

Initial Construction Control Document

To be submitted with the building permit application by a
Registered Design Professional
for work per the ninth edition of the
Massachusetts State Building Code, 780 CMR, Section 107

Project Title: 7 Beaver Place
Date: June 3rd, 2019

Property Address:
7 Beaver Place, Boston MA 02108

Project: Check (x) one or both as applicable: **New construction** **Existing Construction**

Project description: Renovation of a 2,500 SF Townhouse

Alfred
I Wojciechowski MA Registration Number: 8522 Expiration date: 08/31/19, am a *registered design professional*, and I have prepared or directly supervised the preparation of all design plans, computations and specifications concerning¹:

Architectural
Fire Protection

Structural
Electrical

Mechanical
Other:

for the above named project and that to the best of my knowledge, information, and belief such plans, computations and specifications meet the applicable provisions of the Massachusetts State Building Code, (780 CMR), and accepted engineering practices for the proposed project. I understand and agree that I (or my designee) shall perform the necessary professional services and be present on the construction site on a regular and periodic basis to:

1. **Review**, for conformance to this code and the design concept, shop drawings, samples and other submittals by the contractor in accordance with the requirements of the construction documents.
2. **Perform** the duties for registered design professionals in 780 CMR Chapter 17, as applicable.
3. **Be present** at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the work and to determine if the work is being performed in a manner consistent with the approved construction documents and this code.

Nothing in this document relieves the contractor of its responsibility regarding the provisions of 780 CMR 107.

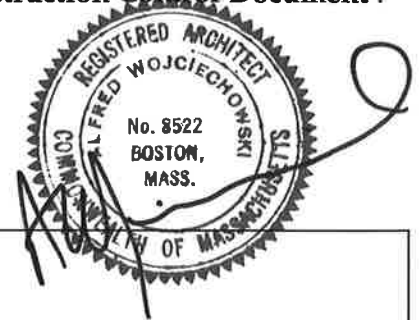
When required by the building official, I shall submit field/progress reports (see item 3.) together with pertinent comments, in a form acceptable to the building official.

Upon completion of the work, I shall submit to the building official a 'Final Construction Control Document'.

Enter in the space to the right a "wet" or electronic signature and seal:

Phone number: 617.646.5200

Email: Alfred@CBTarchitects.com



Building Official Use Only

Building Official Name: **Permit No.:** **Date:**

Note 1. Indicate with an 'x' project design plans, computations and specifications that you prepared or directly supervised. If 'other' is chosen, provide a description.

7 Beaver Place
3-Jun-19

Energy Code Analysis

	Basis of Design	Energy Star Certified Homes v3.1 (with reference to 2012 IECC)	MA Stretch Code (follows 2015 IRC & 2015 IECC w/ amendments)
Climate Zone: 5			
Foundations			
Slab insulation R-Value	10	10	10
Slab insulation depth (ft)	2	2	2
Basement wall assembly U-Factor	0.05	0.05	0.05
Basement wall assembly R-Value	19	19	19
Floor - Over Garage			
Floor U-Factor (Wood framed)	0.033	0.033	0.033
Floor R-Value (Wood framed)	19	19	19
Floor R-Value (Steel Joist Floor)	19 cavity + 12 ci in 2x8 or 2x10	19 cavity + 12 ci in 2x8 or 2x10	19 cavity + 12 ci in 2x8 or 2x10
Above Grade Walls			
Solar Absorptance	0.75	0.75	
Emittance	0.90	0.90	
Wall Assembly U-Factor	0.057	0.057	0.06
Wood Frame Wall R-Value	20 or 13 cavity+5 ci	20 or 13 cavity+5 ci	20 or 13 cavity+5 ci
Steel Framed Wall (16"oc) R-Value	0 cavity + 14.0 ci	0 cavity + 14.0 ci	0 cavity + 14.0 ci
	13 cavity + 8.9 ci	13 cavity + 8.9 ci	13 cavity + 8.9 ci
	15 cavity + 8.5 ci	15 cavity + 8.5 ci	15 cavity + 8.5 ci
	19 cavity +7.8 ci	19 cavity +7.8 ci	19 cavity +7.8 ci
	19 cavity + 6.2 ci	19 cavity + 6.2 ci	19 cavity + 6.2 ci
	21 cavity + 7.5 ci	21 cavity + 7.5 ci	21 cavity + 7.5 ci
Ceilings			
Ceiling Assembly U-Factor	0.026	0.026	0.026
Ceiling R-Value (Wood Frame)	49	49	49
Ceiling R-Value (Steel Truss)	38 cavity + 5 ci	38 cavity + 5 ci	38 cavity + 5 ci
Roofs			
Solar Absorptance	0.92	0.92	
Emittance	0.9	0.9	
Skylights			
Skylight U-Factor	0.55	None	0.55
Infiltration Rate			
	3 ACH50	3 ACH50	3 ACH50
Fenestration Air Leakage			
Windows, skylights, sliding glass doors	0.3 cfm / SF Max		0.3 cfm / SF Max
Swinging Doors	0.5 cfm / SF Max		0.5 cfm / SF Max
Window U-Value			
	0.27	0.27	0.3
Window SHGC			
	0.4	Any (0.4 assumed)	NR
Door U-Value			
Opaque	0.17	0.17	
≤ 1/2 Lite	0.25	0.25	
> 1/2 Lite	0.3	0.3	
Door SHGC			
Opaque	Any	Any	architecture
≤ 1/2 Lite	0.25	0.25	interior design
> 1/2 Lite	0.4	0.4	urban design



cbt

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RECONSTRUCTION
7 BEAVER PLACE
BOSTON, MA 02108

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DAVID ANDREW TRUST
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NORTH PROVIDENCE, RI 02904
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RDK ENGINEERS
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ANDOVER, MA 01810
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ISD REVIEW SET - 15 FEBRUARY 2018



