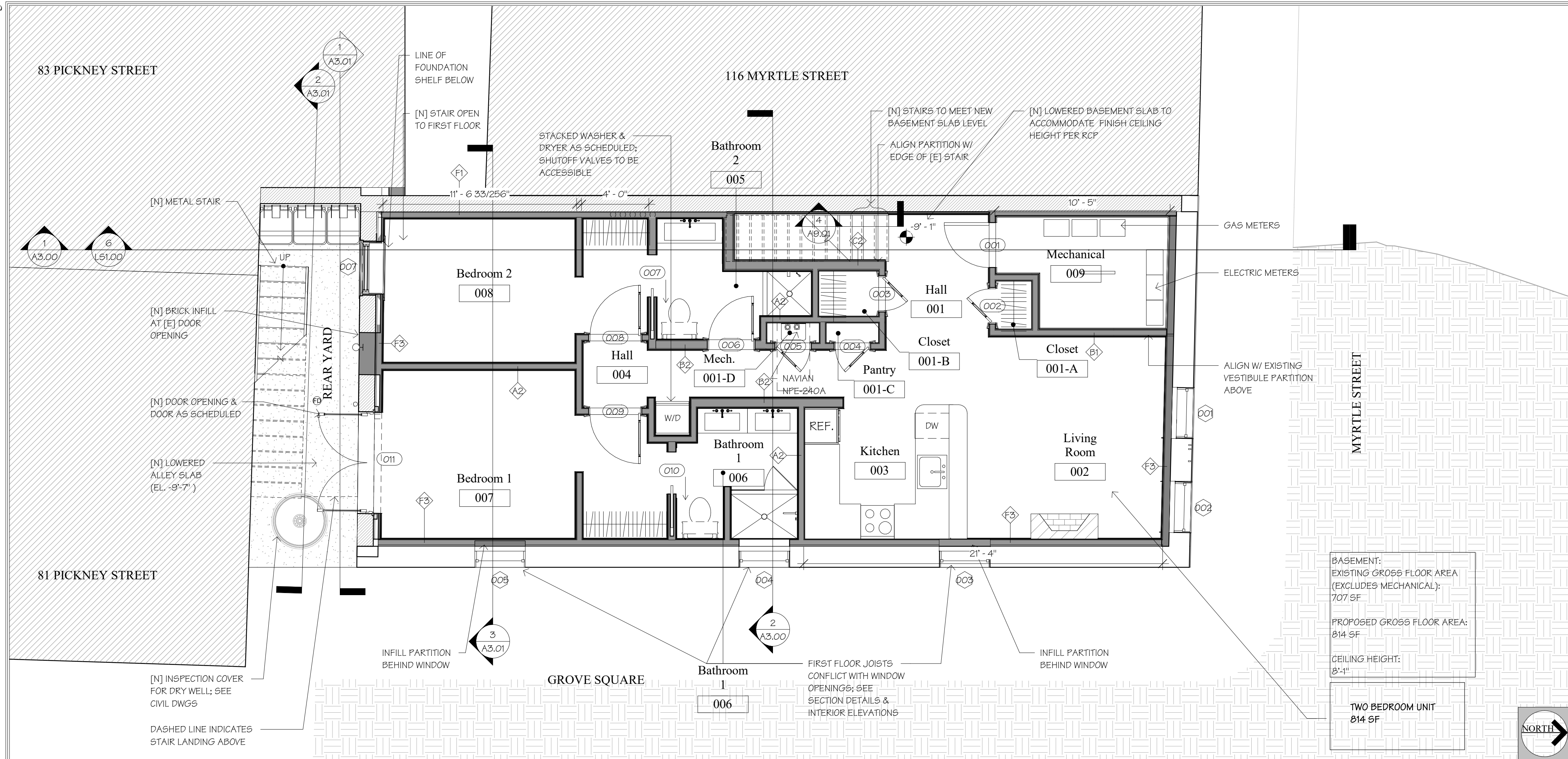


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