

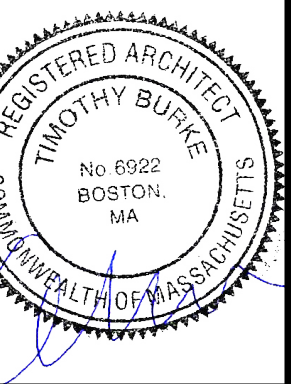
Timothy Burke
ARCHITECTURE

142 BERKELEY STREET, BOSTON MASSACHUSETTS 02116
P: 617.266.1532 | W: timothyburke.net | F: 617.266.1116



| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

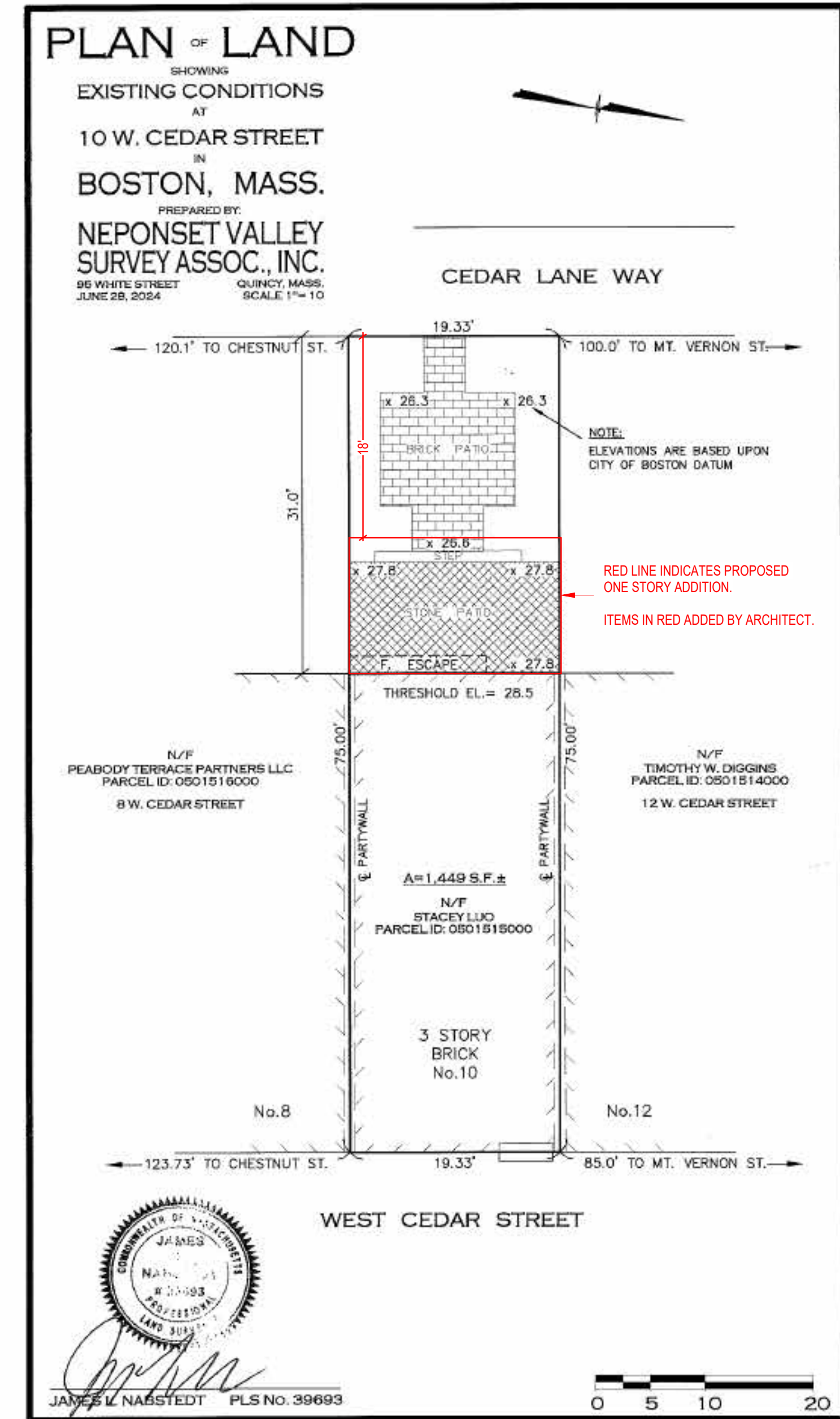
PROJECT STATUS

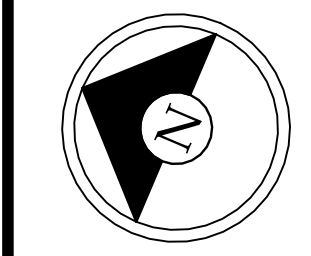


PLOT PLAN

10 West Cedar Street
Boston, MA 02108

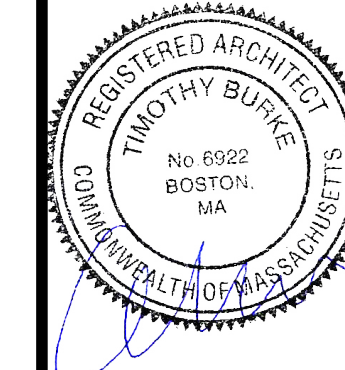
A0.1





| DATE | REV. | DATE | DESCRIPTION |
|------------|------|------|-------------|
| 07/02/2024 | | | |