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FAR CALCULATION

Gross Floor Areas (sf)	
Basement	710.85
First Floor	806.25
Second Floor	806.25
Third Floor	417.66
Total Gross Floor Area (sf)	2741.01
Allowed Deductions (sf)	
Basement Garage, Mechanical, Laundry, Dumbwaiter	(710.85)
First Floor Garage	(833.46)
First Floor Lift Equipment	(8.31)
First Floor Mechanical Chase	(5.55)
First Floor Plumbing Chase	(1.75)
First Floor Utility	(13.91)
Second Floor Mechanical Chase	(10.21)
Second Floor Plumbing Chase	(1.82)
Third Floor Mechanical Chase	(19.92)
Third Floor Plumbing Chase	(1.97)
Dumbwaiter (First, Second, Third Floors)	(11.68)
Total Allowed Deductions	(1119.43)
Adjusted Gross Floor Area (sf)	1621.58
Lot Size (sf)	819
Proposed Floor Area Ratio	1.98

ZONING SUMMARY

Property: 7 Beaver Place, Boston, MA, 02108
 Parcel ID: 0502542010 (Map No. 1)
 Zoning District: Boston Proper
 Zoning Subdistrict: H-2-65
 Subdistrict Type: Apartment Residential
 Overlays: Groundwater Conservation, Restricted Parking, Historic Beacon Hill District

H-2-65	Required	Original Construction	Proposed Reconstruction
Type of Use	Any Dwelling	Single Family Dwelling	Single Family Dwelling
Lot Size minimum	None	819 sf	819 sf
Lot Width Minimum	None	25 ft	25 ft
Floor Area Ratio (gross square footage)	2.0 (1,638 sf)	2.88 (2,359 sf)	1.98 (1,621.58 sf)
Height of Building (Stories)	None	3 stories	3 stories
Height of Building (Feet)	65 ft	31.75 ft	31.75 ft
Usable Open Space minimum area per dwelling unit	150 sf	315 sf (roof deck applies; see Section 17.1 - Minimum Usable Open Space)	315 sf (roof deck applies; see Section 17.1 - Minimum Usable Open Space)
Front Yard Minimum Depth	None (see Section 18-2 Conformity with Existing Building Alignment)	0	0
Side Yard Minimum Width	None (see Section 19-4 - Side Yards in H Districts)	0	0
Rear Yard Minimum Depth	30 ft minimum (see Section 20-4 - Rear Yards in H Districts)	0	0
Off-Street Parking	0.7 space (for FAR 2.0 per Section 23-1)	2 spaces (within garage)	3 spaces (within garage)

DRAWING LIST

SHEET NUMBER	SHEET NAME	PERMIT SET
GENERAL		
A000	COVER SHEET	X
A001	DRAWING LIST, FAR, ZONING	X
A002	PROJECT DIRECTORY	X
A003	MATERIALS AND CONVENTIONS	X
EXISTING CONDITIONS		
EX000	BOUNDARY AGREEMENT PLAN OF LAND	X
EX100	FLOOR PLANS - PREVIOUSLY DEMOLISHED	X
CIVIL		
C1.1	UTILITY SITE PLAN	X
C1.2	DETAILS	X
C1.3	DETAILS	X
DEMOLITION		
D100	BASEMENT DEMOLITION PLAN	X
D101	FIRST FLOOR DEMOLITION PLAN	X
D200	NORTH ELEVATION - DEMOLITION	X
ARCHITECTURAL		
A011	SITE PLAN	X
A100	BASEMENT FLOOR PLAN	X
A101	FIRST FLOOR PLAN	X
A102	SECOND FLOOR PLAN	X
A103	THIRD FLOOR PLAN	X
A104	ROOF PLAN	X
A200	SOUTH ELEVATION	X
A201	NORTH ELEVATION	X
A202	EAST ELEVATION	X
A203	WEST ELEVATION	X
A301	BUILDING SECTION	X
A302	BUILDING SECTION	X
A303	BUILDING SECTION	X
A400	EXTERIOR DETAILS (HAC SUBMISSIONS)	X
A401	EXTERIOR DETAILS (HAC SUBMISSIONS)	X
A700	BASEMENT REFLECTED CEILING PLAN	X
A701	FIRST FLOOR REFLECTED CEILING PLAN	X
A702	SECOND FLOOR REFLECTED CEILING PLAN	X
A703	THIRD FLOOR REFLECTED CEILING PLAN	X
STRUCTURAL		
S100	BASEMENT FLOOR PLAN	X
S101	FIRST FLOOR FRAMING PLAN	X
S102	SECOND FLOOR FRAMING PLAN	X
S103	THIRD FLOOR FRAMING PLAN	X
S104	ROOF FRAMING PLAN	X
S300	BUILDING SECTION	X
S301	BUILDING SECTION	X
S302	BUILDING SECTION	X
S303	BUILDING SECTION	X
S304	BUILDING SECTION	X
S401	DETAILS	X
FIRE PROTECTION		
FP000	FIRE PROTECTION LEGEND	X
FP200	FIRE PROTECTION BASEMENT FLOOR PLAN	X
FP201	FIRE PROTECTION 1ST FLOOR PLAN	X
FP202	FIRE PROTECTION 2ND FLOOR PLAN	X
FP203	FIRE PROTECTION 3RD FLOOR PLAN	X
FP600	FIRE PROTECTION DETAILS	X
PLUMBING		
P000	PLUMBING LEGEND	X
P200	PLUMBING UNDER BASEMENT FLOOR PLAN	X
P200B	PLUMBING BASEMENT FLOOR PLAN	X
P201	PLUMBING 1ST FLOOR PLAN	X
P202	PLUMBING 2ND FLOOR PLAN	X
P203	PLUMBING 3RD FLOOR PLAN	X
P209	PLUMBING ROOF PLAN	X
P600	PLUMBING DOMESTIC WATER AND GAS RISER...	X
P601	PLUMBING SANITARY & VENT RISER DIAGRAM	X
P700	PLUMBING DETAILS	X
P701	PLUMBING DETAILS	X
P800	PLUMBING SCHEDULES	X
HVAC		
H000	HVAC LEGEND	X
H220	HVAC BASEMENT FLOOR PLAN	X
H221	HVAC 1ST FLOOR PLAN	X
H222	HVAC 2ND FLOOR PLAN	X
H223	HVAC 3RD FLOOR PLAN	X
H229	HVAC ROOF PLAN	X
H500	HVAC RISER AND FLOW DIAGRAMS	X
H600	HVAC CONTROLS	X
H700	HVAC DETAILS	X
H701	HVAC DETAILS	X
H702	HVAC DETAILS	X
H800	HVAC SCHEDULES	X
ELECTRICAL		
E000	ELECTRICAL LEGEND	X
E200	ELECTRICAL BASEMENT LIGHTING PLAN	X
E201	ELECTRICAL 1ST FLOOR LIGHTING PLAN	X
E202	ELECTRICAL 2ND FLOOR LIGHTING PLAN	X
E203	ELECTRICAL 3RD FLOOR LIGHTING PLAN	X
E300	ELECTRICAL BASEMENT FLOOR POWER PLAN	X
E301	ELECTRICAL 1ST FLOOR POWER PLAN	X
E302	ELECTRICAL 2ND FLOOR POWER PLAN	X
E303	ELECTRICAL 3RD FLOOR POWER PLAN	X
E304	ELECTRICAL ROOF POWER PLAN	X
E400	ELECTRICAL BASEMENT FIRE ALARM PLAN	X
E401	ELECTRICAL 1ST FLOOR FIRE ALARM PLAN	X
E402	ELECTRICAL 2ND FLOOR FIRE ALARM PLAN	X
E403	ELECTRICAL 3RD FLOOR FIRE ALARM PLAN	X
E700	ELECTRICAL POWER AND RISER DISGRAMS	X
E800	ELECTRICAL DETAILS SHEET 1	X

