

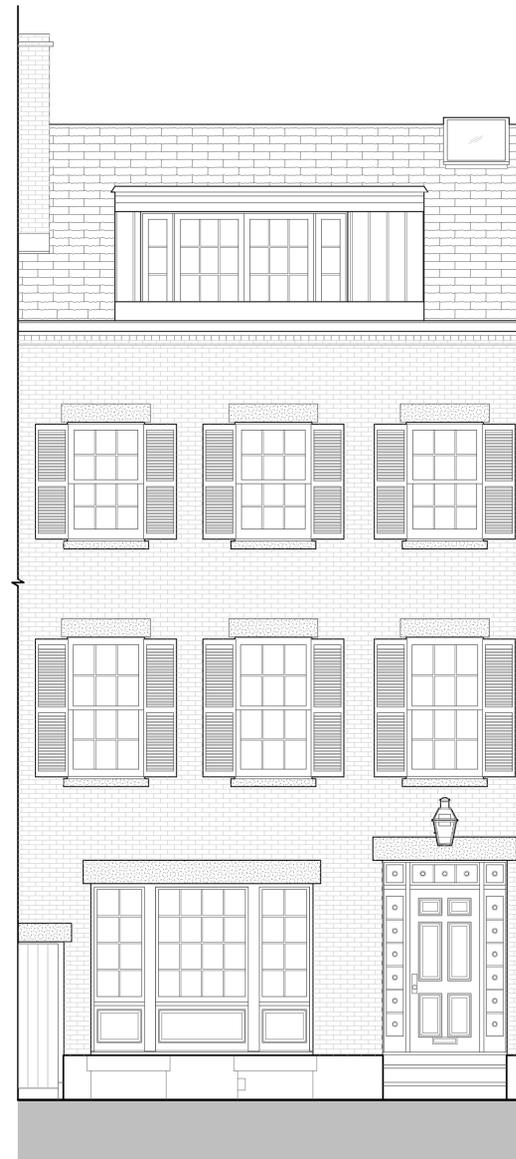
PATON RESIDENCE

88 CHESTNUT STREET, BOSTON, MA 02108

EXTERIOR & INTERIOR RENOVATIONS

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KRISTIN PATON
INTERIORS



the
HOLLAND COMPANIES
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INTERIOR RENOVATIONS
PATON RESIDENCE
88 CHESTNUT ST., BOSTON, MA 02108

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETRY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

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DRAWING

T100

COVER SHEET

SCALE: AS NOTED
DRAWN BY: MJR
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CONSTRUCTION SET

ABBREVIATIONS

@	AT
A.I.C.	ACOUSTICAL TIE CEILING
ASMS	ALUMINUM
AF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AVG	ABOVE AVERAGE FINISH GRADE
BC	BASE CABINET
BD	BOARD
BIT	BITUMINOUS
BLOG	BUILDING
BO	BOTTOM OF
BTM	BOTTOM
CAT	CATALOG
CB	CEMENT BOARD
CC	CORNER CHAIR
CHM	CHEMICAL
CP	CAST IN PLACE
CJ	CONTROL JOINT
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMB	COMBINATION
CONC	CONCRETE
CO	CONCRETE OPENING
CONT	CONTINUOUS
CONSTR	CONSTRUCTION
CPY	CARPET
DB	DRAWER BASE
DB	DIAMETER
DM	DIMENSION
DISP	DISPENSER
DN	DOWN
DO	DOIT
DS	DOWNSPOUT
DSS	DOWNSPOUT SHOE
DRW	DRYWALL/DOOR WIDTH
DWG(S)	DRAWING(S)
EL	ELEVATION
ESMT	EASEMENT
ETR	EXISTING
EXT'S	EXISTING
EX/JT	EXPANSION JOINT
EXT	EXTERIOR
EQ	EQUAL
EW	ELECTRIC WATER COOLER
FBC	FURNISHED BY OTHERS INSTALL BY G.C.
FE	FIRE EXTINGUISHER
FF	FINISHED FLOOR
FLR	FLOOR
FLAM	FLAMMABLE
FND	FOUNDATION
FT	FOOT
FR	FIRE RETARDANT
FR	FIRE RETARDANT TREATED
GA	GIASE
GC	GENERAL CONTRACTOR
GB	GRADED GRAVEL BORROW
GYP	GYPSSUM
HM	HOLLOW METAL
HRZ	HORIZONTAL
HP	HIGH POINT
HYAC	HEATING, VENTILATION, AIR CONDITIONING
IE	SUCH AS
INSUL	INSULATION
INV	INVERT
JT	JOINT
KNEE	KNEE SPACE BETWEEN CABINETS
LCC	LEAD COATED COPPER
LP	LOW POINT
MAX	MAXIMUM
MEMB	MEMBRANE
MH	MANHOLE
MIN	MINIMUM
MBC	MASONRY BLOCK COURSE
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
NC	NOT IN CONTRACT
NOM	NOMINAL
OC	ON CENTER
OPNG	OPENING
PLAS	PLASTER
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
POLY	POLYETHYLENE
PT	PRESSURE TREATED
PVC	POLYVINYLCHLORIDE
RFT	RADIUM RESISTENT TILE
RS	RESILIENT SHEET
RT	RESILIENT TILE
RAD	RADIUS
RDP	REFLECTED CEILING PLAN
REQD	REQUIRED
RESIL	RESILIENT
RM	ROOM
RTU	ROOF TOP UNIT
SCW	SOLID CORE WOOD
SF	SUBFLOOR
SFT	STRUCTURAL GLAZED FACING TILE
SPF	SOLID PLY WOOD FABRICATION
SS	SPECIFICATION STEEL
S/S	STAINLESS STEEL
ST	STONE TILE
STL	STEEL
STOR	STORAGE
SUSP	SUSPENDED
TMP	TEMPERED GLASS PANEL
TB	TEST BORING
THK	THICK
TOP	TOP OF
TOW	TOP OF WALL
TYP	TYPICAL
UND	UNLESS NOTED OTHERWISE
UP	UTILITY POLE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VTR	VENT THROUGH ROOF
VWC	VINYL WALLCOVERING
WC	WALL CABINETS
WD	WOOD
WOW	WINDOW
WP	WATERPROOF
WW	WELDED WIRE FABRIC
VP	VENEER PLASTER
VWF	VERTICAL WALL REINFORCING

GENERAL NOTES

- ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH THE REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS, NATIONAL FIRE PROTECTION ASSOCIATION, STATE AND LOCAL BUILDING CODES, LOCAL FIRE DEPARTMENT AUTHORITIES, UTILITY COMPANIES, HEALTH DEPARTMENT, AND THE BEST TRADE PRACTICES.
- THE BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR AND SHALL OBTAIN ALL OTHER PERMITS AND APPROVALS AS REQUIRED BY THE LAW FOR THE COMPLETION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL FEES IN CONNECTION WITH THESE APPROVALS.
- BEFORE COMMENCING WITH THE WORK, THE CONTRACTOR SHALL FILE ALL CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT AND PAY ALL FEES AS REQUIRED BY THE GOVERNING AGENCIES. ALL WORK SHALL BE DONE BY RESPONSIBLE AND LICENSED CONTRACTORS WHO SHALL PROVIDE PROPERTY DAMAGE, LIABILITY AND BODILY INJURY INSURANCE IN THE AMOUNT AS REQUIRED BY THE OWNERS. CERTIFICATES OF INSURANCE ARE TO BE PRESENTED TO THE OWNERS PRIOR TO COMMENCEMENT OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO SUBMITTING A BID, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS TO THE ARCHITECT.
- THE SUBMISSION OF A BID AND SUBSEQUENT EXECUTION OF THE CONTRACTS SHALL BE CONSIDERED AS EVIDENCE THAT A CAREFUL AND THOROUGH EXAMINATION OF THE PREMISES WAS MADE BY THE CONTRACTOR. A LATER CLAIMS FOR LABOR, MATERIALS OR EQUIPMENT REQUIRED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY FORESEEN HAS SUCH EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.
- THE WORK CONSISTS OF FURNISHING, ALL LABOR, EQUIPMENT, TOOLS, TRANSPORTATION, SUPPLIES, FEES, MATERIALS, AND SERVICES IN ACCORDANCE WITH THESE DRAWINGS AND NOTES, AND PERFORMING ALL OPERATIONS NECESSARY TO CONSTRUCT AND INSTALL COMPLETE AND IN SATISFACTORY CONDITION, THE VARIOUS WORK DESCRIBED HEREIN, AND IN CONFORMITY TO THE DIMENSIONS, DESIGN AND DETAILS SHOWN. IT IS INTENDED THAT THE DRAWINGS INCLUDE EVERYTHING NECESSARY TO FINISH THE WORK PROPERLY. ANY ITEM WHICH MAY BE REASONABLY CONSIDERED AS INCIDENTAL TO THE PROPER AND SATISFACTORY COMPLETION OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS AND NOTES IS HEREBY INCLUDED.
- FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND/OR SIMILAR DETAIL.
- THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES.
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER THE MANUFACTURERS WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS AND SHALL PROVIDE ANY AND ALL PARTS, ACCESSORIES, EQUIPMENT, PIECES, WIRING, ETC. AS RECOMMENDED AS NEEDS FOR A FULL FUNCTIONING SYSTEM.
- CONTRACTOR SHALL ASSIST IN DELIVERY AND STORAGE OF ANY ALL OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH. CONTRACTOR SHALL COORDINATE WITH THE OWNER.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION, AND SHALL SUBMIT SAMPLES OF MATERIALS AND COLOR/FINISHES FOR ARCHITECT APPROVAL BEFORE ANY WORK COMMENCES.
- ALL WOOD IN CONTACT WITH GROUND TO BE PRESSURE TREATED
- FLASHINGS SHALL BE INSTALLED AT ALL WINDOWS, DOORS, WATER TABLES, VENEERS AND AT ANY HORIZONTAL WOOD TRIM (OR SEAMS) WHERE THE TOP IS EXPOSED TO THE WEATHER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AN SMALL REPLACE / REMEDY ANY FAULTY, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
- CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR PROJECT CLOSEOUT, PRIOR TO FINAL PAYMENT. CONTRACTOR SHALL PROVIDE OWNER WITH ALL STANDARD GUARANTEES AND WARRANTIES. CONTRACTOR TO PROVIDE ALL ORIGINAL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, AND COORDINATE THE TEMPORARY AND FINAL CERTIFICATE OF OCCUPANCY WITH OWNER.
- CONTRACTOR TO VERIFY ALL QUANTITIES IN THE CONTRACT DOCUMENTS, ANY QUANTITIES, AREAS AND TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING AREAS AND QUANTITIES NOTED IN THIS CONTRACT SET AND ASSOCIATED DOCUMENTS (WHICH SHALL BE OWNED AND VERIFIED BY THE CONTRACTOR).
- PAINTING, VARNISHING OR THE USE OF ANY OTHER NOXIOUS SUBSTANCES MUST BE ISOLATED FROM ANY / ALL ADJOINING SPACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL, CLEANING OF THE ENTIRE RESIDENCE, INSIDE AND OUT, PRIOR TO THE FINAL WALK THROUGH AND THE OWNER TAKING POSSESSION OF THE PROPERTY. ALL EXPOSED SURFACES MUST BE MOPPED CLEAN, ALL FLOORS MOPPED CLEAN, CARPETING VACUUMED, TILES CLEANED AND LAWN MOWED (IF APPLICABLE).
- CONTRACTOR TO PROVIDE COPIES OF AS-BUILT INFORMATION, OPERATION AND MAINTENANCE (O&M) MANUALS INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES PRIOR TO PROJECT CLOSE-OUT AND FINAL PAYMENT.
- GENERAL CONTRACTOR AND SUB-CONTRACTOR SHALL PROVIDE PRODUCT TRAINING ON ALL INSTALLED SYSTEMS TO OWNER BEFORE PROJECT CLOSE-OUT AND FINAL PAYMENT IS MADE.
- CONTRACTOR SHALL KEEP A CURRENT SET OF CONSTRUCTION DRAWINGS (INCLUDING CONSTRUCTION DRAWINGS, RFP'S, AS BUILT, SHOP DRAWINGS, PROJECT MANUALS) ON SITE AT ALL TIMES. CONTRACTOR SHALL DISPOSE OF ALL DRAWINGS THAT ARE NOT UP-TO-DATE.
- DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. DETAIL DIMENSIONS TAKE PRECEDENCE OVER LARGER PLAN SECTIONAL DIMENSIONS. ANY INCONSISTENCY AND/OR CONFLICTING DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IMMEDIATELY, FOR CLARIFICATION. CONTRACTOR SHALL NOT, AT ANY TIME, SCALE DIMENSIONS OR ELEMENTS OF DRAWINGS. PLEASE CONTACT ARCHITECT FOR DIMENSIONS IN QUESTION.
- IF THERE IS ANY CONFLICTING INFORMATION OR NOTES ON THE DRAWINGS, THE CONSULTANT'S DRAWINGS SHALL SUPERSEDE GOVERN, DETAIL DRAWINGS AND WRITTEN SPECIFICATIONS SHALL SUPERSEDE OTHER LARGER SCALED DRAWINGS. CONTACT ARCHITECT PROMPTLY IF ANY SAID CONFLICTS IF FURTHER CLARIFICATIONS ARE WARRANTED.