PROJECT STATUS

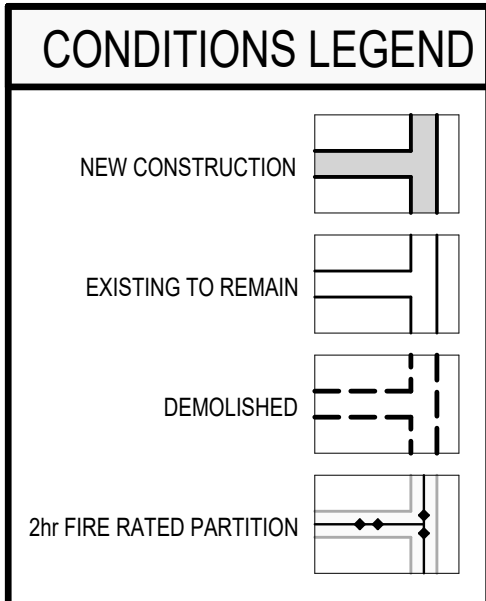


PROPOSED CONDITIONS

10 West Cedar Street
Boston, MA 02108

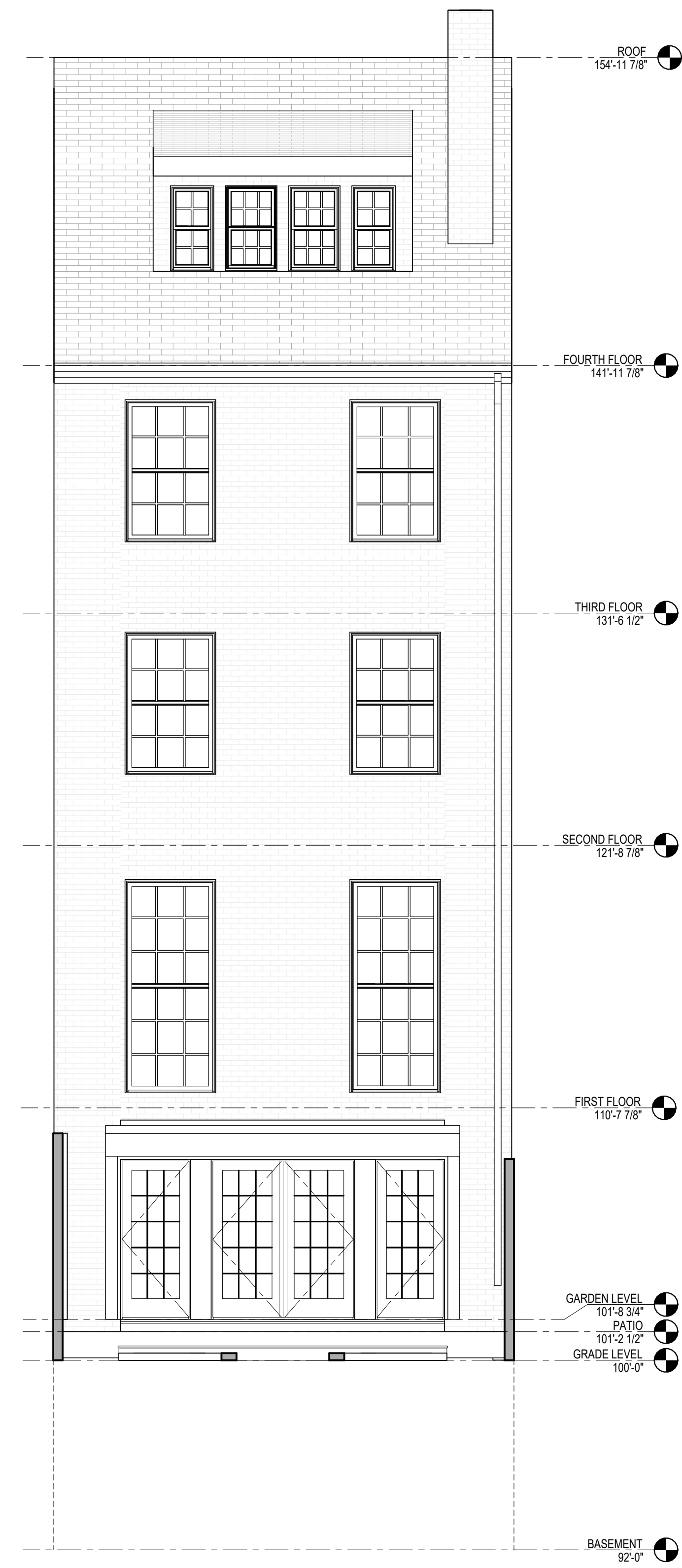
A1.1

| FLOOR AREA RATIO | | |
|------------------|---------------|---------------|
| LEVEL | EXISTING AREA | PROPOSED AREA |
| BASEMENT UTILITY | N/A | N/A |
| GARDEN LEVEL | 857 SF | 1,091 SF |
| FIRST FLOOR | 857 SF | N.C. |
| SECOND LEVEL | 857 SF | N.C. |
| THIRD LEVEL | 857 SF | N.C. |
| FOURTH LEVEL | 524 SF | N.C. |
| TOTAL | 3,952 SQ. FT. | 4,186 SF |
| F.A.R. | 2.72 | 2.88 |