REVISIONS #	DATE	DESCRIPTION
1	6/3/2019	7 BEAVER PLACE REVISION 1

RECONSTRUCTION

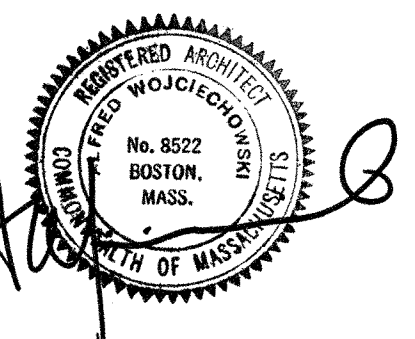
7 BEAVER PLACE
 BOSTON, MA 02108

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DRAWING LIST, FAR,
 ZONING

SCALE PROJECT # DATE ISSUED
 158067-00 02-15-2018

A001



PROJECT DIRECTORY

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Tom Flanagan, LEED Specialist

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Brian DeLano, Vice President

REVISIONS

#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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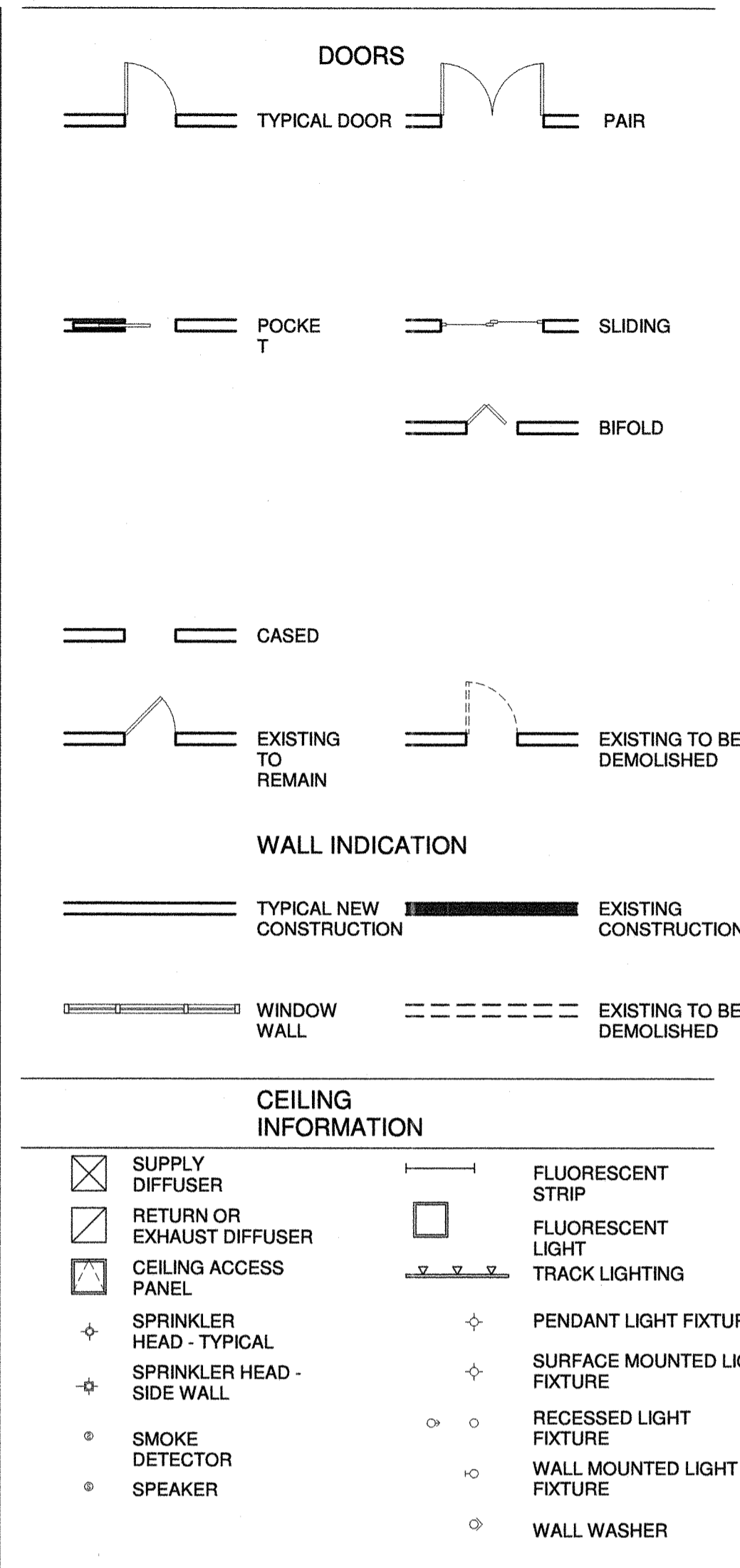