SITE WORK

- TRANSPLANTATION: THE OWNERS SHALL CONTRACT WITH AN INDEPENDENT LANDSCAPE CONTRACTOR WHO SHALL TRANSPLANT SHRUBS PRIOR TO EXCAVATION AND MAINTAIN THEM DURING CONSTRUCTION.
- EXISTING TREES: THE GENERAL CONTRACTOR SHALL PROTECT EXISTING TREES AS REQUIRED BY TOWN ORDINANCES. ERECT TEMPORARY FENCING (4'-0" HIGH ON DRIVE STAKES) AT LOCATIONS INDICATED ON THE SITE ENGINEER'S PLAN. THE GENERAL CONTRACTOR SHALL REMOVE EXISTING TREES AND STUMPS WHERE INDICATED ON SITE PLAN.
- GRADING: CONTRACTOR SHALL BE RESPONSIBLE FOR ROUGH GRADING ONLY. THE GC SHALL BAKE SMOOTH AND REMOVE ALL STUMPS, DEBRIS AND STONES OVER 6" IN DIAMETER. SEE SITE GRADING PLAN (IF APPLICABLE). CONTRACTOR SHALL MAKE SITE INSPECTIONS TO VERIFY EXACT CONDITIONS OF EXISTING GRADES. UTILIZE ALL FILL FROM FOUNDATION EXCAVATION WHERE POSSIBLE. TRUCK IN FILL OR REMOVE EXCESS AS MAY BE REQUIRED. SLOPE ALL GRADES AWAY FROM HOUSE FOR PROPER DRAINAGE.
- DRIVEWAYS (IF APPLICABLE): REMOVE ASPHALT AT EXISTING DRIVEWAY AND DISPOSE OF LEGALLY. SEE SITE PLAN FOR CONFIGURATION OF NEW DRIVEWAY. INSTALL 12" OF MECHANICALLY COMPACTED DENSE-PACK MATERIAL WHERE REQUIRED. INSTALL NEW PAVING 1-1/2" BINDER AND 1-1/2" TOP COAT. SURFACE SHALL PITCH AWAY FROM GARAGE UNIFORMLY AND CROWNED TO DRAIN WITHOUT DEPRESSIONS.
- LANDSCAPING: THE OWNER'S INDEPENDENT LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ALL MASONRY WALKWAYS AND ALL SOFTSCAPE (INCLUDING FINISH GRASSING, TOPSOIL, PLANTING TREES, LAWNS, IRRIGATION, LANDSCAPE LIGHTING, AND OTHER LANDSCAPE IMPROVEMENT).

DEMOLITION & PROTECTION NOTES

- REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK DEPICTED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE WRITTEN SCOPE.
- DURING DEMOLITION PHASE, THE CONTRACTOR SHALL FOLLOW ALL OSHA, EPA, AND LOCAL REGULATIONS REQUIRED FOR DEMOLITION.
- FOR DEMOLITION, EPA REGULATIONS UNDER NATIONAL EMISSION STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NEESHAD), 40 CFR, PART M REQUIRED THE OWNER TO KNOW THE EXTENT OF LEAD AND ASBESTOS AT THE FACILITY PRIOR TO THE START OF THE WORK. THE CONTRACTOR SHALL REVIEW THE SURVEY AND RETAIN A LEAD AND ASBESTOS ABATEMENT CONTRACTOR TO REMOVE ALL CONTAMINANTS PRIOR TO DEMOLITION IN ACCORDANCE WITH APPLICABLE REGULATIONS. A LICENSED LEAD AND ASBESTOS CONTRACTOR SHALL COORDINATE THE WORK, PROVIDE A SCHEDULE AND ADMINISTER PAPERWORK WITH THE GENERAL CONTRACTOR FOR THE SURVEY / INSPECTION REPORT. CONTRACTOR SHALL REPORT TO THE OWNER FOR INSTRUCTION IF THERE IS ANY MOLD DURING INVESTIGATION, PRIOR TO ANY DEMOLITION.
- ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, OR INTERNATIONAL RESIDENTIAL CODE (DEPENDING UPON THE PROJECT TYPE), STANDARDS AND CONSTRUCTION PRACTICES. IN ADDITION TO THE INTERNATIONAL BUILDING / RESIDENTIAL CODE, ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES AND BYLAWS.
- ALL PERMITS SHALL BE OBTAINED FROM JURISDICTIONAL MUNICIPALITIES PRIOR TO DEMOLITION.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL CONDUCT A SITE VISIT TO FIELD INSPECT AND VERIFY ALL EXISTING BUILDING CONDITIONS, EXISTING CONCEALED CONDITIONS, UTILITY AND SERVICE CONNECTIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES IN DEMOLITION SCOPE OR ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER AND ARCHITECT BEFORE CONSTRUCTION BEGINS. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR.
- ALL SALVAGED ITEMS, SUCH AS LIGHTING FIXTURES, EQUIPMENT, FURNITURE, SHALL BE RETURNED AND STORED PER OWNER'S INSTRUCTIONS.
- ARCHITECT'S DRAWINGS ARE SHOWING GENERAL ITEMS TO BE REMOVED ONLY, AND DETAIL ITEMS SHALL BE REMOVED AFTER A FIELD REVIEW BY MEP ENGINEER, STRUCTURAL ENGINEER, AND OWNER.
- OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR ALL EQUIPMENT AND MATERIAL REMOVED DURING DEMOLITION, AND WILL PROMPTLY REMOVE SELECTED ITEMS, ALL OTHER DEMOLISHED MATERIALS ARE TO BE REMOVED AND DISPOSED OF OFFSITE.
- THE CONTRACTOR WILL MAINTAIN EXTINGUISHERS THAT ARE FULL AND IN GOOD WORKING CONDITION DURING DEMOLITION.
- THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP ALL UNUSED UTILITIES.
- CONTRACTOR AND SUB-CONTRACTORS TO REMOVE ALL ABANDONED HVAC SYSTEMS, DUCTWORK, GRILLES, CONTROLS, ASSOCIATED CONDUIITS, ANCHORS, FASTENERS, ETC. UNLESS SCHEDULED TO REMAIN OR SHOWN ON DRAWINGS TO REMAIN.
- CONTRACTOR AND SUB-CONTRACTORS SHALL REMOVE ALL ABANDONED ELECTRICAL SYSTEM (INCLUDING ANY REMAINING KNOB AND TUBE ELECTRICAL SYSTEMS, ALL ABANDONED LIGHTING SYSTEMS, ALL ABANDONED LOW VOLTAGE SYSTEMS INCLUDING ALL EQUIPMENT, DEVICES, WIRING, CONTROLS, ASSOCIATED CONDUIT, ANCHORS, FASTENERS, ETC., UNLESS SCHEDULED TO REMAIN OR SHOWN ON DRAWINGS TO REMAIN. THE ELECTRICAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR SAFE AND LAWFUL DISPOSAL OF FLUORESCENT TUBES, BALLASTS, BATTERIES AND OTHER HAZARDOUS MATERIALS ASSOCIATED WITH DEMOLITION.
- MEP CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL POWER, UTILITIES, MECHANICAL SAFETY FOR CONTRACTOR'S WORKERS DURING DEMOLITION PHASE.
- IN DEMOLITION PHASE, THE CONTRACTOR SHALL FIELD INVESTIGATE AND COORDINATE WITH MEP ENGINEERS, ALL ELECTRICAL PANELS, ELECTRICAL CONTROL DEVICES, MECHANICAL EQUIPMENT, EXPOSED PIPINGS, METER PRIOR REMOVAL; OTHERWISE, CONTRACTOR SHALL CHECK ALL MEP EQUIPMENTS TO ASSURE THEY ARE IN GOOD / WORKING CONDITIONS
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL REMOVE ALL ABANDONED PLUMBING SYSTEMS, PIPING, FIXTURES, ANCHORS, FASTENERS, ETC. UNLESS SCHEDULED TO REMAIN OR SHOWN ON DRAWINGS TO REMAIN.
- ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY, SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITION AT THE EXPENSE OF THE CONTRACTOR.
- ALL ADJOINING PROPERTY SHALL BE PROTECTED AGAINST ANY DAMAGE CAUSED BY THE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE OWNER'S PROPERTY AND CONTENTS THEREIN DURING THE WORK.
- ERECT TEMPORARY TREE PROTECTION FENCING (4'-0" HIGH ON DRIVE STAKES) AT LOCATIONS INDICATED ON SITE PLAN.
- ALL INTERIOR ROOMS NOT BEING EFFECTED BY CONSTRUCTION SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD. INSTALL PLWOOD BARRELS WITH PLASTIC SEALS AT ALL DOWNDRAWS AND OPENINGS BETWEEN JOB SITE AND OTHER AREAS OF THE HOUSE. INSTALL PL WOOD CHAIRS WITH PLASTIC SEALS AT ALL AIR DIFFUSERS AND RETURN TO ASSURE PROTECTION AGAINST PENETRATION OF DUST INTO MECHANICAL SYSTEM. ALL EXISTING SURFACES AND EQUIPMENT WHICH ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE COURSE OF THE WORK. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL DAMAGE TO PROPERTY DURING THE WORK, AND SHALL MAKE ALL REPAIRS W/D ADDITIONAL COST TO THE OWNER.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNTIL PORTIONS EFFECTED HAVE BEEN ADEQUATELY SUPPORTED AND BRACED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL MEMBERS AS REQUIRED. WHERE FIELD CUTTING IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE REINFORCEMENT IN THE WEAKENED AREAS.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT STRUCTURAL ENGINEER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTORS NON-CONTACT OF STRUCTURAL ENGINEER PRIOR TO REMOVAL OF ANY WORK, INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- STRUCTURAL ENGINEER TO FIELD INVESTIGATE EXISTING CONDITIONS DURING THE DEMOLITION PHASE. ALL PROPOSED STRUCTURAL WORK IS TO BE REVIEWED AND APPROVED BY A LICENSED STRUCTURAL ENGINEER.
- IF, DURING THE COURSE OF DEMOLITION, THE CONTRACTOR ENCOUNTERS SUBSURFACE CONDITIONS WHICH COULD NOT HAVE BEEN FORESEEN, HE SHALL GIVE IMMEDIATE NOTICE TO THE ARCHITECT AND OWNERS BEFORE PROCEEDING AND BEFORE THE CONDITION IS OBTURBED. NO ADDITIONAL CHARGE TO THE OWNER SHALL BE RECOGNIZED OR ACCEPTED WITHOUT WRITTEN APPROVAL OF THE OWNER.
- PROVIDE A TEMPORARY TOILET (PORT-A-JOHN) AT A REMOTE AREA OF THE CONSTRUCTION SITE
- ALL WORKMEN ON ALL TRADES SHALL NOT SMOKE ON THE PROPERTY
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. ALL DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE WORK PROCEEDS, AND THE SITE SHALL BE KEPT BROOM CLEAN AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL PAY THE COST OF HANDLING ALL MATERIALS.
- ALL EXISTING DRAWINGS IN THIS PROJECT SET ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY PRIOR TO DEMOLITION OR INSTALLATION.