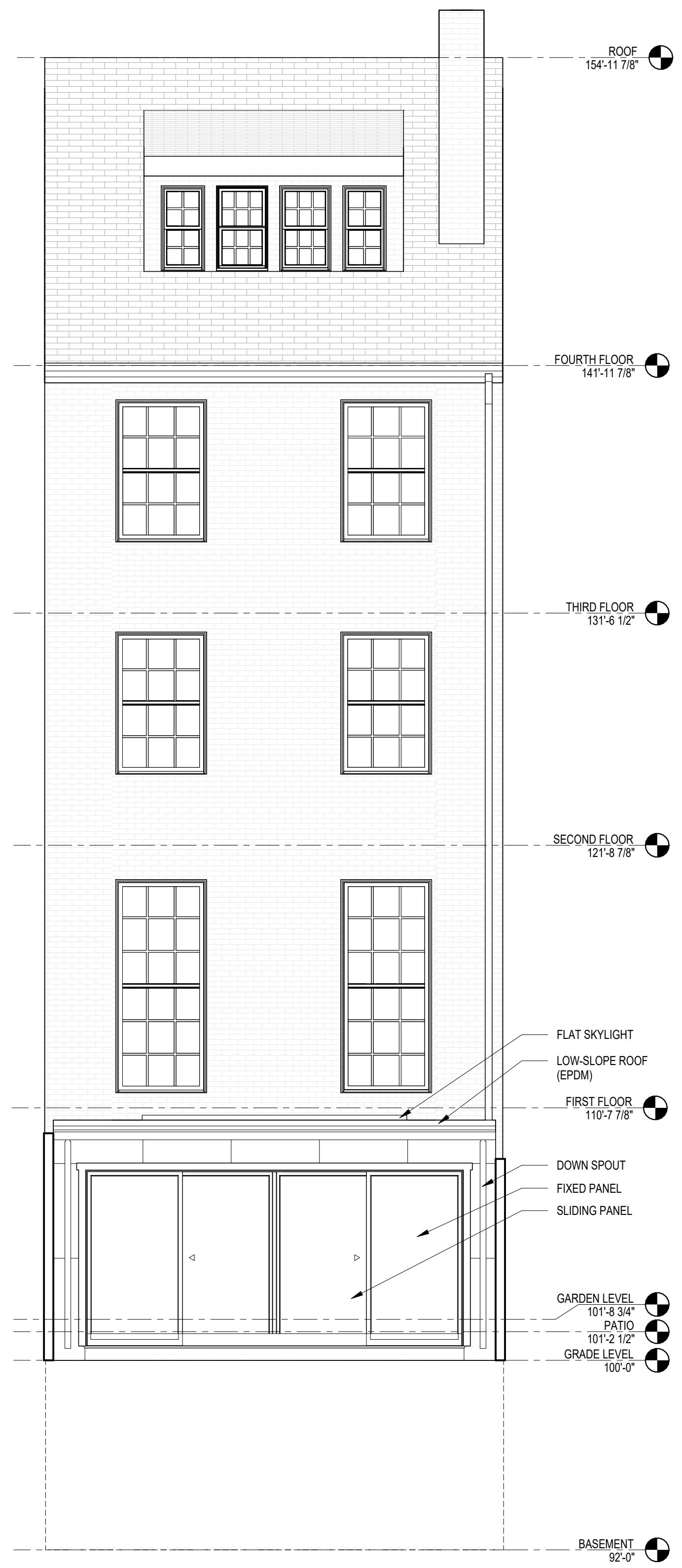


| ZONING - DIMENSIONAL REGULATIONS | | | | |
|--|----------|----------|-----------|-------------|
| ARTICLE 13, TABLE 13: SUBDISTRICT: H-2-65 DISTRICT OVERLAY: GROUNDWATER CONSERVATION | | | | |
| ITEM | REQUIRED | EXISTING | PROPOSED | COMMENTS |
| MIN. LOT AREA | N/A | 1,450 SF | NO CHANGE | |
| MIN. LOT AREA PER ADDITL. UNIT | N/A | N/A | NO CHANGE | |
| MIN. LOT WIDTH | N/A | 19.34' | NO CHANGE | |
| MIN. LOT FRONTAGE | N/A | 19.34' | NO CHANGE | |
| MAX. ALLOWABLE F.A.R. | 2 | 2.72 | 2.88 | |
| MAX. ALLOWABLE BUILDING HEIGHT | 65' | 60' | | |
| MIN. USABLE OPEN SPACE SF/DWELLING | 150 SF | 569 SF | 335 SF | |
| MIN. FRONT YARD | MODAL | NONE | NO CHANGE | MODAL |
| MIN. SIDE YARD | (4) | N/A | N/A | |
| MIN. REAR YARD | 17.5' | 30.5' | 18' | SHALLOW LOT |
| MAX ACCESSORY BUILDING OCCUP. (REAR) | 30% | N/A | N/A | |