PROJECT DIRECTORY

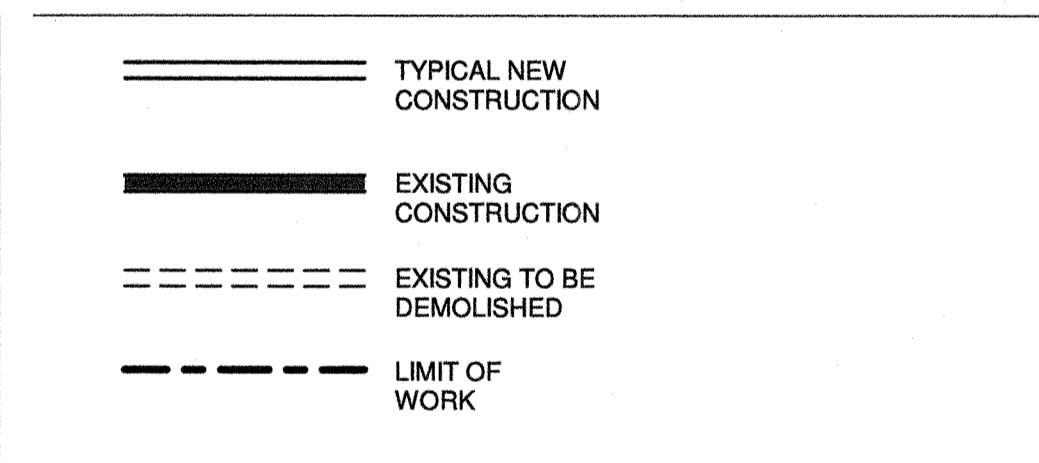
SCALE PROJECT # DATE ISSUED
158007.00 02.15.2018