ENERGY CONSERVATION & INSULATION

- ENERGY CODE COMPLIANCE WILL BE ACHIEVED WITH THE PRESCRIPTIVE METHOD.
- WORK TO COMPLY WITH THE VISUAL INSPECTION CHECKLIST OF THE 2018 IECC. PROVIDE A CONTINUOUS AIR BARRIER AROUND ALL CONDITIONS INTERIOR SPACES. ALL PENETRATION MUST BE SEALED WITH A SUITABLE AIR BARRIER MATERIAL, WHETHER CAULK, GASKETS, WEATHER STRIPPING, FILM OR SOLID MATERIAL. PAY SPECIAL ATTENTION TO THE FOLLOWING AREAS:
- ALL JOISTS & SEAMS
 - ALL PENETRATIONS, INCLUDING ELECTRICAL BOXES
 - BASEMENT FIRM JOIST AREAS
 - HILES FOR PLUMBING TRAPS UNDER TUBS AND SHOWERS
 - BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
 - CRACKS BETWEEN FINISH FLOORING AND BASEBOARD
 - UTILITY CHASIS THAT HIDE PIPES OR DUCTS
 - PLUMBING VENT PIPE PENETRATIONS
 - KITCHEN SIFTS ABOVE WALL CABINETS
 - FIREPLACE SURROUNDINGS
 - RECESSED CAN LIGHT PENETRATIONS
 - POORLY WEATHER STRIPPED ATTIC ACCESS HATCHES
 - CRACKS BETWEEN PARTITION TOP PLATES AND DRYWALL
 - ALL OTHER PENETRATIONS
- CONSULT WITH BUILDING INSPECTOR FOR ALL ENERGY CONSERVATION CODE REQUIREMENTS

NEIGHBORHOOD LOCUS MAP



GRAPHIC SYMBOLS

DETAIL NO. SHEET NO.	SECTION NO. SHEET NO.	DRAWING NO. SHEET NO.	SPOT ELEVATION DESIGNATION
WALL SECTION SYMBOL	DETAIL NO. SHEET NO.	PARTITION TYPE DESIGNATION	

DRAWING SYMBOLS

EARTH	STEEL	ALUMINUM
GRAVEL FILL	WOOD - ROUGH	RIGID INSULATION
CONCRETE	WOOD - BLOCKING	WOOD - FINISH
BRICK	PLYWOOD	BATT INSULATION
CMU	PLYWOOD - MOD	GYPSUM WALLBOARD
GRANITE		

BUILDING / ZONING CODE

CATEGORY	REQUIRED	PROVIDED	MEETS / EXCEEDS
MINIMUM LOT AREA PER DWELLING UNIT	NONE	N / A	
ADDITIONAL LOT AREA PER DWELLING UNIT	NONE	N / A	
LOT WIDTH MINIMUM (FT)	NONE	N / A	
MAXIMUM FLOOR AREA (S.F.)	2.0 = 1,325 X 2 = 2,650 S.F.	3,206 SQ. FT.	EXCEEDS MINIMUM BY 556 SQ. FT.
BUILDING HEIGHT MAXIMUM	NONE	N / A	
USABLE OPEN SPACE MINIMUM PER DWELLING UNIT	NONE	N / A	
FRONT YARD MINIMUM DEPTH	NONE	N / A	
SIDE YARD MINIMUM WIDTH	4'	UNCHANGED	
REAR YARD MINIMUM DEPTH	6.2'	UNCHANGED	
REAR YARD MAXIMUM OCCUPANCY BY ACCESSORY BUILDINGS	30%	UNCHANGED	

AREA TOTALS

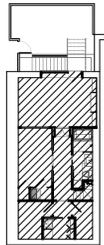
EXISTING TOTAL AREA = 2,925

PROPOSED TOTAL AREA = 3,206 SQ. FT.

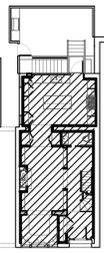
NET CHANGE IN AREA = 289 SQ. FT.

TOTAL LOT AREA = 1,325 SQ. FT.

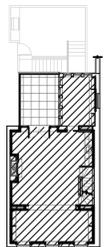
A1 LEVEL
EXISTING AREA = 458 SQ. FT.
PROPOSED AREA = 770 SQ. FT.
NET CHANGE IN AREA = 281 SQ. FT.



A2 LEVEL
EXISTING AREA = 768 SQ. FT.
PROPOSED AREA = 705 SQ. FT.
NET CHANGE IN AREA = 0 SQ. FT.



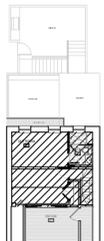
A3 LEVEL
EXISTING AREA = 708 SQ. FT.
PROPOSED AREA = 705 SQ. FT.
NET CHANGE IN AREA = 0 SQ. FT.



A4 LEVEL
EXISTING AREA = 583 SQ. FT.
PROPOSED AREA = 583 SQ. FT.
NET CHANGE IN AREA = 0 SQ. FT.



A5 LEVEL
EXISTING AREA = 371 SQ. FT.
PROPOSED AREA = 371 SQ. FT.
NET CHANGE IN AREA = 0 SQ. FT.



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LEGEND

EXISTING FOUNDATION
NEW FOUNDATION
EXISTING WALLS
DEMOLITION
NEW CONSTRUCTION
DOOR MARKER
WINDOW MARKER
PLUMBING MARKER
APPLIANCE MARKER
CABINETS MARKER
EXISTING WINDOW
NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING

T101

PROJECT NOTES

SCALE: AS NOTED JOB NO.: 22-22
DRAWN BY: MJR DATE: 10/3/2023

CONSTRUCTION SET



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com

- GENERAL NOTES:
1. ALL WORK TO BE AS PER BOSTON WATER & SEWER COMMISSION STANDARD SPECIFICATIONS.
 2. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5' OF COVER AND ALL TRENCHING, BACKFILLED AND PAVEMENT PATCHING SHALL CONFORM TO CITY STANDARDS. PROPOSED WATER SERVICES AND TAP TO BE SUPPLIED BY THE CONTRACTOR. THE METER TO BE SUPPLIED BY B.W.S.&C.
 3. THE B.W.S.&C. SHALL PROVIDE ONE METER PER STREET CONNECTION FOR UP TO A 2" METER. OTHER METERS TO BE SUPPLIED BY THE OWNERS.
 4. PIPE MATERIALS SHALL BE AS FOLLOWS:
A. SEWER AND DRAIN ON SITE TO BE PVC ASTM D-3034-SDR-35
B. WATER TO BE TYPE K COPPER
C. FIRE PIPE TO BE DCL CL. 52
 5. A DYE TEST WILL BE PERFORMED BY A B.W.S.&C. INSPECTOR BEFORE THE STRUCTURE IS OCCUPIED.
 6. EXISTING UTILITIES SHOWN ON THIS PLAN ARE COMPILED FROM RECORD PLANS AND APPROXIMATE FIELD LOCATION AND THEREFORE ARE NOT CERTIFIED FOR CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY DIGSAFE @ 1-888-344-7233 FOR ACTUAL SITE MARKING. STATE LAWS REQUIRE A MINIMUM OF 72 HOUR NOTICE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS PRIOR TO CONSTRUCTION.
 7. THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF WATER, SEWER AND DRAIN CONNECTIONS TO THE B.W.S.&C. FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF THE OWNERSHIP AND MAINTENANCE OF THE CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS. IF THE CONNECTIONS CROSS OR OR ARE NEAR PROPERTY LINES, PROVISIONS MUST BE MADE TO ALLOW EACH OTHER TO MAINTAIN OR RECONSTRUCT THEIR RESPECTIVE CONNECTIONS. THIS FACT MUST BE INCORPORATED INTO ANY PURCHASE AND SALES AGREEMENT AND DEEDS RELATED TO THE TRANSFER OF OWNERSHIP OF THE PROPERTIES.
 8. A ROUGH CONSTRUCTION SIGN-OFF SHALL BE OBTAINED FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT. TWENTY FOUR HOUR ADVANCE NOTICE IS REQUIRED FOR INSPECTION SCHEDULING. IF THE INSPECTION DATE IS SCHEDULED ON THE WEEKEND, HOLIDAYS OR AFTER REGULAR WORK HOURS, AND THE CONTRACTOR FAILS TO NOTIFY THE B.W.S.&C. INSPECTORS OF CANCELLATION IN ADVANCE, AN ADDITIONAL INSPECTION FEE WILL BE CHARGED TO THE CONTRACTOR WHEN THE JOB IS SUBSEQUENTLY RESCHEDULED.
 9. ALL ROOF DRAINS SHALL BE DISCHARGED INTO UNDERGROUND INFILTRATION SYSTEM UNLESS NOTED OTHERWISE.
 10. UTILITY STATION 0+00 IS LOCATED AT FOR CHESTNUT STREET IS LOCATED AT SMH 227
 11. ANTICIPATED FLOW:
PROPOSED # OF BEDROOMS:
110 G.P.D. x X BEDROOMS = XXX G.P.D.



FOR BOSTON WATER & SEWER COMMISSION USE ONLY

SCALED FROM ASSESSORS

FIXTURE COUNT CALCULATIONS

FIXTURE	# FIXTURES	FACTOR VALUE
TOILETS (TANK)	XX	HOT 1 COLD 1
BATH/SHOWER	XX	2
HAND WASH SINK	XX	1
DISHWASHER (DOMESTIC)	XX	2
KITCHEN SINK (RESIDENTIAL)	XX	2
LAUNDRY VALVE	XX	2
HOSE CONNECTION	XX	2
TOTAL	XXX	XXX

TOTAL DEVELOPMENT FACTOR VALUE XXX
XXX DEMAND FACTOR XXX
A TOTAL DEVELOPMENT FACTOR OF XX REQUIRES A XX" SERVICE (PER 248 CMR 10)

METER SIZING CALCULATION

FLOW FOR DEMAND FACTOR OF XXX
= XXX GPM (PER HUNTER'S CURVE)