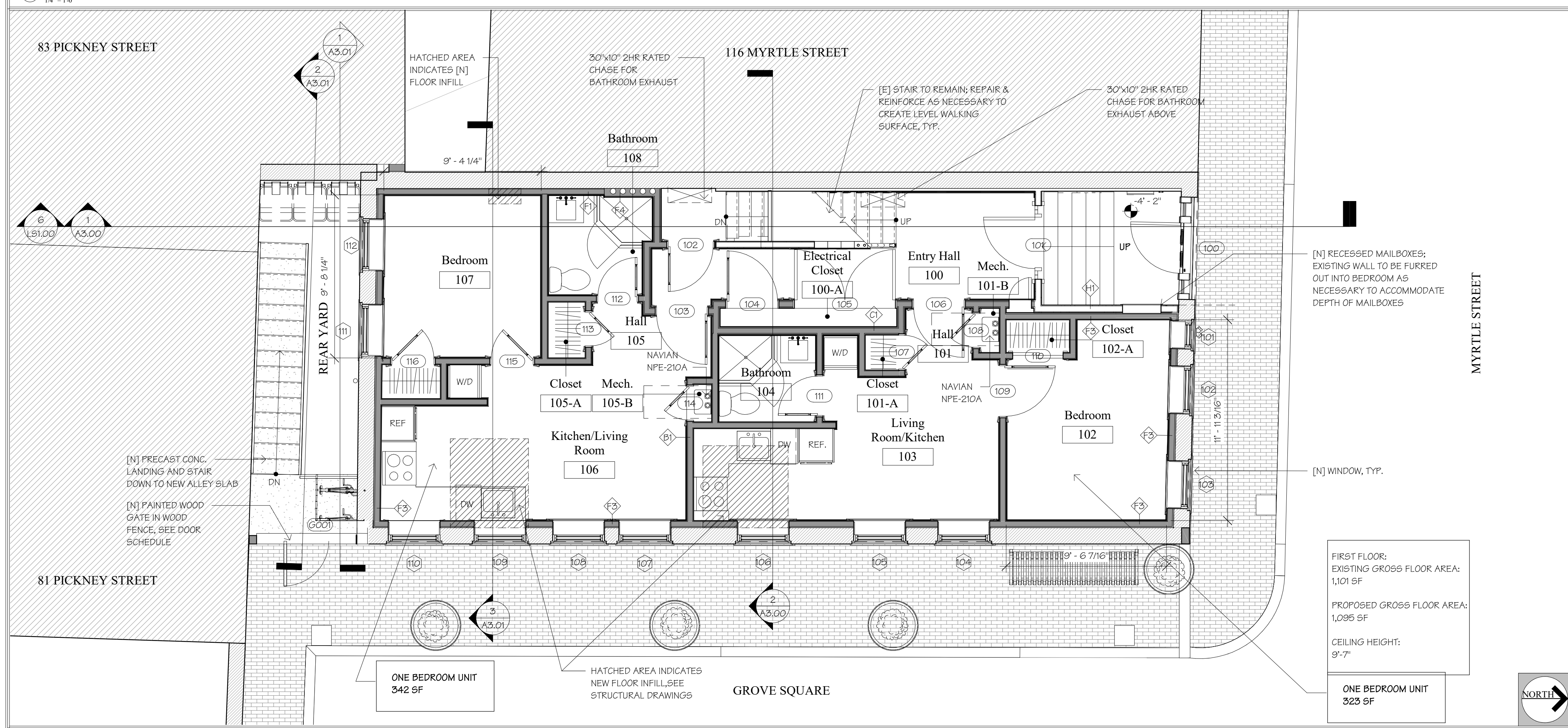