A002

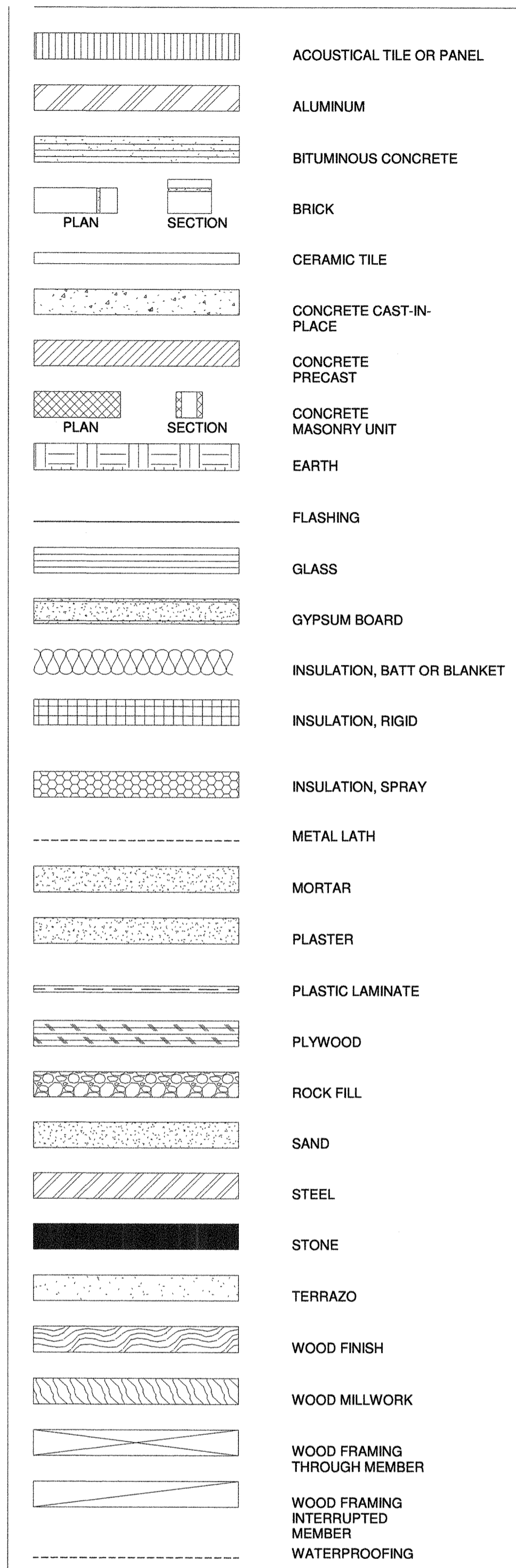
DRAFTING CONVENTIONS



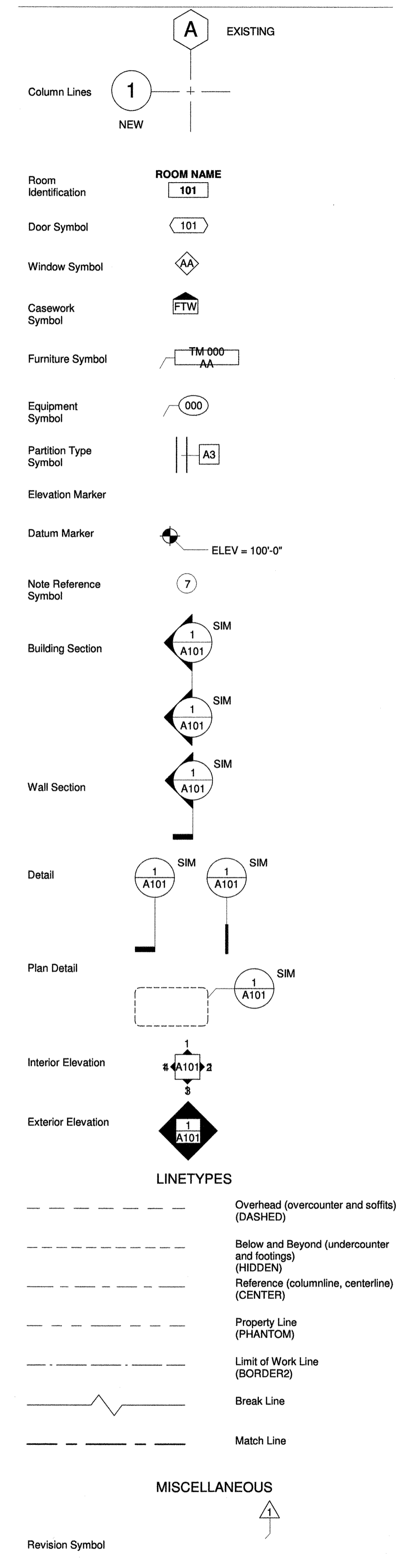
DEMOLITION / CONSTRUCTION SYMBOL LEGEND



MATERIAL CONVENTIONS



GRAPHIC SYMBOLS



ARCHITECTURAL ABBREVIATIONS

A And	GA Gage	R Riser
< Angle	GALV Galvanized	RAD Radius
@ Centerline	GB Grab Bar	RBR Rubber
Ø Diameter	GEN Generator	RD Root Drain
# Pound	GFRG Glass Fiber Reinforced Concrete	REC Recessed
± Tolerance Dimension	GFRG Glass Fiber Reinforced Gypsum	REF Reference
A/E Architect / Engineer	GL Glass	REFR Refrigerator
AB Anchor Bolt	GLMU Glass Masonry Unit	REG Register
ACBL Accessible (ADA Compliant)	GMMU Glass Mesh Mortar Unit	REINF Reinforced or Reinforcing
ACOUS Acoustical	GND Ground	REIN Reinforceable
AFF Above Finished Floor	GR Grate	REQD Required
AD Access Door	GRTG Grating	RESIL Resilient
ADA Americans with Disabilities Act	GSKT Gasket	RFLG Roofing
ADBL Adaptable (ADA Compliant)	GT GROUT	RH Right Hand
ADDL Additional	GVL Gravel	RHR Right Hand Reserve
ADH Adhesive	GWB Gypsum Wall Board	RT Roofing
ADJ Adjustable	GYP Gypsum	RM Room
ADJC Adjacent	HB Hose Bib	RO Rough Opening
AF Access Floor	HC Hollow Core	RV Roof Vent
AGGR Aggregate	HDBD Hardwood	RWL Rain Water Leader
AL Aluminum	HDWD Hardwood	S South
ALT Alternated	HDWE Hardwood	SC Solid Core
ANOD Anodized	HGR Hanger	SCHED Schedule
AP Access Panel	HGT Height	SCRN Screen
ARCH Architect	HM Hollow Metal	SD Soap Dispenser
ASC Above Suspended Ceiling	HMD Hollow Metal Door	SECT Section
ASPH Asphalt	HNDRL Handrail	SGL Single
BD Board	HO Hold Open	SHR Shower
BLDG Building	HORIZ Horizontal	SHT Sheet
BLKG Blocking	HPT High Point	SHTHG Sheathing
BM Beam	HR Hour	SHV Shaving
BOT Bottom	HVAC Heating, Ventilation, Air Conditioning	SIM Similar
BUR Built-up Roofing	HYDR Hydraulic	SK Sink
CAB Cabinet	ID Inside Diameter	SLV Sleeve
CB Casing Bead	IF Inside Face	SM Sheet Metal
CG Corner Guard	IN Inch or Inches	SMD Sanitary Napkin Dispenser
CEM Cement	INSUL Insulation	SNR Sanitary Napkin Receptacle
CEMNTS Cementitious	INTR Interior	SPEC Specification
CER Ceramic	IWH Instantaneous Water Heater	SQ Square
CFMF Cold Formed Metal Framing	JAN Janitor	SSK Service Sink
CIP Cast in Place	JST Joist	SST Stainless Steel
CHAN Channel	JT Joint	ST Street
CHBD Chalkboard	KIT Kitchen	STA Stagger
CHFR Chamfer	KO Knockout	STC Sound Transmission Class
CLJ Construction Joint	KOP Knockout Panel	STD Standard
CLG Ceiling	KPL Kick Plate	STL Steel
CLJ Control Joint	L Left	STOR Storage
CLO Closet	LAB Laboratory	STRUC Structural
CLR Clear	LAD Ladder	SUSP Suspended
CLRM Classroom	LAV Lavatory	SYM Symbol
CMPS Composite	LB Label	SYM Symmetrical
CNTFTG Centrifuge	LB Label	SYS System
CNTR Counter	LF Linear Foot	T Tread
CO Cased Opening	LG Length	T&B Tongue and Groove
COL Column	LH Left Hand	T&G Tongue and Groove
COMP Computer	LHR Left Hand Reverse	TB Towel Bar
CONC Concrete	LIB Library	TC Top of Concrete
CONN Connection	LKR Locker	TEL Telephone
CONSTR Construction	LL Long Leg Horizontal	TEMP Temporary
CONT Continuous	LLV Long Leg Vertical	TER Terrazzo
CONTR Contractor	LNTL Lintel	TF Top of Footing
CORR Corridor	LONG Longitudinal	TFF Top of Finished Floor
CPRS Compressible or Compression	LP Light	THK Thickness
CRS Cold Rolled Steel	LPT Low Point	THRES Threshold
CS Cast Stone	LT Light	TKBD Tackboard
CSK Countersunk	LTWT Lightweight	TMPD Tempered
CSMT Casement	LTG Lighting	TOL Tolerance
CSWK Casework	LVR Lever or Louver	TP Top of Pavement
CYL Cylinder		TPH Toilet Paper Holder
		TSL Top of Slab
		TST Top of Steel
		TV Television
		TW Top of Wall
		TYP Typical
		UNEX Unexcavated
		UNFIN Unfinished
		UNF Unless Otherwise Noted
		UPS Uninterruptible Power Supply
		UR Urinal
		UV Ultraviolet
		VAC Vacuum
		VCT Vinyl Composition Tile
		VERT Vertical
		VEST Vestibule
		VIF Contractor to Verify in Field
		VNR Veneer
		VR Vapor Retarder
		W West
		W/ With
		W/O Without
		WC Water Closet
		WD Wood
		WLD Welded
		WSCT Wainscot
		WT Weight
		WTRPRF Waterproofing
		WWF Welded Wire Fabric
		N North or Nitrogen
		NA Not Applicable
		NAT Natural
		NC Not in Contract
		NO Number
		NOM Nominal
		NTS Not To Scale
		OA Overall
		OC On Center
		OD Outside Diameter
		OF Outside Face
		OFCL Owner Furnished/ Contractor Installed
		OFF Office
		OPNG Opening
		OPP Opposite
		OXY Oxygen
		PB Panic Bar
		PERF Perforated
		PERIM Perimeter
		PERP Perpendicular
		PGBD Peg Board
		PL Plate
		PLAM Plastic Laminate
		PLAS Plaster
		PLBG Plumbing
		PLYWD Plywood
		PNEU Pneumatic
		PNL Panel
		PNT Paint
		PNTD Painted
		POL Polished
		POLY Polyethylene
		PR Par
		PRCST Precast
		PREFAB Prefabricated
		PREFIN Prefinished
		PT Pressure Treated
		PTD Paper Towel Dispenser
		PTN Partition
		PTR Paper Towel Receptacle
		PVC Polyvinyl Chloride
		PVG Paving
		QT Quarry Tile
		QTY Quantity
		QUAL Quality