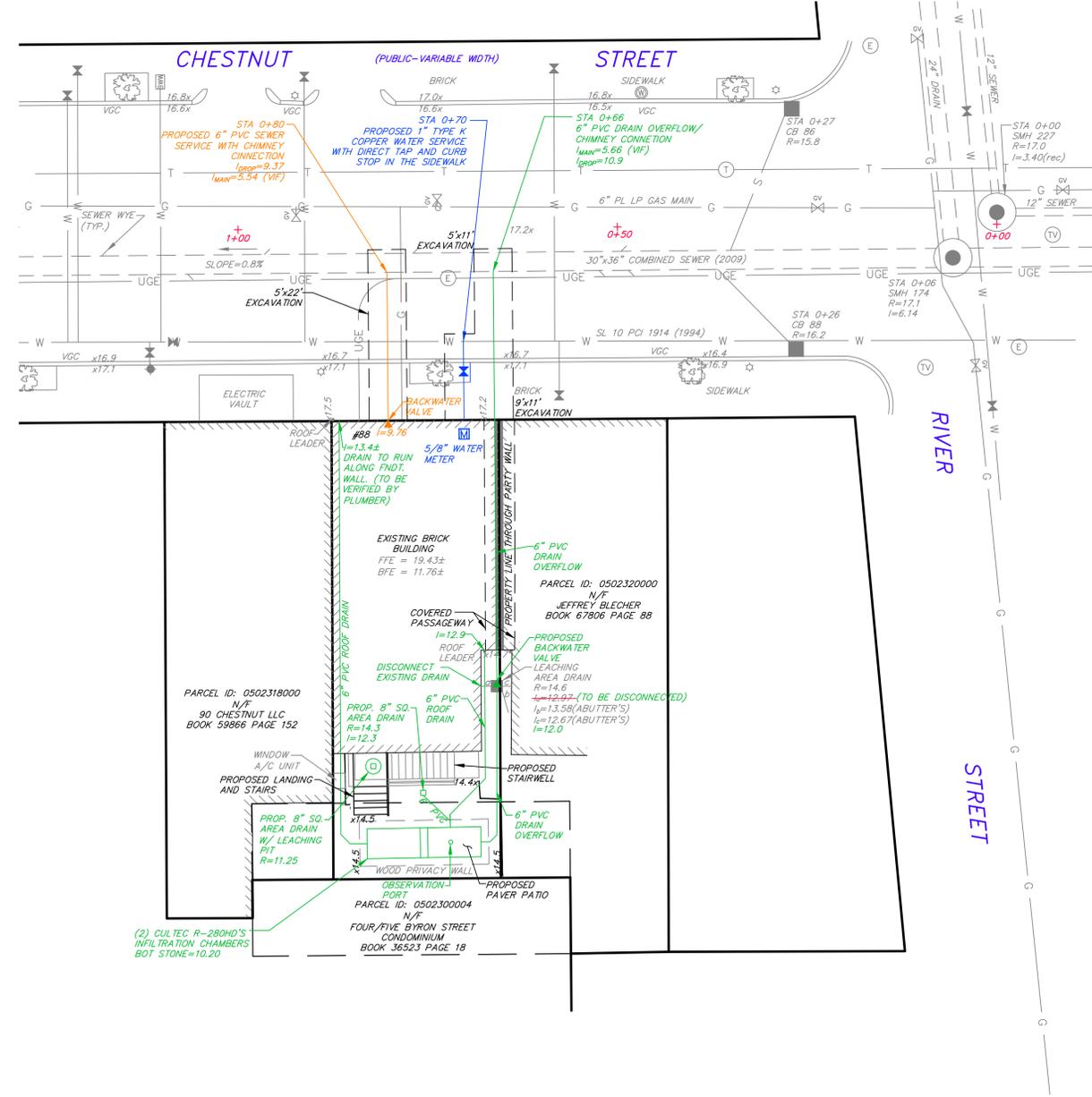
METER TABLE

PEAK FLOW RATE (GPM)	METER SIZE (INCHES)
0-20	5/8
20-50	1
50-100	1.5
100-160	2
160-450	3
450-1000	4
1000-2000	6

REQUIRED METER SIZE = XX"

LEGEND:

- | | |
|-----------|-----------|
| EXISTING: | PROPOSED: |
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GROUNDWATER RECHARGE CALCULATIONS

IMPERVIOUS AREA - 1,326 S.F. (TOTAL)
REQUIRED VOLUME OF RECHARGE SYSTEM - 1,326 S.F. / 12" = 110.5 C.F.
PROPOSE (2) CULTEC R-280HD PLASTIC CHAMBERS WITH 6" STONE BELOW AND 12" OF STONE ON THE SIDES AND ENDS OF THE CHAMBERS
STONE HAS 30% VOID SPACE
SYSTEM HAS A 6" PVC OVERFLOW AT ELEVATION 12.20
VOLUME OF SYSTEM BELOW 12.20 IS 113 C.F. BASED ON HYDROCAD CALCULATIONS.
PROPOSED VOLUME OF 113 C.F. > REQUIRED VOLUME OF 110.5 C.F.

Summary for Pond 2P: Infiltration Structures

Inflow Area = 1,326 sf, 100.00% Impervious, Inflow Depth = 1.01" for BWS event
Inflow = 0.03 cfs @ 12.08 hrs, Volume= 112 cf
Outflow = 0.00 cfs @ 0.00 hrs, Volume= 0 cf, Atten= 100%, Lag= 0.0 min
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 0.00-25.00 hrs, dt= 0.01 hrs
Peak Elev= 12.18' @ 24.34 hrs Surf Area= 101 sf (Storage= 112 cf)

Plug-Flow detention time= (not calculated: initial storage exceeds outflow)
Center-of-Mass det. time= (not calculated: no outflow)

Volume	Invert	Avail Storage	Storage Description
#1A 10.20'	69 cf	5.92'W x 17.00'L x 3.21'H	Field A
#2A 10.70'	91 cf	Cultec R-280HD x 2 Inside #1	323 of Overall 91 cf Embedded= 232 cf x 30.0% Voids

Effective Size= 46.9"W x 26.0"H => 6.07 sf x 7.00'L = 42.5 cf
Overall Size= 47.0"W x 26.5"H x 8.00'L with 1.00' Overlap
Row Length Adjustment= +1.00' x 6.07' sf x 1 row

161 cf Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet	Devices
#1	Primary	12.20'	6.0"	Round Culvert L=78.0' C/P, projecting, no headwall, Ke=0.900 Inlet/Outlet Invert=12.20/5.60' S=0.08467' Cc=0.900 n=0.011 PVC, smooth interior, Flow Area=0.20sf

Primary Outflow Max=0.00 cfs @ 0.00 hrs HW=10.20' (Free Discharge)
L=Culvert, Controls 0.00 cfs

- STA 0+70 1" TYPE K COPPER WATER SERVICE INSTALLATION INSPECTION
- 5/8" WATER METER INSTALLATION INSPECTION
- STA 0+80 6" PVC SEWER SERVICE INSTALLATION INSPECTION
- INFILTRATION SYSTEM INSTALLATION INSPECTION
- STA 0+66 6" PVC DRAIN OVERFLOW INSTALLATION INSPECTION
- STAIRWELL DRAIN INSTALLATION INSPECTION
- AREA DRAIN INSTALLATION INSPECTION
- DYE TEST SEWER
- DYE TEST DRAIN
- AS-BUILT PREPARATION FEE

PROPERTY OWNER: SCOTT B. PATON & KRISTIN S. PATON
88 CHESTNUT STREET
BOSTON, MA 02108

DEED REFERENCE: BOOK 68057 PAGE 188

PLAN REFERENCE: BOOK 4684 PAGE 441

CITY OF BOSTON BENCHMARK: SMH 174 RIM
EL. 17.14'

PROJECT TITLE & LOCATION:
**PROPOSED RENOVATION FOR
88 CHESTNUT STREET
BOSTON, MA 02108
(BOSTON PROPER)**
SITE PLAN # TBD

PLAN TITLE:
PROPOSED CONDITIONS

PREPARED FOR:
THE HOLLAND COMPANIES
519 ALBANY STREET, SUITE 200
BOSTON, MA 02118
CONTACT: JOSEPH HOLLAND (617) 556-2900

DATE: MAY 17, 2023

JOB NUMBER: 185.101 SHEET 2 OF 3

SCALE: 1"=10'



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508 . 258 . 9938

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KRISTIN PATON
INTERIORS



the
HOLLAND COMPANIES
Design & Construction

INTERIOR RENOVATIONS
PATON RESIDENCE
88 CHESTNUT ST., BOSTON, MA 02108

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETRY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

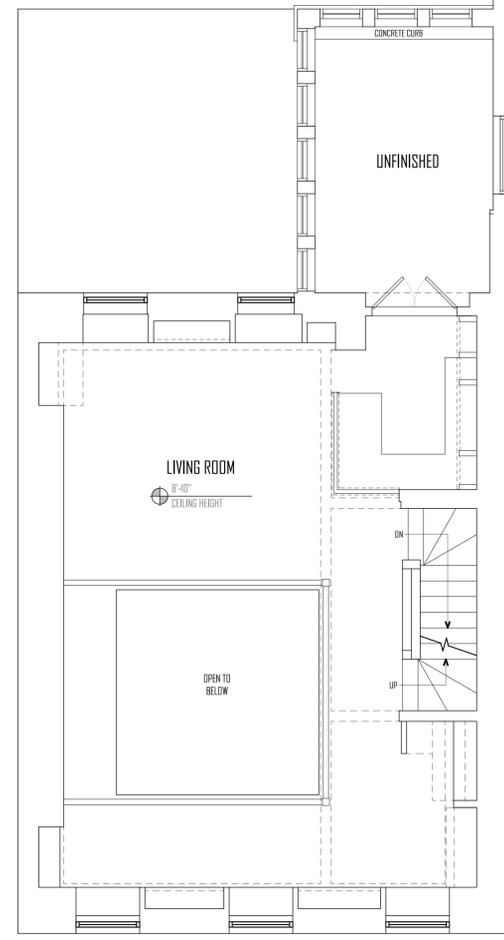
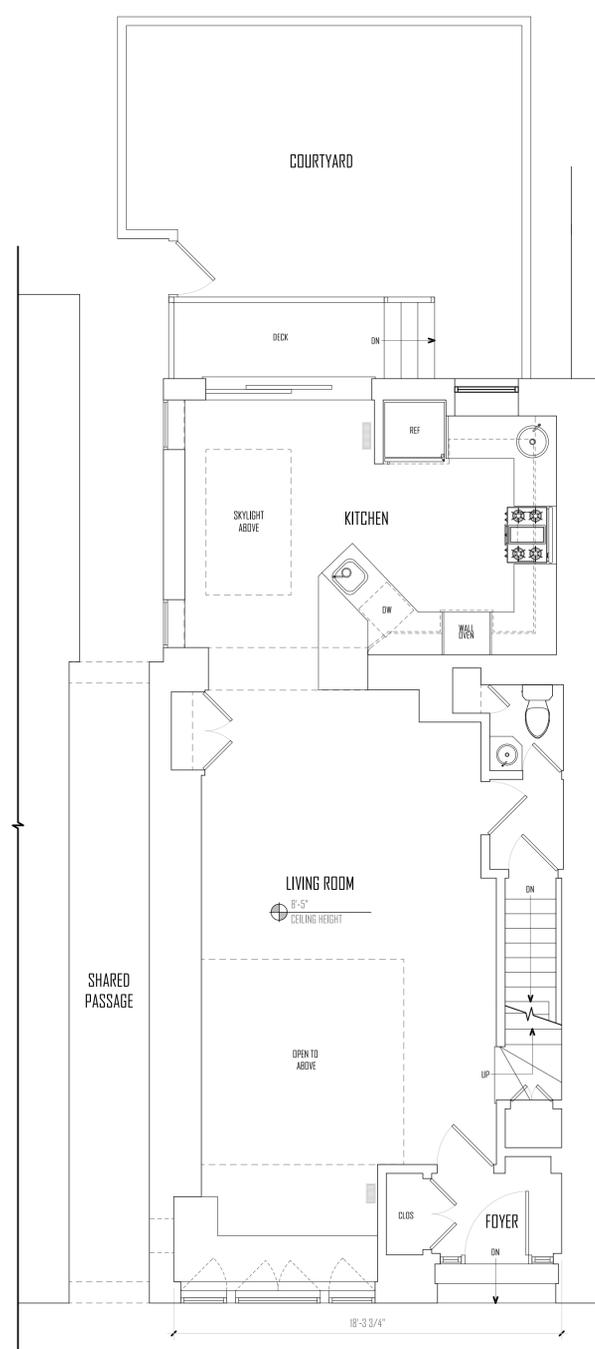
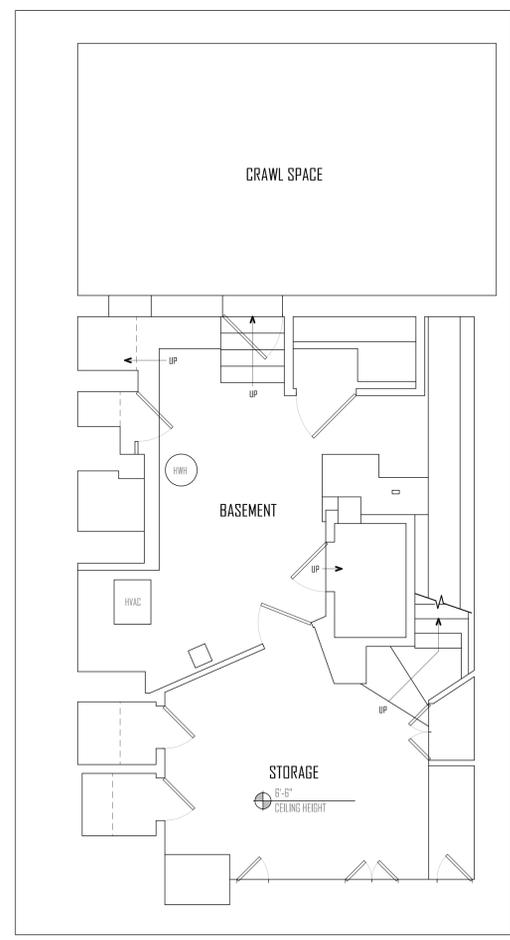
DRAWING