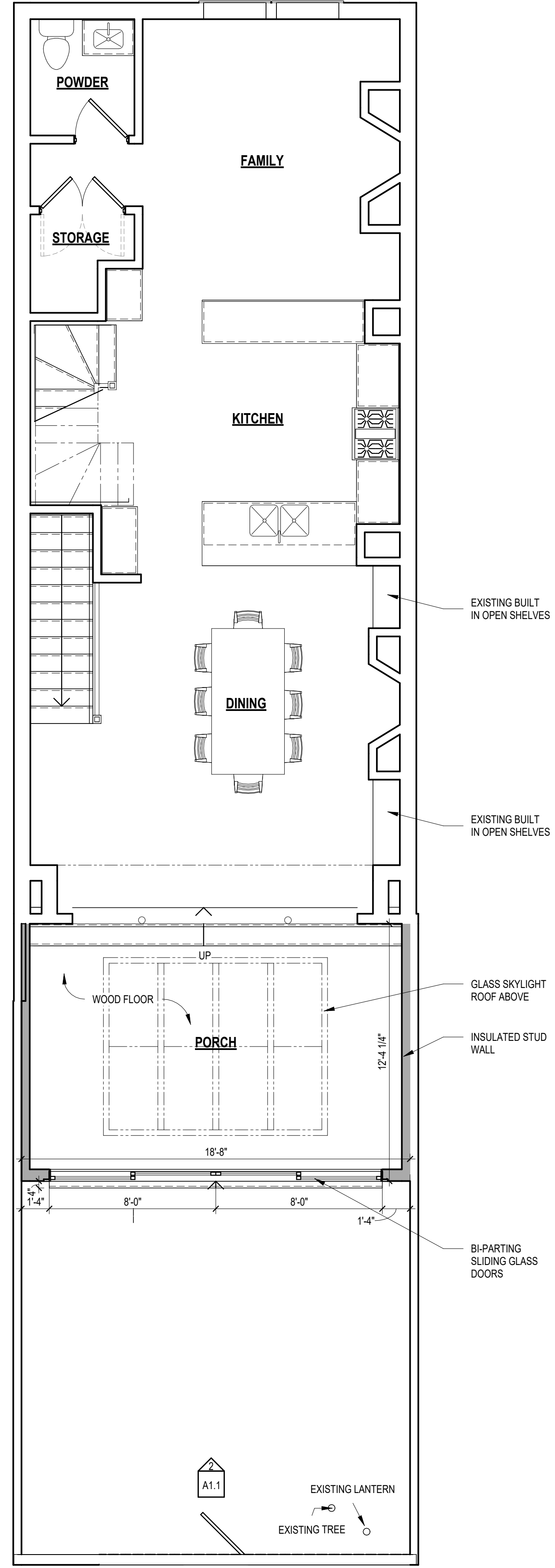
KEY
L = Length of wall parallel (or within 45° of parallel) to lot line, measured parallel to lot line
L' = Length of wall parallel (or within 45° of parallel) to lot line, measured parallel to lot line at greatest length above the height below which no setback is required.
H = Height of building above the height below which no setback is required.