REVISIONS	#	DATE	DESCRIPTION
	1	6/3/2019	7 BEAVER PLACE REVISION 1

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

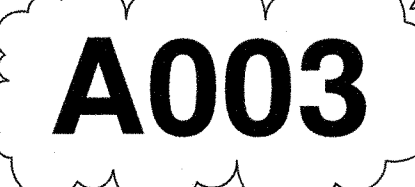
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MATERIALS AND CONVENTIONS

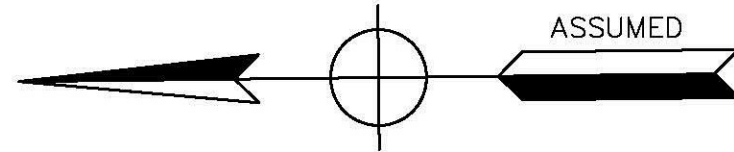
SCALE: As Indicated

PROJECT #: 158007-00

DATE ISSUED: 06/03/2019

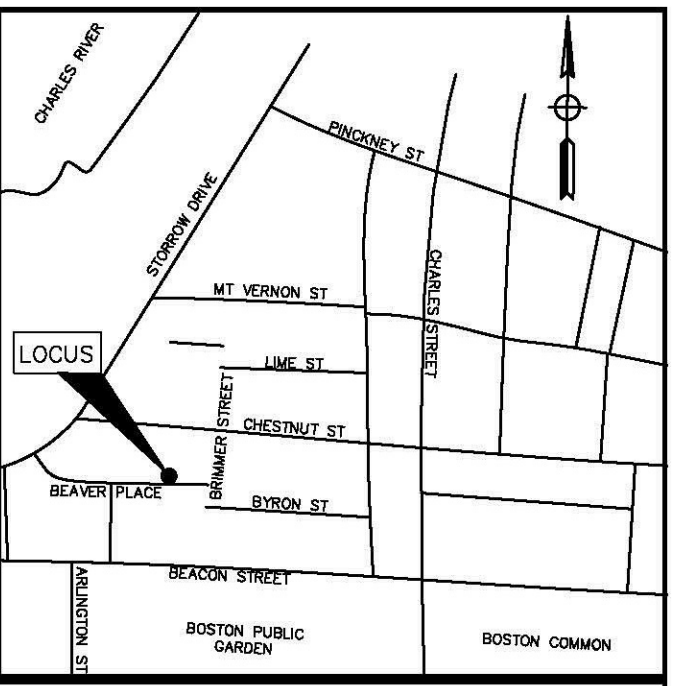


A003



REFERENCES

1. PLAN OF LAND IN WARD II, BOSTON
PREPARED BY: ASPINWALL & LINCOLN, CIVIL ENGINEERS
DATED: JUNE 29, 1915, SCALE: 1"=4'
BOOK 3892 PAGE 93
2. PLAN OF LAND IN WARD 8
PREPARED BY: ASPINWALL & LINCOLN, CIVIL ENGINEERS
DATED: SEPTEMBER 28, 1917, SCALE: 1"=8'
BOOK PAGE
3. SUBDIVISION PLAN OF LAND
7-9 BEAVER PLACE, BOSTON, MASSACHUSETTS
PREPARED BY: DON ROSA, PLS
DATED: FEBRUARY 5, 1995 SCALE: 1"=10'
BOOK 19666 END
4. EXISTING CONDITIONS PLAN
#83-#89 BRIMMER STREET, BOSTON, MASSACHUSETTS
PREPARED BY: HARRY R. FELMAN, INC.
DATED: MARCH 18, 2003 SCALE: 1"=8'
5. CERTIFIED PLOT PLAN
LOCATED AT 7 BEAVER PLACE, BOSTON, MA.
PREPARED BY: BOSTON SURVEY, INC
DATED: FEBRUARY 19, 2008 SCALE: 1"=10'
6. CHESTNUT STREET, BOSTON PROPER
PREPARED BY: CITY OF BOSTON
STREET LAYING OUT DEPARTMENT
DATED: MARCH 25, 1912, SCALE: 1"=20'
LAYOUT NO. L4558
7. CITY OF BOSTON ENGINEERING DEPARTMENT
SURVEY NOTEBOOK 67, PAGE 59
SURVEY NOTEBOOK 422, PAGES 78-79
SURVEY NOTEBOOK 652, PAGES 30-31
SURVEY NOTEBOOK 665, PAGES 114-117
SURVEY NOTEBOOK 679, PAGES 56-57 AND 132-135
SURVEY NOTEBOOK 732, PAGES 8-13
8. EASEMENT AND RESTRICTIVE COVENANTS AGREEMENT
DATED: OCTOBER 24, 1994
BOOK 19547 PAGE 148
9. WALL AND PROPERTY LINE PLANS OF BASEMENT,
FIRST, SECOND AND THIRD FLOORS
PREPARED BY: SURVEYING AND MAPPING CONSULTANTS
DATED: AUGUST 25, 2011
SCALE: 1"=5'
10. AGREEMENT FOR JUDGMENT BETWEEN DAT
RESIDENTIAL REALTY TRUST AND MARGARET SCOTT
CIVIL ACTION NO. 2011-02678
11. EASEMENT PLAN OF LAND
7 & 11 BEAVER PLACE, BOSTON, MASSACHUSETTS
PREPARED BY: SURVEYING & MAPPING CONSULTANTS
DATED: MARCH 19, 2012, SCALE 1"=3'