1 Proposed Basement Plan
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

- TYPICAL WALL AND CEILING ASSEMBLIES:
 - UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 - NEW AND/OR PATCHED CEILING SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER.
 - G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING. COORDINATE WITH ELEVATIONS.
 - ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR BUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
 - PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT UNDO.
 - ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
 - G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN BATHROOM WALLS, CEILING AND FLOORS, TO ENSURE ACOUSTICAL INSULATION.
 - INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILING SHALL BE LATEX, U.N.O.
 - AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
 - ALL BATHROOM ACCESSORIES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C. ALL MIRRORS AND MEDICINE CABINETS SHOWN SHALL BE CARRIED IN BASE BID (U.N.O.). G.C. TO PROVIDE BLOCKING BEHIND FIXTURES (TYP.)
 - AT ALL CLOSETS AND COAT CLOSETS, DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED.
 - G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK, TYPICAL. FULLY PROTECT EXISTING WOOD FLOORS DURING CONSTRUCTION.
- CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRING ANY DAMAGES, NICKS, SCRATCHES, DETAILS, AND ALL NOTES FOR SCOPE OF WORK. ANY ALLOWANCES PROVIDED ARE FOR MATERIALS ONLY, UNLESS OTHERWISE NOTED. ALL LABOR SHALL BE CARRIED IN BASE BID, TYPICAL.
- UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE LOCATED 5" FROM ADJACENT WALL AND DOOR JAMBS.
 - G.C. SHALL PROTECT EXISTING MECHANICAL, ELECTRICAL AND PLUMBING WORK IN PLACE AND COORDINATE NEW WORK WITH M.E.P. CONTRACTORS, TYPICAL.
 - ALL RE-ROUTED PIPING AT BASEMENT SHALL BE FULLY CONCEALED. ALL ROUTING MUST BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
 - COORDINATE ALL DUCT WORK & GRILL LOCATIONS W/ ARCHITECT PRIOR TO INSTALLATION OF ANY CONNECTIONS TO HVAC SYSTEM.
 - DIMENSIONS:
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
 - DRAWINGS ARE NOT TO BE SCALED-VERIFY ANY MISSING OR CONFLICTING DIMENSIONS WITH THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION.
 - NOTIFY ARCHITECT OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.
- PLUMBING**
- PROVIDE, INSTALL, AND WARRANTY PLUMBING FIXTURES; REFER TO PLUMBING FIXTURE SCHEDULE FOR ALL MODELS, TYP.
 - PROVIDE NEW PVC STACKS TO NEW FIXTURE LOCATIONS. CONFIRM LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
 - TEST WATER PRESSURE TO SUPPORT NEW FIXTURE SCHEDULE. PROVIDE BOOSTER AS NECESSARY TO REACH REQUIRED LEVEL BY CODE.
 - PROVIDE NAVIAN TANKLESS WATER HEATERS AT EACH UNIT'S MECHANICAL CLOSET.
- MECHANICAL**
- G.C. TO COORDINATE AND INSTALL NEW MECHANICAL SYSTEM. EACH APARTMENT UNIT TO HAVE UNICO "M" SERIES AIR HANDLER UNIT AND CONDENSER AT ROOF.
 - PROVIDE HYDRONIC HEATING AT ALL WINDOWS WITHIN APARTMENT UNITS. (ADD. ALT. TO BE REVIEWED BY MECH. INSTALLER)
 - PROVIDE NEOPRENE OR SPRING ISOLATORS FOR HANGING UNICO UNITS.
- General Notes:**
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.

General Construction Notes
1/4" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"

PLAN LEGEND

	NEW DOOR		DETAIL #
	NEW WALL		SECTION TAG
	NEW MASONRY INFILL WALL		SHEET #
	EXISTING WALL TO REMAIN		DETAIL #
	EXISTING MASONRY WALL TO REMAIN		EXTERIOR ELEVATION TAG
	NEW WINDOW		SHEET #
	ROOM TAG		DETAIL #
	WINDOW TAG; REFER TO WINDOW SCHEDULE A7.00		INTERIOR ELEVATION TAG
	DOOR TAG; REFER TO DOOR SCHEDULE A7.06		SHEET #
	3'-0" DIMENSION TO FRAMING		DETAIL #
	3'-0" DIMENSION TO FINISH		ENLARGED PLAN KEY
	WALL TYPE; REFER TO A1.10		SHEET #
	R.D. ROOF DRAIN		U.N.O. UNLESS NOTED OTHERWISE
	C.L. CENTERLINE		A.F.F. ABOVE FINISHED FLOOR
	G.C. GENERAL CONTRACTOR		V.I.F. VERIFY IN FIELD
	A.H. AIR HANDLER		E.H. EXISTING
	FEC RECESSED FIRE EXTINGUISHER CABINET		N NEW
	FH FIRE HOSE CABINET		S.H. SHOWER HEAD