EX100

EXISTING CONDITIONS
FLOOR PLANS

SCALE: AS NOTED JOB NO.: 22-22
DRAWN BY: MAJ DATE: 10/2/2023

CONSTRUCTION SET





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INTERIORS



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INTERIOR RENOVATIONS
PATON RESIDENCE
88 CHESTNUT ST., BOSTON, MA 02108

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETRY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
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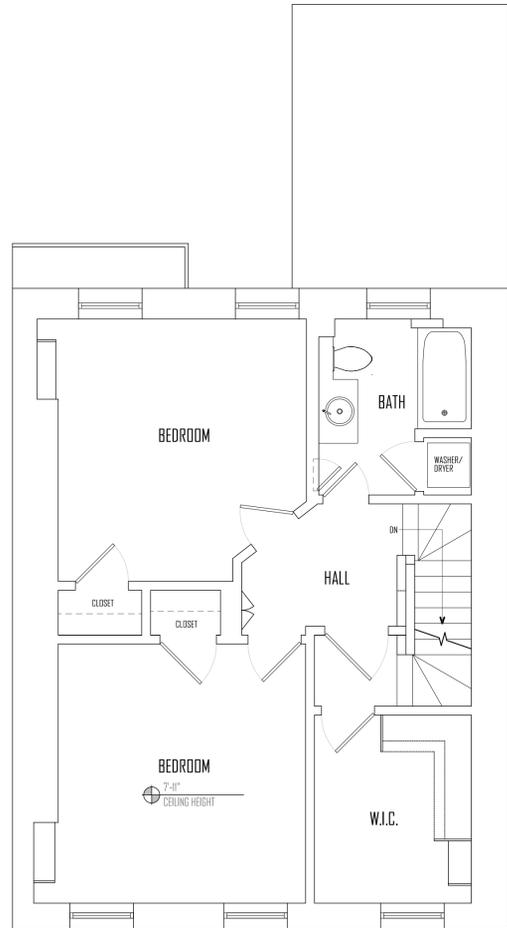
DRAWING

EX101

EXISTING CONDITIONS
FLOOR PLANS

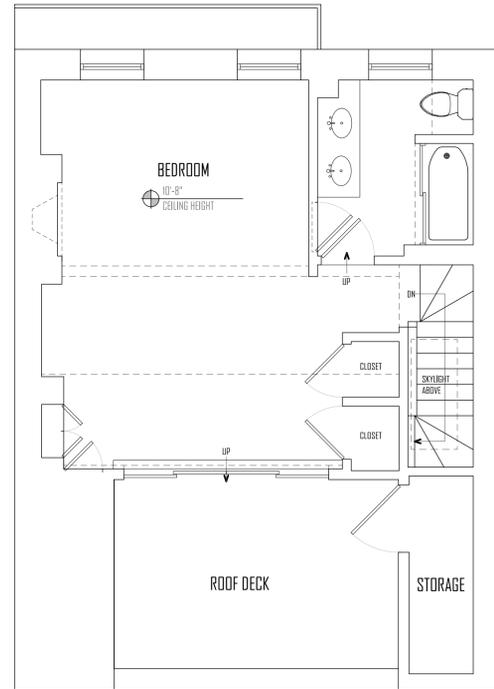
SCALE: AS NOTED JOB NO.: 22-22
DRAWN BY: MAJ DATE: 10/2/2023

CONSTRUCTION SET



EXISTING - A4 FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING - A5 FLOOR PLAN

SCALE: 1/4" = 1'-0"





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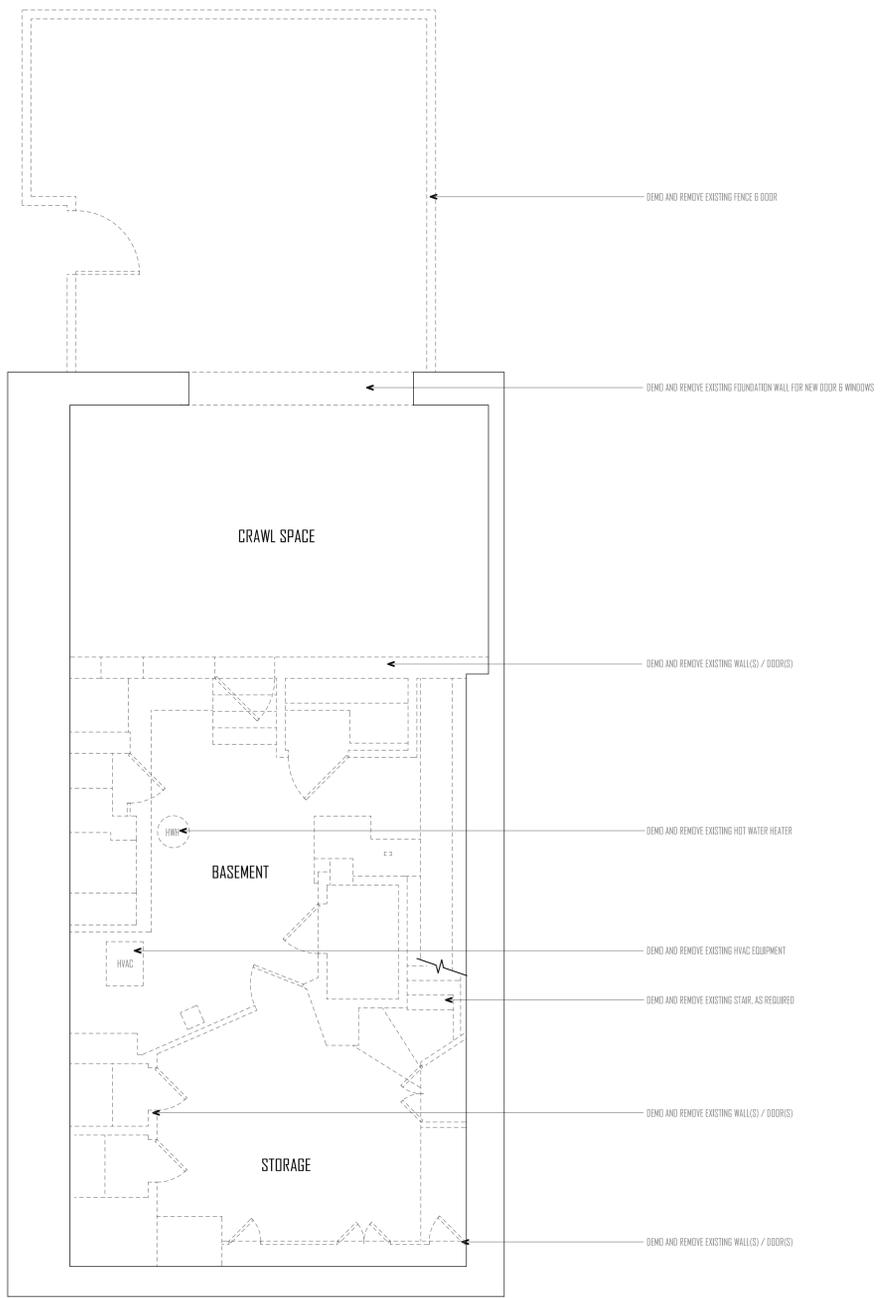
INTERIOR RENOVATIONS
PATON RESIDENCE
88 CHESTNUT ST., BOSTON, MA 02108

LEGEND

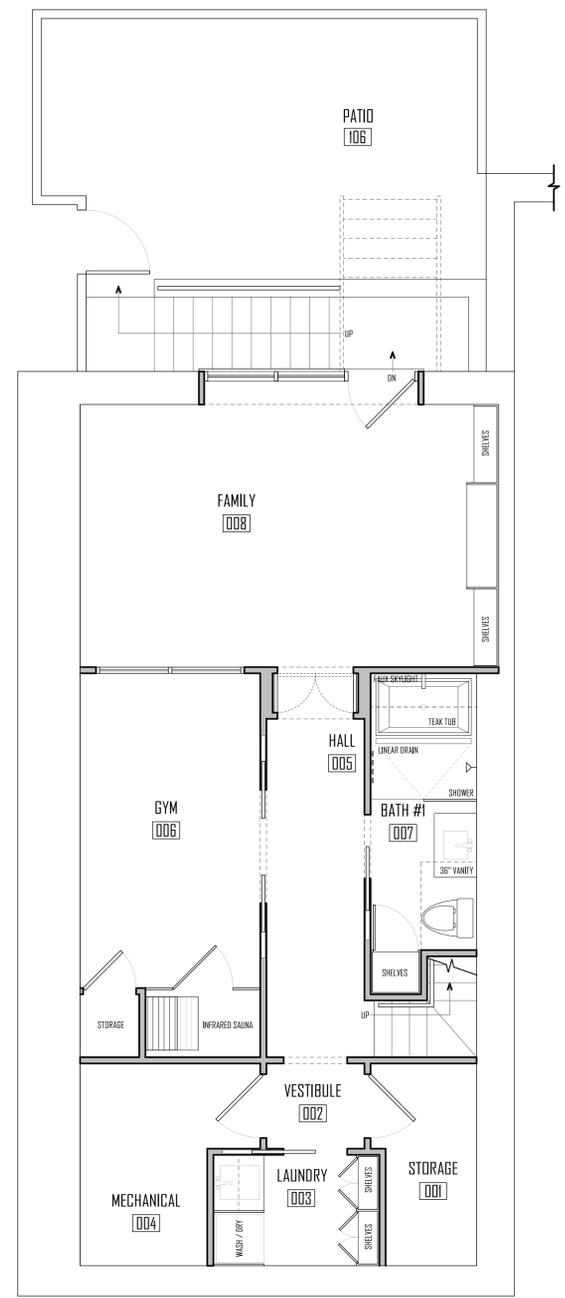
	EXISTING FOUNDATION
	NEW FOUNDATION
	EXISTING WALLS
	DEMOLITION
	NEW CONSTRUCTION
	DOOR MARKER
	WINDOW MARKER
	PLUMBING MARKER
	APPLIANCE MARKER
	CABINETRY MARKER
	EXISTING WINDOW
	NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING
A100
AI LEVEL
DEMOLITION + PROPOSED
SCALE: AS NOTED
DRAWN BY: M.R.
JOB NO.: 22-22
DATE: 10/2/2023
CONSTRUCTION SET



DEMOLITION - AI FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED - AI FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA = 770 SQ. FT.