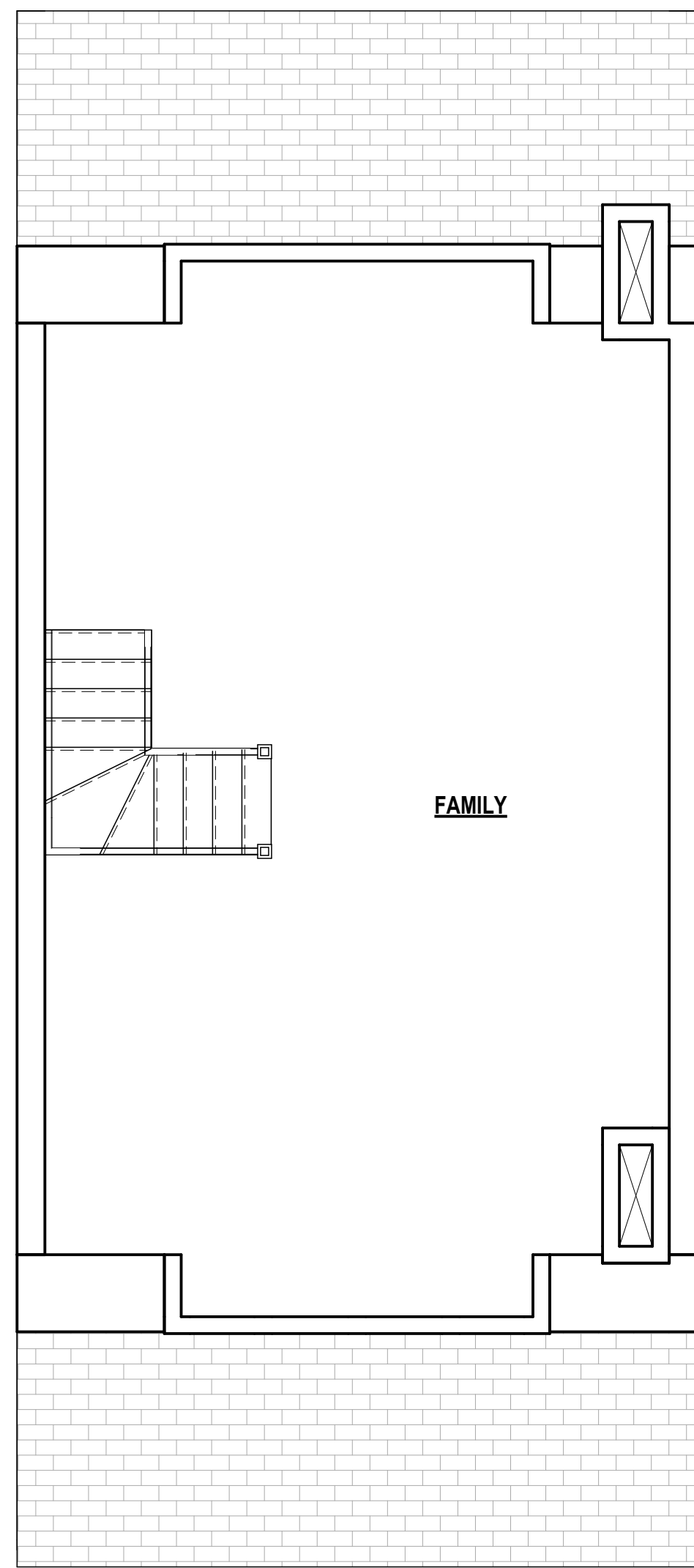
3 SOUTH EXISTING ELEVATION
1/4" = 1'-0"



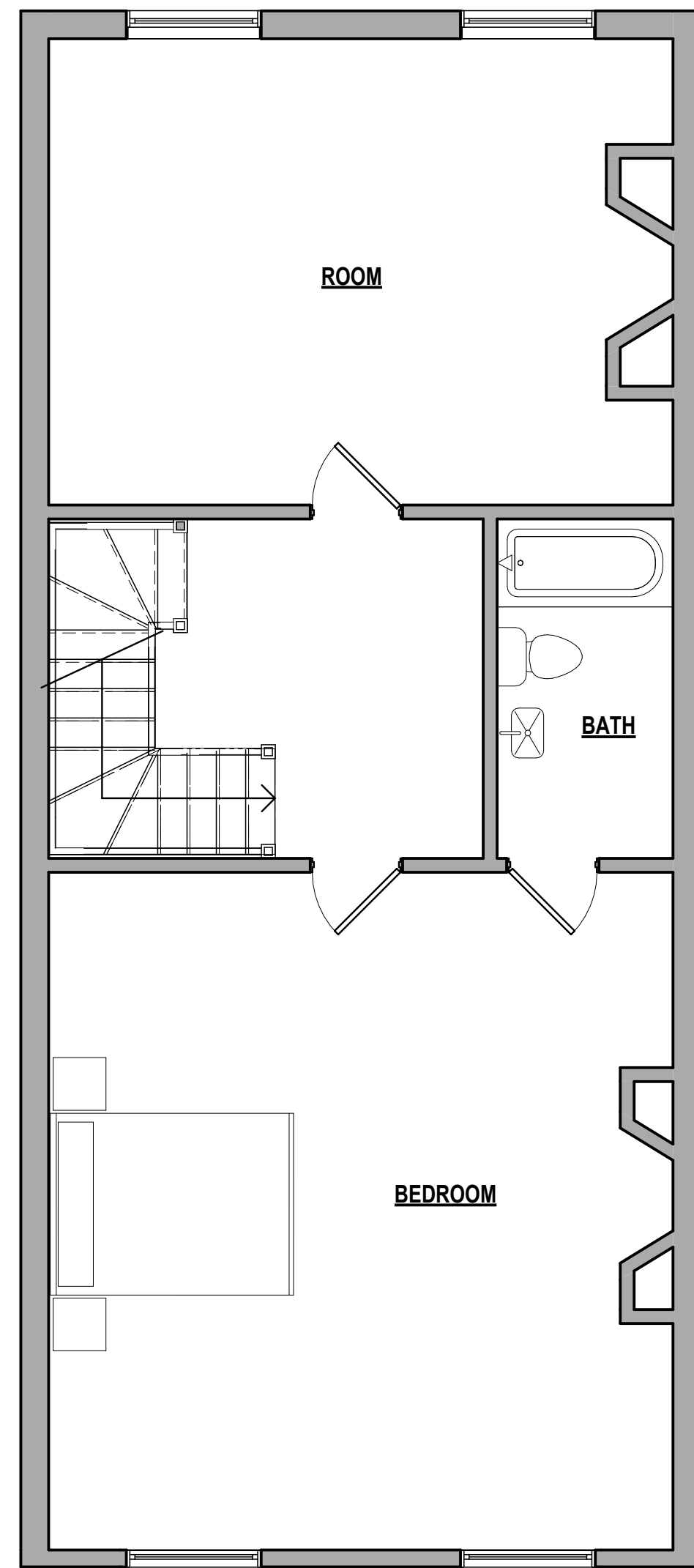
2 SOUTH PROPOSED ELEVATION
1/4" = 1'-0"