Plan Legend
1/4" = 1'-0"

P: 617.266.2952
F: 617.266.0555
390 Commonwealth Avenue
Boston, Massachusetts 02215

Project:
112 Myrtle Street
Boston, MA

Issue Dates and Revisions:
Permit Set 02/14/20

General Contractor shall lay out in the field the entire work to verify dimensional relationships before proceeding with any part, and shall verify all existing conditions and locations before proceeding.

Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor cost, if a discrepancy which could have been discovered causes modifications to the plans.

Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.

Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.

Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

Registration:

Drawing Title:
Proposed Basement & First Floor Plan

Drawn: Author

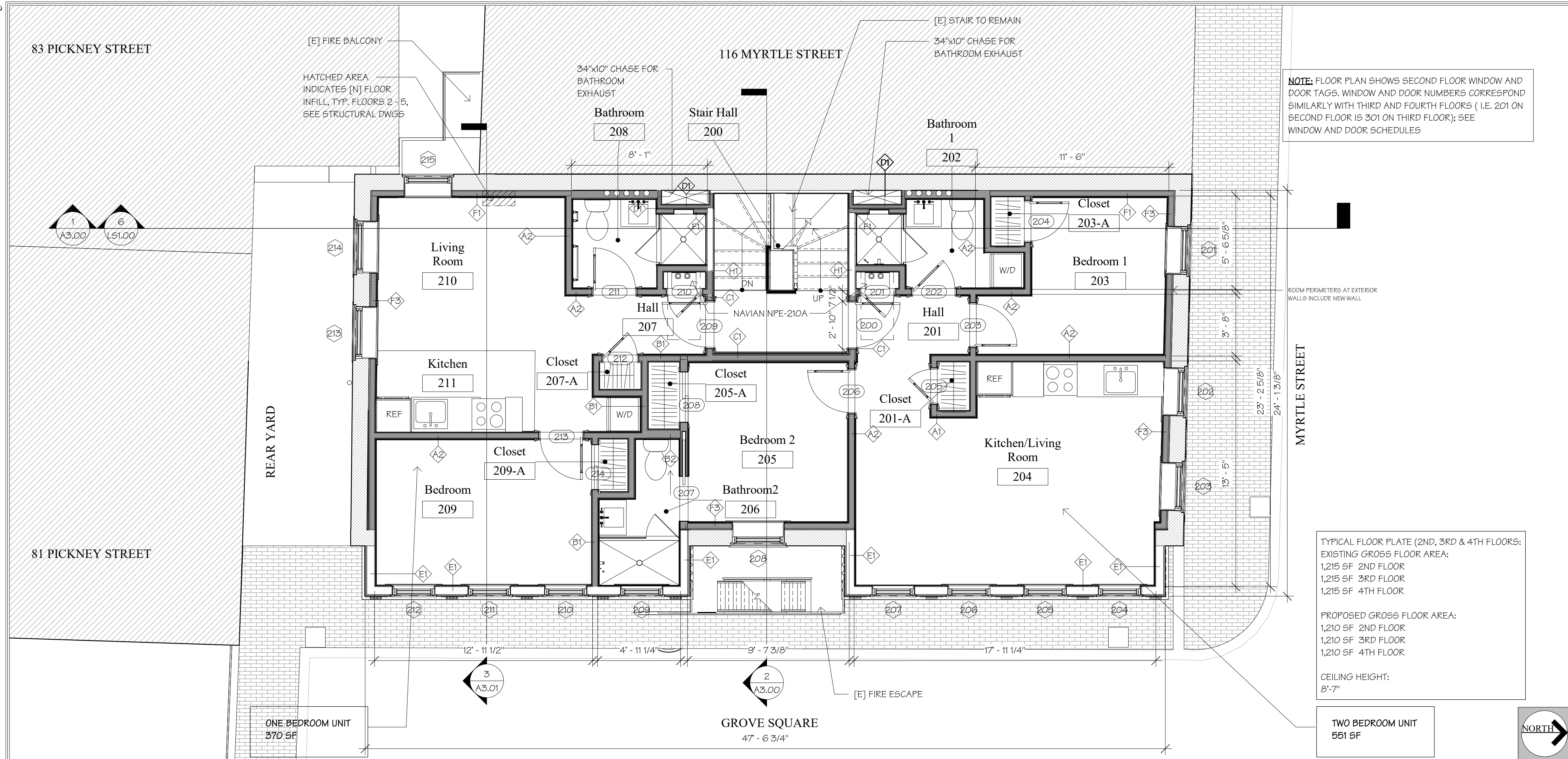
Checked: Checker

Project Number: 11260

Date: 05/01/2020

Drawing Number:

A1.00



1 Typical Floor Plan (Floors 2-4)
1/4" = 1/8"

GENERAL CONSTRUCTION NOTES

- TYPICAL WALL AND CEILING ASSEMBLIES:
 - UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES
 - NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER.
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- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.
- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
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CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRING ANY DAMAGES, NICKS, SCRATCHES.

- REFER TO ALL DRAWINGS, SCHEDULES, ALLOWANCES, DETAILS, AND ALL NOTES FOR SCOPE OF WORK. ANY ALLOWANCES PROVIDED ARE FOR MATERIALS ONLY, UNLESS OTHERWISE NOTED. ALL LABOR SHALL BE CARRIED IN BASE BID, TYPICAL.
- ALL CLOSETS SHALL BE 2'-0" DEEP UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE LOCATED 5" FROM ADJACENT WALL AND DOOR JAMBS.
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 All dimensions to interior/exterior walls indicated are to face of stud wall or concrete/m.u. unless noted otherwise.
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General Construction Notes
1/4" = 1/4"

MEYER & MEYER
 ARCHITECTURE AND INTERIORS

F: 617.266.2952
 T: 617.266.0555

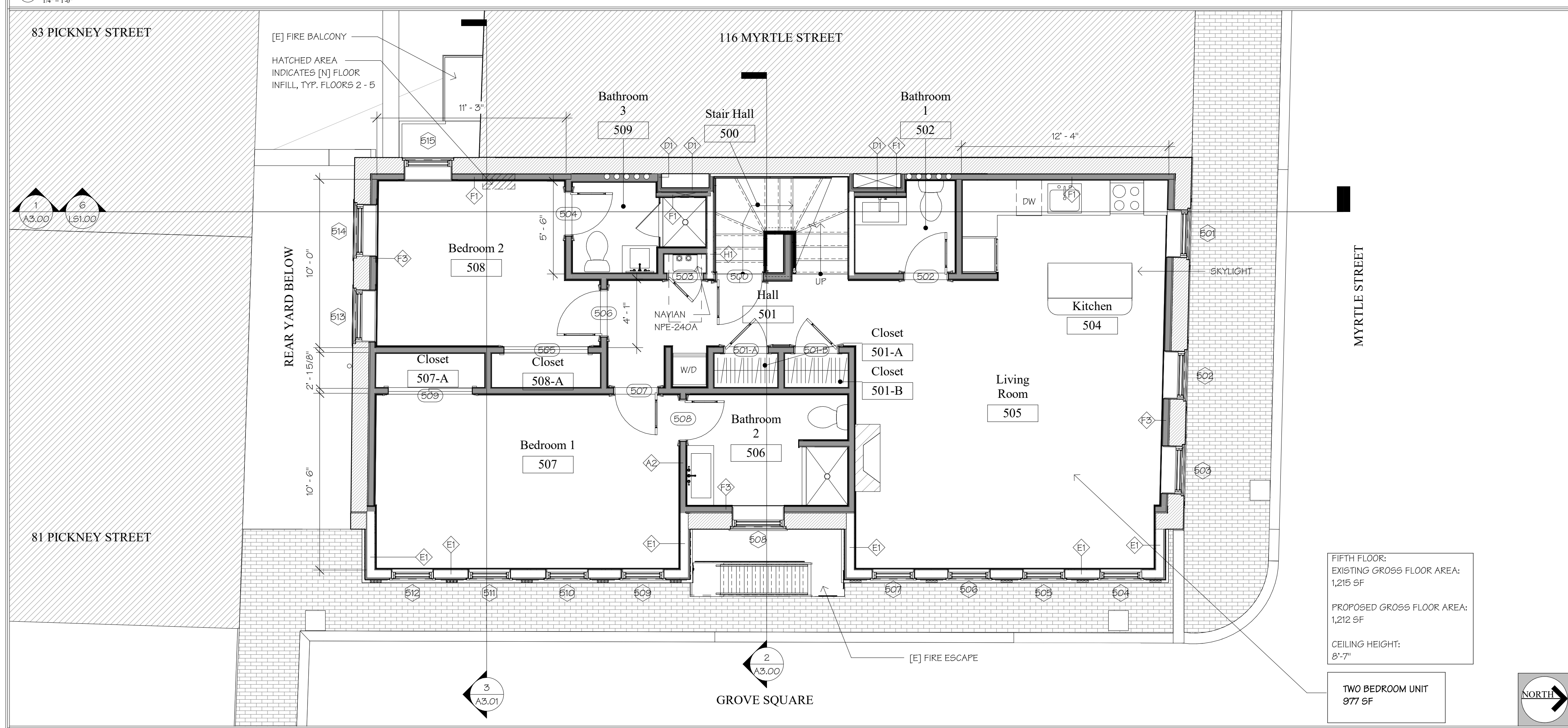
390 Commonwealth Avenue
 Boston, Massachusetts 02215