- GENERAL NOTES**
- FRAME ALL INTERIOR WALLS WITH 2X4 METAL STUDS, U.N.D.
 - EXTERIOR SHEATHING TO BE 5/8" CDX EXTERIOR SHEATHING SYSTEM
 - PROVIDE & INSTALL DRYER VENT FOR ALL CLOTHES DRYER
 - PROVIDE (1) HOSE BIBS @ PATIO (05)
- FINISH NOTES**
- FLOORING: SEE FLOORING PLAN IN A400 SERIES DRAWINGS
 - WALLS: 1/2" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE
 - TYP. CEILING: 5/8" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE
 - BASEBOARD: SEE DETAILS ON A700
 - WINDOW/DOOR TRIM: SEE DETAILS ON A700
 - ALL BUILT-INS ARE TO BE PAINT GRADE, U.N.D.
- KITCHEN NOTES**
- CONTRACTOR SHALL SUPPLY COUNTERTOPS AND BACKSPLASH FOR KITCHEN
 - CONTRACTOR TO PURCHASE AND SUPPLY CABINETRY. CONTRACTOR TO PROVIDE INSTALLATION OF KITCHEN CABINETS
 - CONTRACTOR TO PROVIDE AND INSTALL ALL MATERIAL FOR COMPLETE INSTALLATION OF KITCHEN EXHAUST HOOD AND VENT
 - OWNER TO PURCHASE ALL KITCHEN APPLIANCES. CONTRACTOR TO INSTALL ALL KITCHEN APPLIANCES



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INTERIOR RENOVATIONS
PATON RESIDENCE
88 CHESTNUT ST., BOSTON, MA 02108

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETRY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING

A101

A2 LEVEL
DEMOLITION + PROPOSED

SCALE: AS NOTED JOB NO.: 22-22
DRAWN BY: MJR DATE: 10/2/2023

CONSTRUCTION SET

GENERAL NOTES

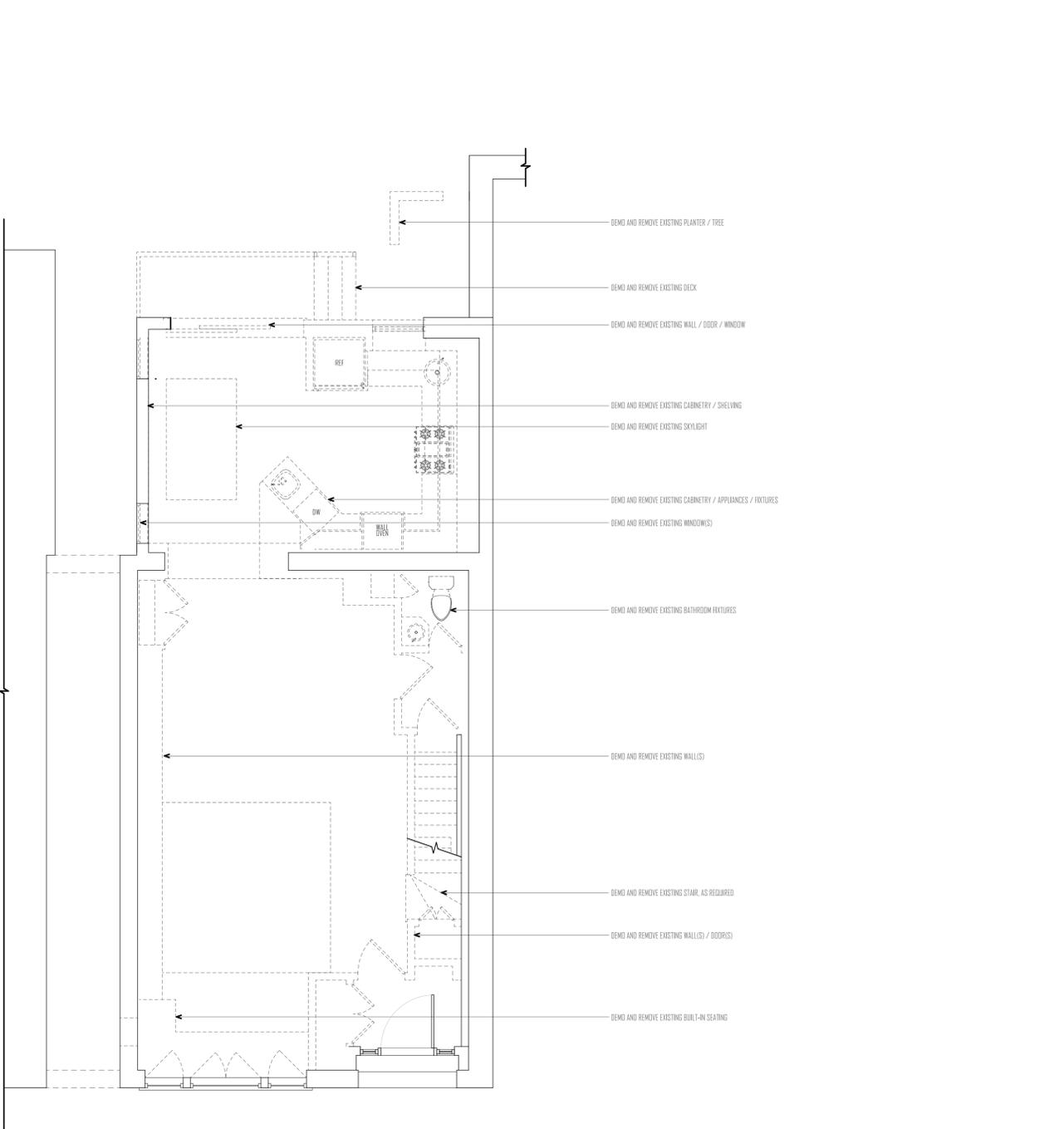
- FRAME ALL INTERIOR WALLS WITH 2X4 METAL STUDS, U.L.N.D.
- EXTERIOR SHEATHING TO BE 5/8" CDX EXTERIOR SHEATHING SYSTEM
- PROVIDE 6" INSTALL DRYER VENT FOR ALL CLOTHES DRYER
- PROVIDE (1) HOSE BIBS @ PATIO (106)

FINISH NOTES

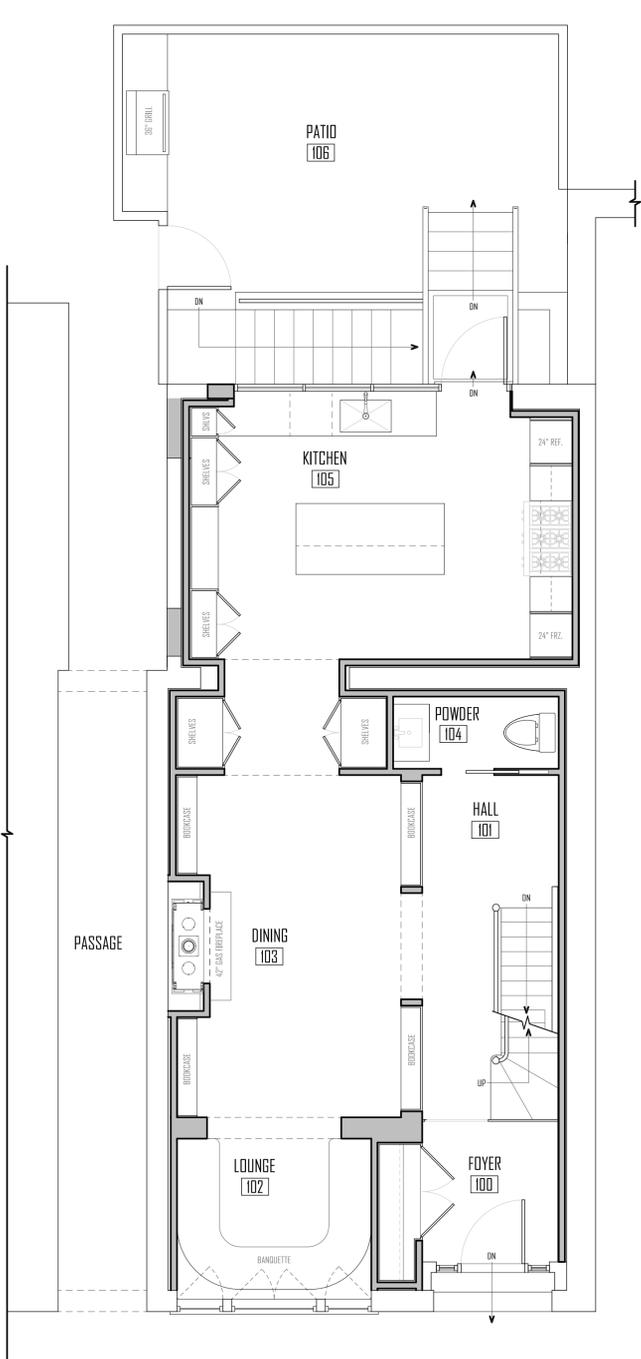
- FLOORING: SEE FLOORING PLAN IN A400 SERIES DRAWINGS
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- BASEBOARD: SEE DETAILS ON A700
- WINDOW/DOOR TRIM: SEE DETAILS ON A700
- ALL BUILT-INS ARE TO BE PAINT GRADE, U.L.N.D.

KITCHEN NOTES

- CONTRACTOR SHALL SUPPLY COUNTERTOPS AND BACKSPASH FOR KITCHEN
- CONTRACTOR TO PURCHASE AND SUPPLY CABINETRY. CONTRACTOR TO PROVIDE INSTALLATION OF KITCHEN CABINETS
- CONTRACTOR TO PROVIDE AND INSTALL ALL MATERIAL FOR COMPLETE INSTALLATION OF KITCHEN EXHAUST HOOD AND VENT
- OWNER TO PURCHASE ALL KITCHEN APPLIANCES. CONTRACTOR TO INSTALL ALL KITCHEN APPLIANCES



DEMOLITION - A2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED - A2 FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA = 766 SQ. FT.