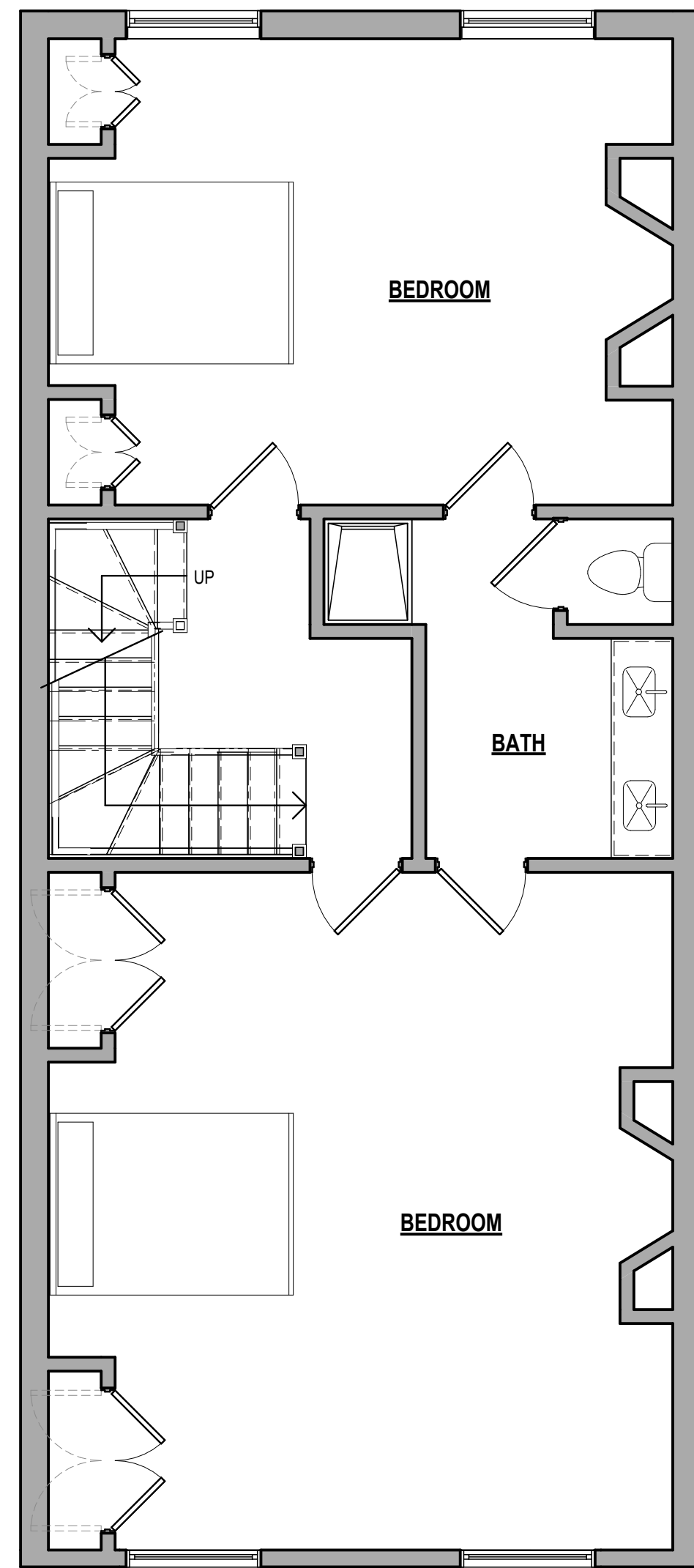
1 GARDEN LEVEL PROPOSED PLAN
1/4" = 1'-0"