Project:
112 Myrtle Street

Boston, MA

Issue Dates and Revisions:
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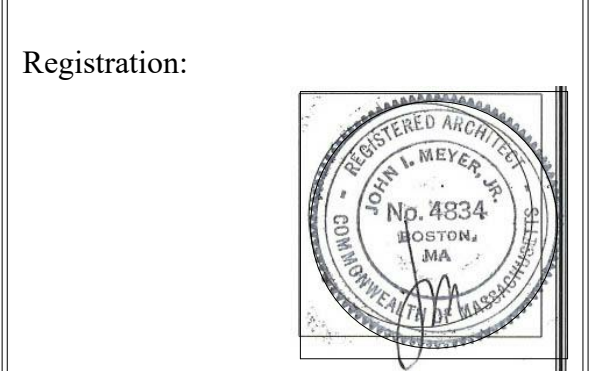


2 Fifth Floor Plan
1/4" = 1/8"

PLAN LEGEND

	NEW DOOR		DETAIL #
	NEW WALL		SECTION TAG
	NEW MASONRY INFILL WALL		EXTERIOR ELEVATION TAG
	EXISTING WALL TO REMAIN		INTERIOR ELEVATION TAG
	EXISTING MASONRY WALL TO REMAIN		ENLARGED PLAN KEY
	NEW WINDOW		ROOM TAG
	WINDOW TAG; REFER TO WINDOW SCHEDULE A7.00		DOOR TAG; REFER TO DOOR SCHEDULE A7.06
	DIMENSION TO FRAMING		R.D. ROOF DRAIN
	DIMENSION TO FINISH		UNLESS NOTED OTHERWISE CENTERLINE
	WALL TYPE; REFER TO A1.10		A.F.F. ABOVE FINISHED FLOOR
			G.C. GENERAL CONTRACTOR
			V.I.F. VERIFY IN FIELD
			AH AIR HANDLER
			[E] EXISTING
			[N] NEW
			SHOWER HEAD
			FEC RECESSED FIRE EXTINGUISHER CABINET
			FH FIRE HOSE CABINET

4 Plan Legend
1/4" = 1/4"



Registration:

Drawing Title:
Proposed Typical Floor Plan (2nd, 3rd, 4th) & Fifth Floor Plan

Drawn: _____ Author

Checked: _____ Checker

Project Number: 11260

Date: 05/01/2020

Drawing Number:

A1.01