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INTERIOR RENOVATIONS
PATON RESIDENCE
88 CHESTNUT ST., BOSTON, MA 02108

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINERY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING

A102

A3 LEVEL
DEMOLITION + PROPOSED

SCALE: AS NOTED
DRAWN BY: M.J.R. DATE: 10/2/2023

JOB NO.: 22-22
DATE: 10/2/2023

CONSTRUCTION SET

GENERAL NOTES

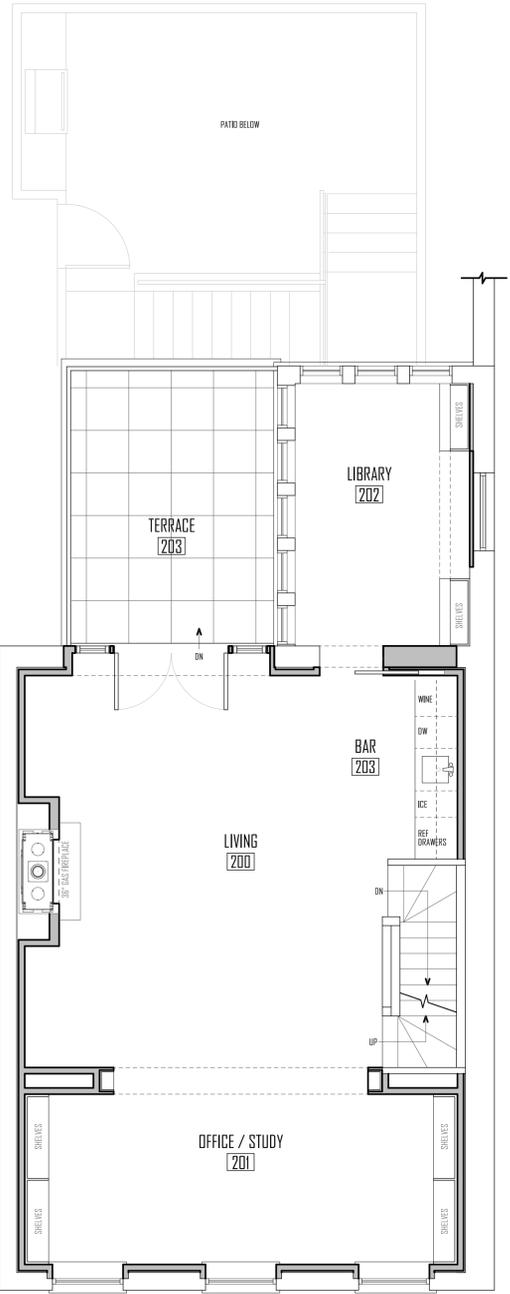
- FRAME ALL INTERIOR WALLS WITH ZMA METAL STUDS, U.N.O.
- EXTERIOR SHEATHING TO BE 5/8" CDX EXTERIOR SHEATHING SYSTEM
- PROVIDE 6 INSTALL DRYER VENT FOR ALL CLOTHES DRYER
- PROVIDE (1) HOSE BIB @ PATIO (010)

FINISH NOTES

- FLOORING: SEE FLOORING PLAN IN A400 SERIES DRAWINGS
- WALLS: 1/2" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE.
- TYP. CEILING: 5/8" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE
- BASEBOARD: SEE DETAILS ON A700
- WINDOW/DOOR TRIM: SEE DETAILS ON A700
- ALL BUILT-INS ARE TO BE PAINT GRADE, U.N.O.

KITCHEN NOTES

- CONTRACTOR SHALL SUPPLY COUNTERTOPS AND BACKSPLASH FOR KITCHEN
- CONTRACTOR TO PURCHASE AND SUPPLY CABINERY. CONTRACTOR TO PROVIDE INSTALLATION OF KITCHEN CABINETS
- CONTRACTOR TO PROVIDE AN INSTALL ALL MATERIAL FOR COMPLETE INSTALLATION OF KITCHEN EXHAUST HOOD AND VENT
- OWNER TO PURCHASE ALL KITCHEN APPLIANCES. CONTRACTOR TO INSTALL ALL KITCHEN APPLIANCES



PROPOSED - A3 FLOOR PLAN

SCALE: 1/4" = 1'-0"

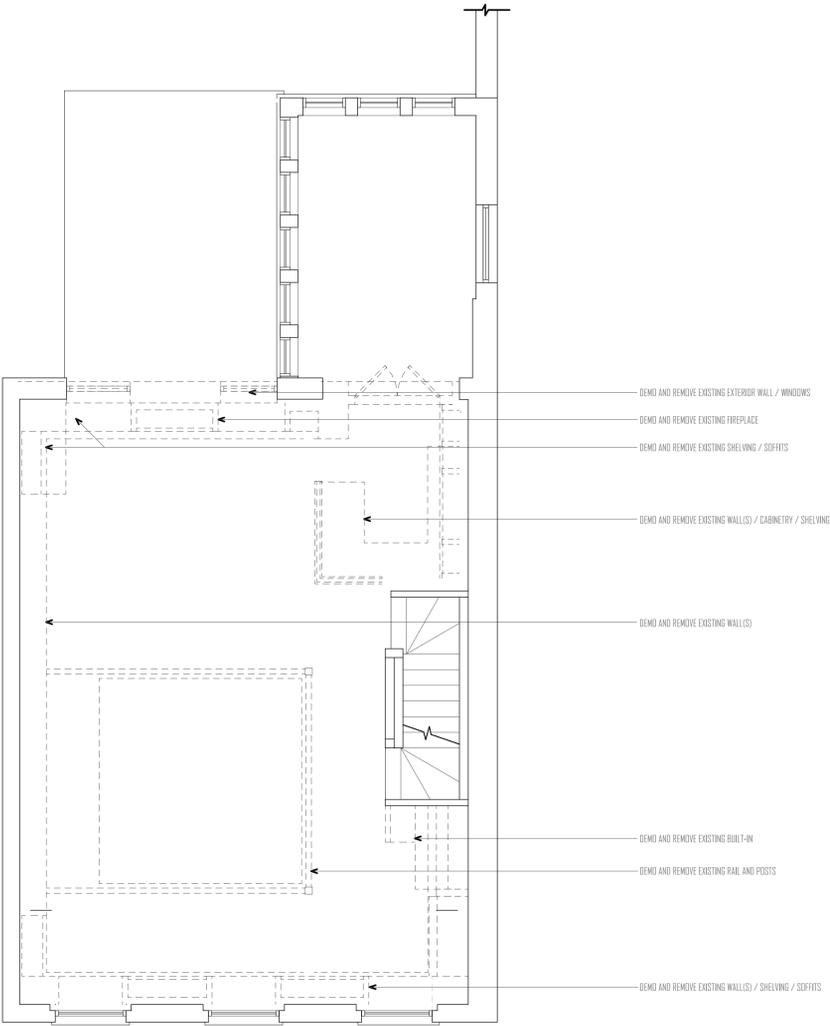
FLOOR AREA = 706 SQ. FT.

TERRACE AREA = 134 SQ. FT.



DEMOLITION - A3 FLOOR PLAN

SCALE: 1/4" = 1'-0"



- DEMOLISH AND REMOVE EXISTING EXTERIOR WALL / WINDOWS
- DEMOLISH AND REMOVE EXISTING FIREPLACE
- DEMOLISH AND REMOVE EXISTING SHELVING / SOFFITS
- DEMOLISH AND REMOVE EXISTING WALLS / CABINERY / SHELVING
- DEMOLISH AND REMOVE EXISTING WALL(S)
- DEMOLISH AND REMOVE EXISTING BUILT-IN
- DEMOLISH AND REMOVE EXISTING RAIL AND POSTS
- DEMOLISH AND REMOVE EXISTING WALL(S) / SHELVING / SOFFITS



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LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETRY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING

A103

A4 LEVEL
DEMOLITION + PROPOSED

SCALE: AS NOTED JOB NO.: 22-22
DRAWN BY: MJR DATE: 10/2/2023

CONSTRUCTION SET

GENERAL NOTES

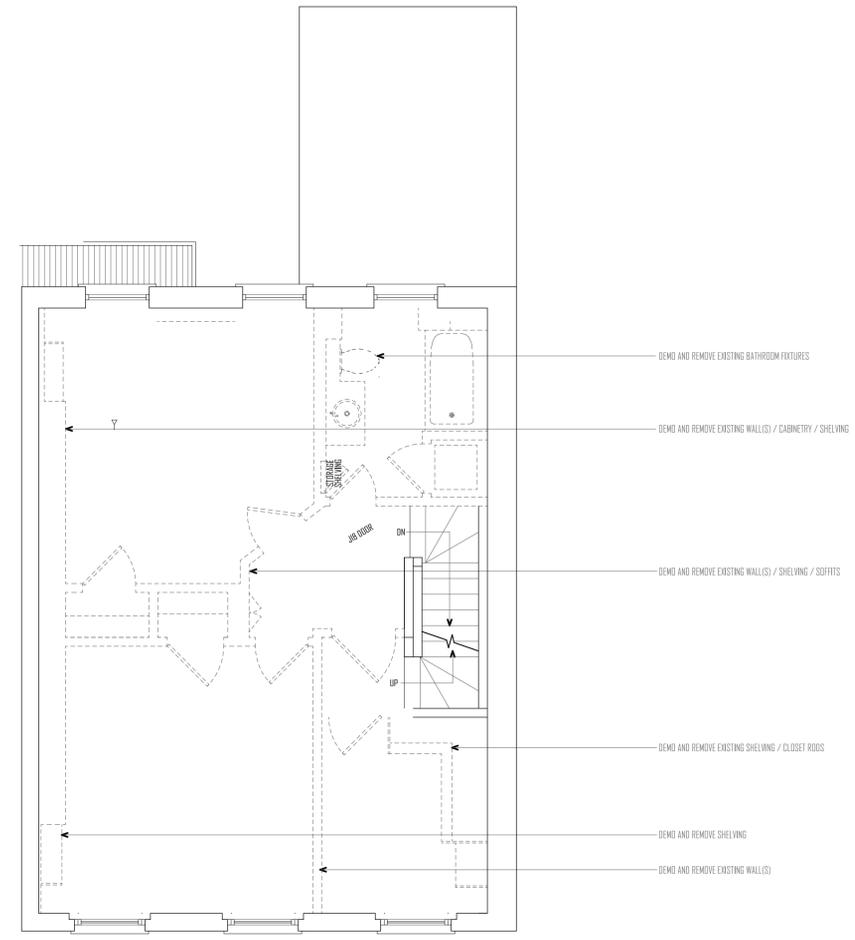
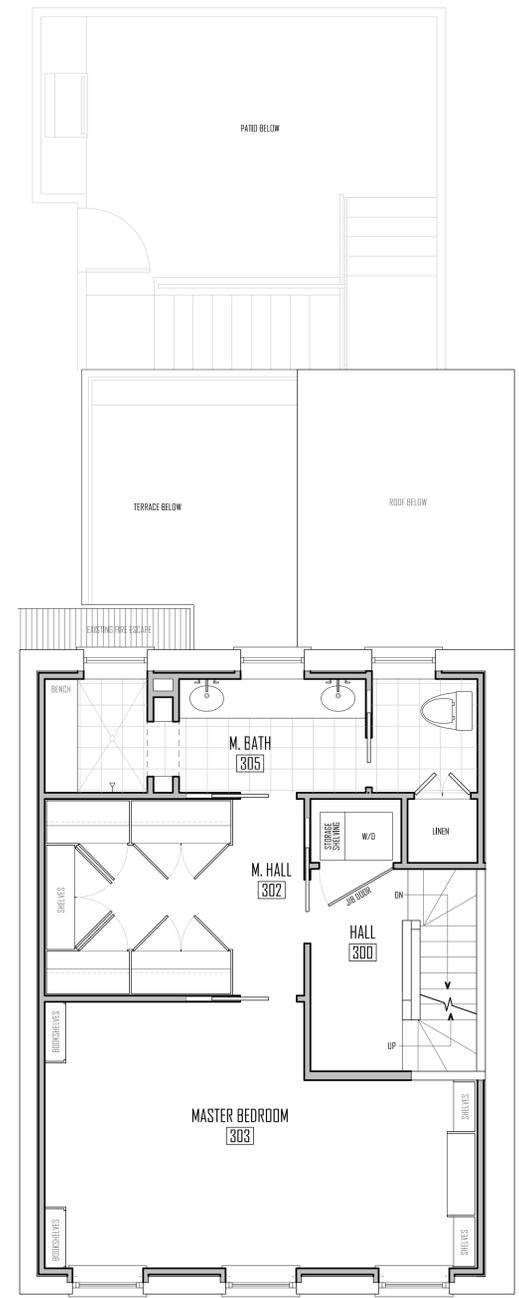
- FRAME ALL INTERIOR WALLS WITH 2X4 METAL STUDS, U.N.D.
- EXTERIOR SHEATHING TO BE 5/8" CDX EXTERIOR SHEATHING SYSTEM
- PROVIDE 6" INSTALL DRYER VENT FOR ALL CLOTHES DRYER
- PROVIDE (1) HOSE BIBS @ PATIO (010)

FINISH NOTES

- FLOORING: SEE FLOORING PLAN IN A400 SERIES DRAWINGS
- WALLS: 1/2" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE.
- TYP. CEILING: 5/8" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE.
- BASEBOARD: SEE DETAILS ON A700
- WINDOW/DOOR TRIM: SEE DETAILS ON A700
- ALL BUILT-INS ARE TO BE PAINT GRADE, U.N.D.