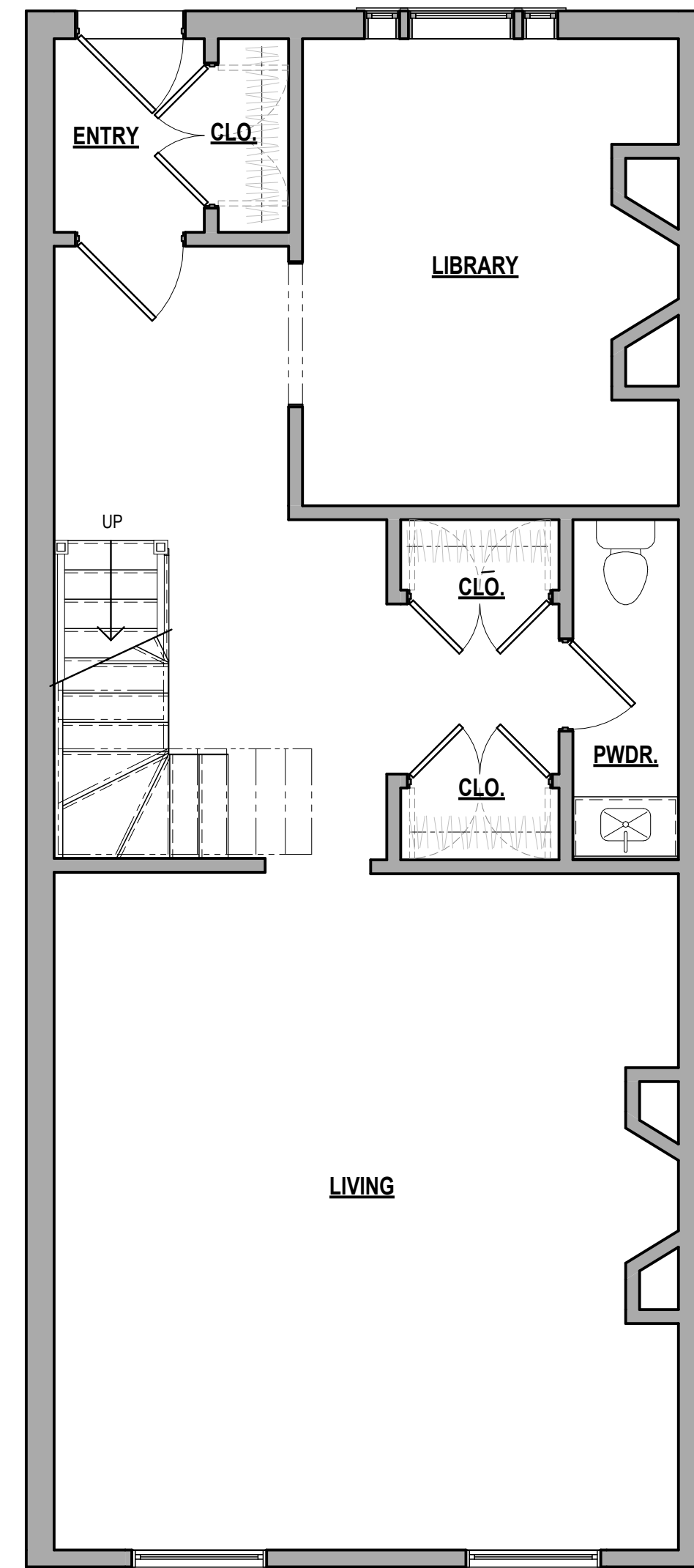
5 FOURTH FLOOR
1/4" = 1'-0"



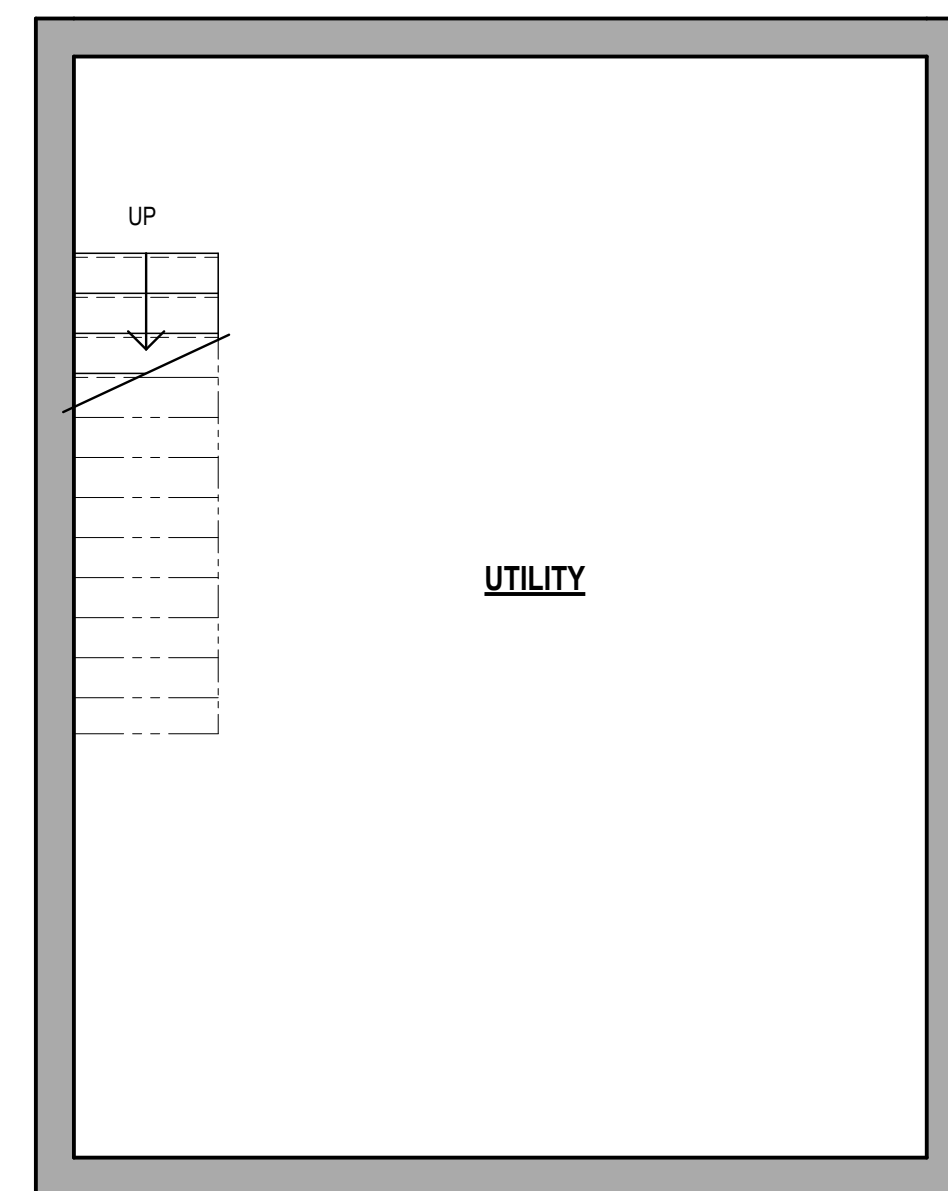
4 THIRD FLOOR
1/4" = 1'-0"



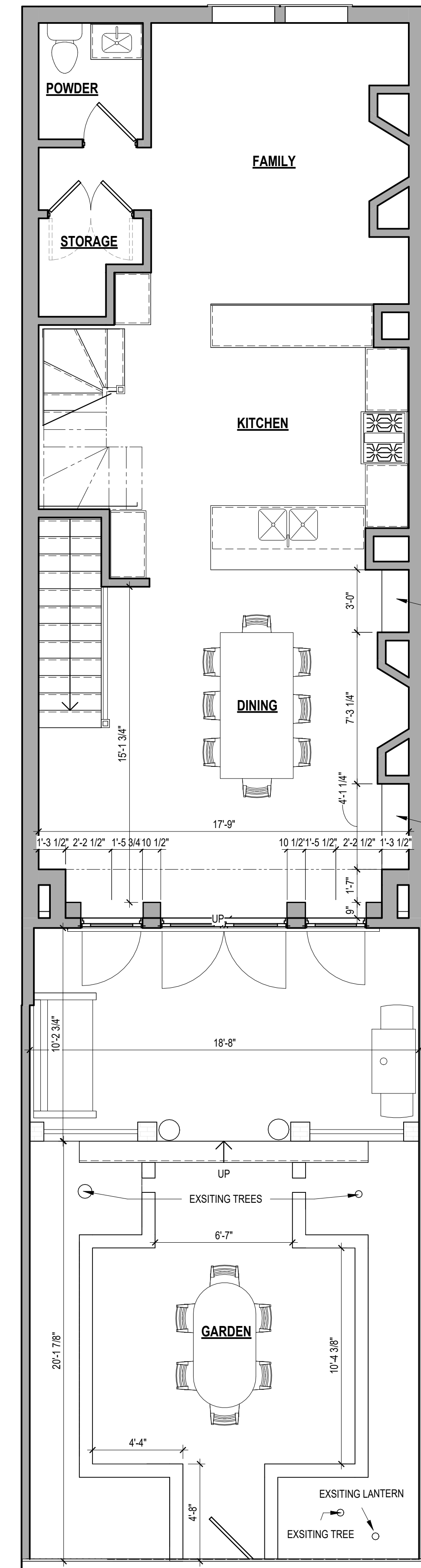
3 SECOND FLOOR
1/4" = 1'-0"



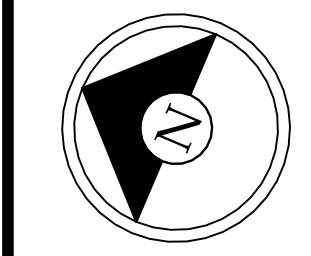
2 FIRST FLOOR EXISTING
1/4" = 1'-0"



6 BASEMENT EXISTING
1/4" = 1'-0"



1 GARDEN LEVEL EXISTING
1/4" = 1'-0"

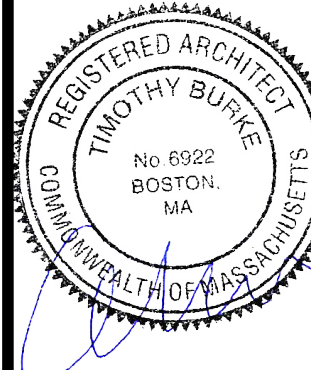


Timothy Burke
ARCHITECTURE
142 BERKELEY STREET, BOSTON MASSACHUSETTS 02116
P. 617.266.1532 | W. timburke.net | F. 617.266.1116



| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

PROJECT STATUS



EXISTING CONDITIONS

10 West Cedar Street
Boston, MA 02108

A1.2