KITCHEN NOTES

- CONTRACTOR SHALL SUPPLY COUNTERTOPS AND BACKSPLASH FOR KITCHEN
- CONTRACTOR TO PURCHASE AND SUPPLY CABINERY, CONTRACTOR TO PROVIDE INSTALLATION OF KITCHEN CABINETS
- CONTRACTOR TO PROVIDE AN INSTALL ALL MATERIAL FOR COMPLETE INSTALLATION OF KITCHEN EXHAUST HOOD AND VENT
- OWNER TO PURCHASE ALL KITCHEN APPLIANCES, CONTRACTOR TO INSTALL ALL KITCHEN APPLIANCES



DEMOLITION - A4 FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROPOSED - A4 FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA = 593 SQ. FT.



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INTERIOR RENOVATIONS

PATON RESIDENCE

88 CHESTNUT ST., BOSTON, MA 02108

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINERY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING

A104

A5 LEVEL
DEMOLITION + PROPOSED

SCALE: AS NOTED
DRAWN BY: MJR
JOB NO.: 22-22
DATE: 10/2/2023

CONSTRUCTION SET

GENERAL NOTES

- FRAME ALL INTERIOR WALLS WITH ZMA METAL STUDS, U.N.D.
- EXTERIOR SHEATHING TO BE 5/8" CDX EXTERIOR SHEATHINGS SYSTEM
- PROVIDE 6" INSTALL DRYER VENT FOR ALL CLOTHES DRYER
- PROVIDE (1) HOSE BIBS @ PATIO (005)

FINISH NOTES

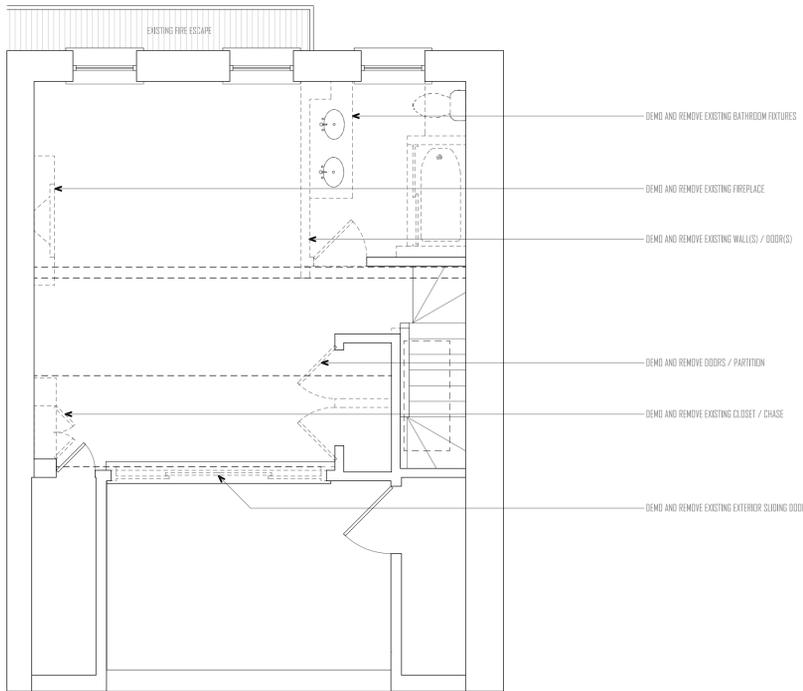
- FLOORING: SEE FLOORING PLAN IN A400 SERIES DRAWINGS
- WALLS: 1/2" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE
- TYP. CEILING: 5/8" BLUEBOARD W/ SKIMCOAT PLASTER, UNLESS NOTED OTHERWISE
- BASEBOARD: SEE DETAILS ON A700
- WINDOW/DOOR TRIM: SEE DETAILS ON A700
- ALL BUILT-INS ARE TO BE PAINT GRADE, U.N.D.

KITCHEN NOTES

- CONTRACTOR SHALL SUPPLY COUNTERTOPS AND BACKSPLASH FOR KITCHEN
- CONTRACTOR TO PURCHASE AND SUPPLY CABINETRY. CONTRACTOR TO PROVIDE INSTALLATION OF KITCHEN CABINETS
- CONTRACTOR TO PROVIDE AN INSTALL ALL MATERIAL FOR COMPLETE INSTALLATION OF KITCHEN EXHAUST HOOD AND VENT
- OWNER TO PURCHASE ALL KITCHEN APPLIANCES. CONTRACTOR TO INSTALL ALL KITCHEN APPLIANCES



PROPOSED - A5 FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA = 371 SQ. FT.



DEMOLITION - A5 FLOOR PLAN
SCALE: 1/4" = 1'-0"



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LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETS MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING

A200

EXTERIOR ELEVATIONS

SCALE: AS NOTED
DRAWN BY: MJR
JOB NO.: 22-22
DATE: 10/2/2023

CONSTRUCTION SET



- T.O. EXTERIOR DECKING
- T.O. FOURTH FLOOR F.F.
- T.O. THIRD FLOOR F.F.
- T.O. SECOND FLOOR F.F.
- T.O. FIRST FLOOR F.F.

1
A200
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



- REPLACE EXISTING SKYLIGHT IN KIND
- NEW MARVIN FRENCH DOOR W/ SIDELIGHTS
- BRONZE STANDING SEAM SIDING MATCH EXISTING SPEC. AND PROFILE
- T.O. EXTERIOR DECKING
- T.O. FOURTH FLOOR F.F.
- EXISTING WINDOWS TO REMAIN TYPE IN ALL WINDOWS IN FRONT FACADE
- T.O. THIRD FLOOR F.F.
- T.O. SECOND FLOOR F.F.
- NEW EXTERIOR SIDING SPEC. BEVELLED FRENCH QUARTER ORIGINAL BRACKET SIZE: 24" X 10.25" X 1.25"
- EXISTING FRONT DOOR TO REMAIN REFINISH AND REPAINT, AS REQUIRED
- T.O. FIRST FLOOR F.F.

2
A200
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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PATON RESIDENCE
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LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION
- EXISTING WALLS
- DEMOLITION
- NEW CONSTRUCTION
- DOOR MARKER
- WINDOW MARKER
- PLUMBING MARKER
- APPLIANCE MARKER
- CABINETRY MARKER
- EXISTING WINDOW
- NEW WINDOW

NO.	DESCRIPTION	DATE
1	PERMIT SET	6.30.23

DRAWING

A201

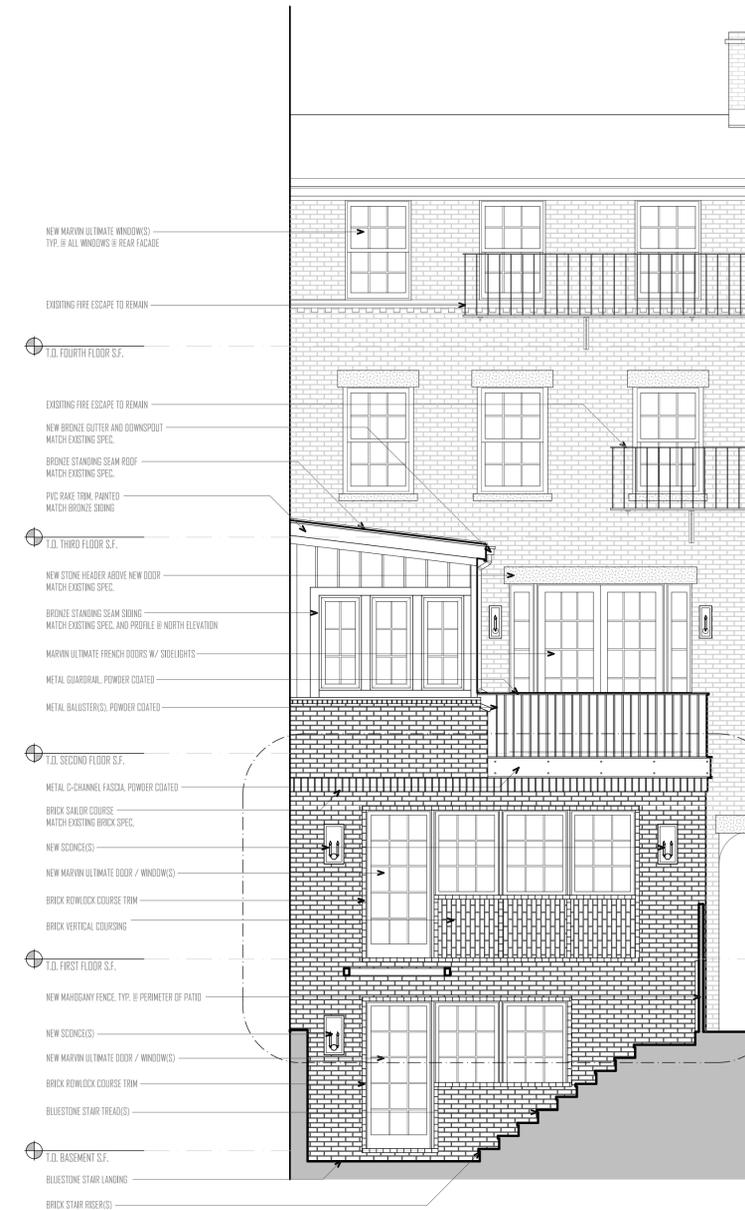
EXTERIOR ELEVATIONS

SCALE: AS NOTED JOB NO.: 22-22
DRAWN BY: MJR DATE: 10/2/2023

CONSTRUCTION SET



1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NEW MARVIN ULTIMATE WINDOWS)
TYP. IF ALL WINDOWS IN REAR FACADE

EXISTING FIRE ESCAPE TO REMAIN

T.O. FOURTH FLOOR S.F.

EXISTING FIRE ESCAPE TO REMAIN

NEW BRONZE GUTTER AND DOWNSPOUT
MATCH EXISTING SPEC.

BRONZE STANDING SEAM ROOF
MATCH EXISTING SPEC.

PVG RAKE TRIM, PAINTED
MATCH BRONZE SIDING

T.O. THIRD FLOOR S.F.

NEW STONE HEADER ABOVE NEW DOOR
MATCH EXISTING SPEC.

BRONZE STANDING SEAM SIDING
MATCH EXISTING SPEC. AND PROFILE IN NORTH ELEVATION

MARVIN ULTIMATE FRENCH DOORS W/ SIDELIGHTS

METAL GUARDRAIL, POWDER COATED

METAL BALUSTERS, POWDER COATED

T.O. SECOND FLOOR S.F.

METAL C-CHANNEL FASCIA, POWDER COATED

BRICK SANDR COURSE
MATCH EXISTING BRICK SPEC.

NEW SCENC(S)

NEW MARVIN ULTIMATE DOOR / WINDOWS)

BRICK ROWLOCK COURSE TRIM

BRICK VERTICAL COURSING

T.O. FIRST FLOOR S.F.

NEW MAHOGANY FENCE, TYP. IN PERIMETER OF PATIO

NEW SCENC(S)

NEW MARVIN ULTIMATE DOOR / WINDOWS)

BRICK ROWLOCK COURSE TRIM

BLUESTONE STAIR TREAD(S)

T.O. BASEMENT S.F.

BLUESTONE STAIR LANDING

BRICK STAIR RISER(S)

METAL GUARDRAIL, POWDER COATED

METAL BALUSTERS, POWDER COATED

METAL TREAD(S) WITH METAL INFILL GRATE

BLUESTONE CAP IN RETAINING WALL

BRICK FACE IN RETAINING WALL