LOCUS MAP
NOT TO SCALE

FOR REGISTRY USE ONLY
SUFFOLK COUNTY

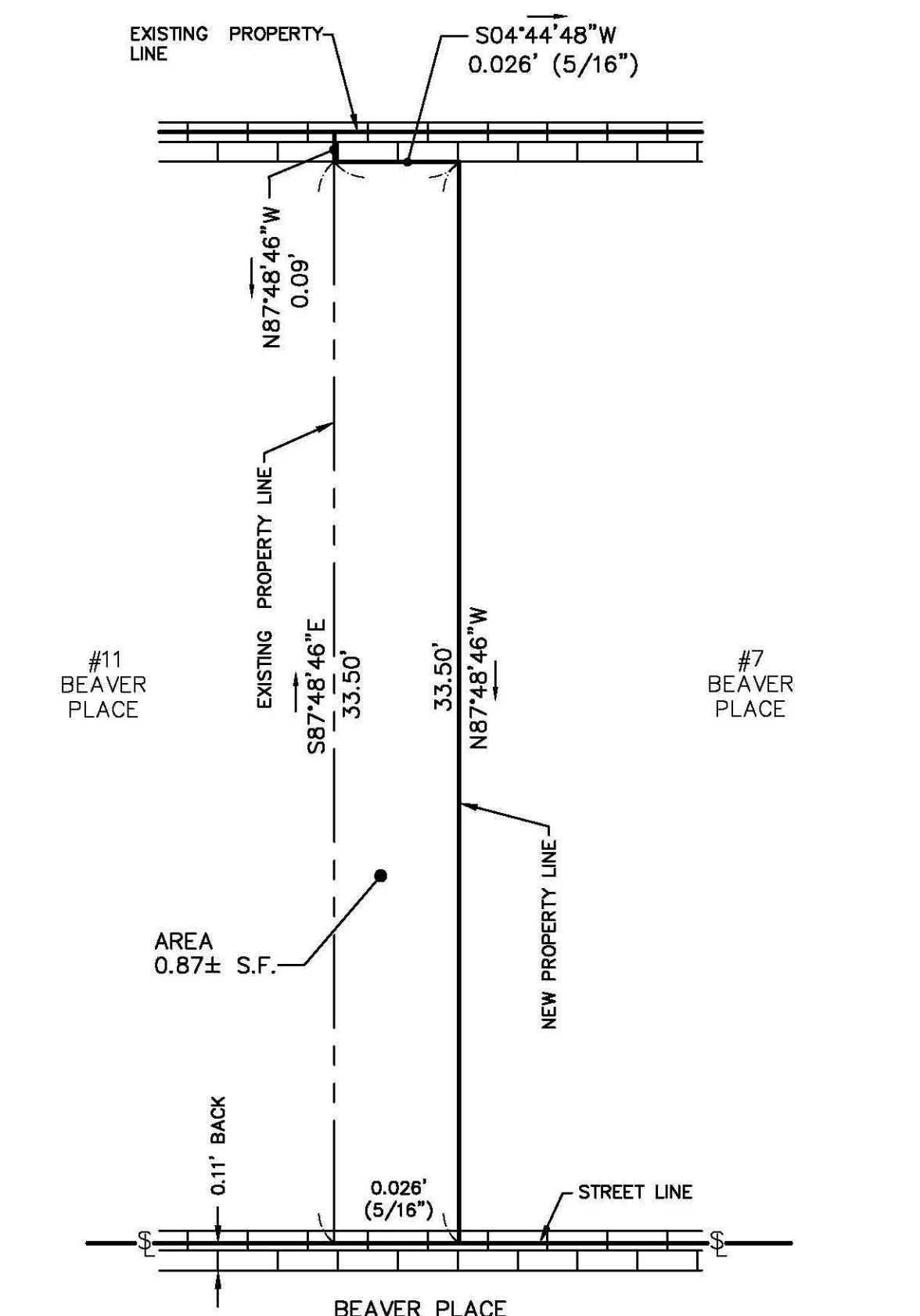
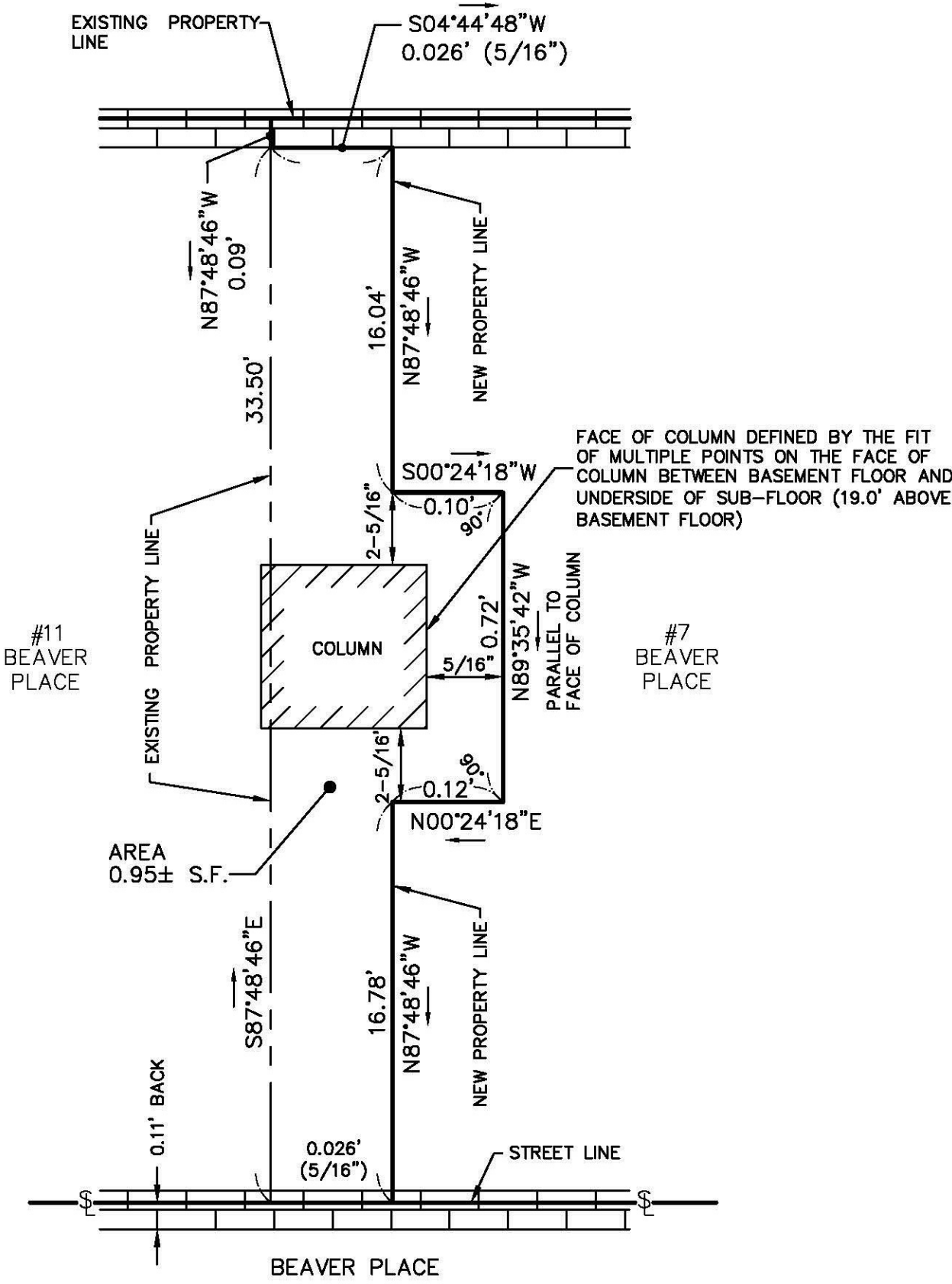
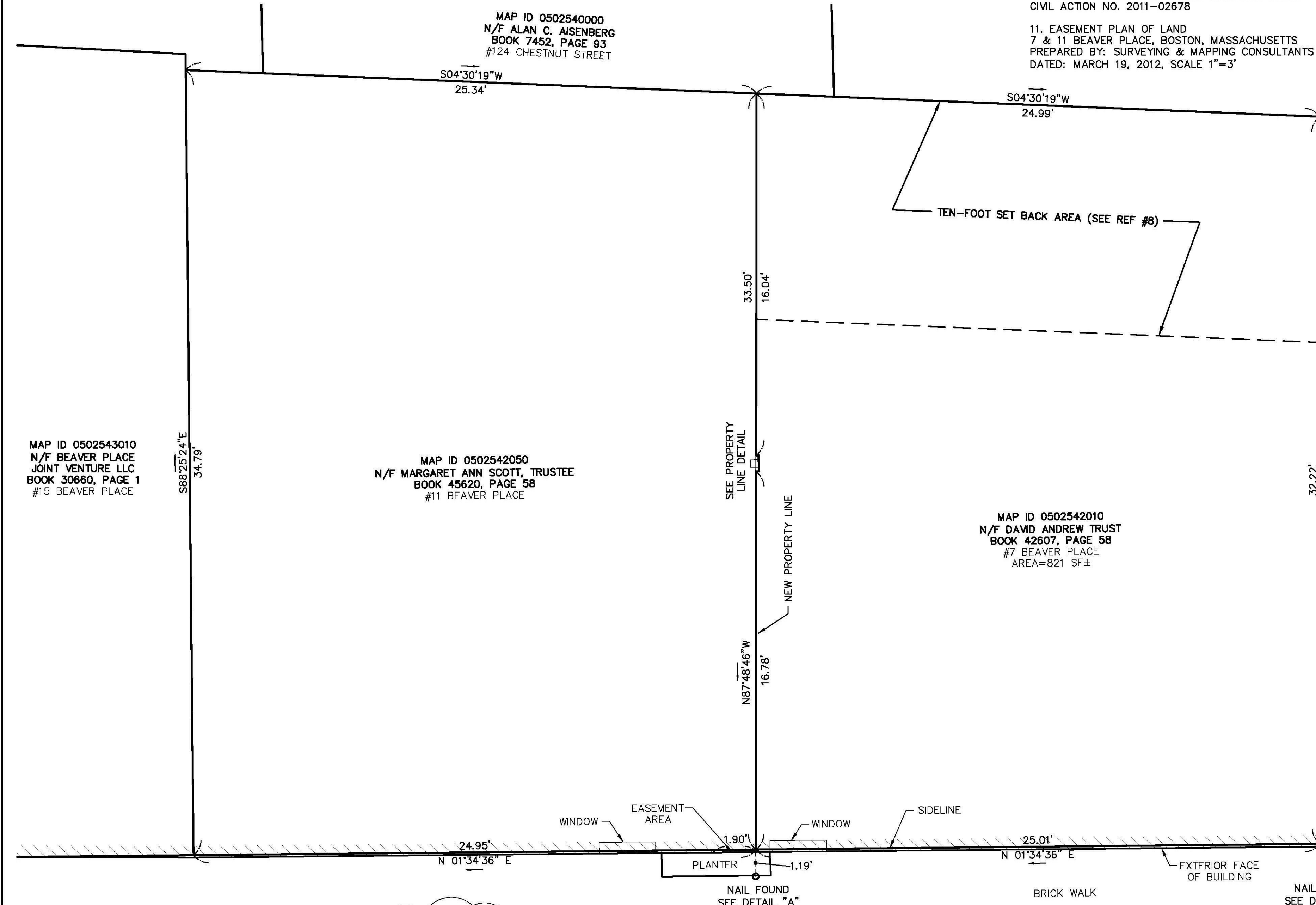
MAP ID 0502540000
N/F ALAN C. AISENBERG
BOOK 7452, PAGE 93
#124 CHESTNUT STREET

MAP ID 0502542050
N/F MARGARET ANN SCOTT, TRUSTEE
BOOK 45620, PAGE 58
#11 BEAVER PLACE

MAP ID 0502543010
N/F BEAVER PLACE
JOINT VENTURE LLC
BOOK 30660, PAGE 1
#15 BEAVER PLACE

MAP ID 0502542010
N/F DAVID ANDREW TRUST
BOOK 42807, PAGE 58
#7 BEAVER PLACE
AREA=821 SF±

MAP ID 0502541000
N/F PARK STREET KIDS INC
BOOK 31449, PAGE 498
#67-69 BRIMMER STREET



THIS PLAN HAS BEEN PREPARED IN CONFORMANCE
WITH THE RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

KEVIN HANLEY, PLS
MASSACHUSETTS REG. No. 31313

325 WOOD ROAD
SUITE 109
BRAintree, MA 02184
(781)380-7766
FAX (781)380-7757

SMC SURVEYING AND MAPPING CONSULTANTS

**BOUNDARY AGREEMENT
PLAN OF LAND
7 & 11 BEAVER PLACE
BOSTON, MASSACHUSETTS
(SUFFOLK COUNTY)**

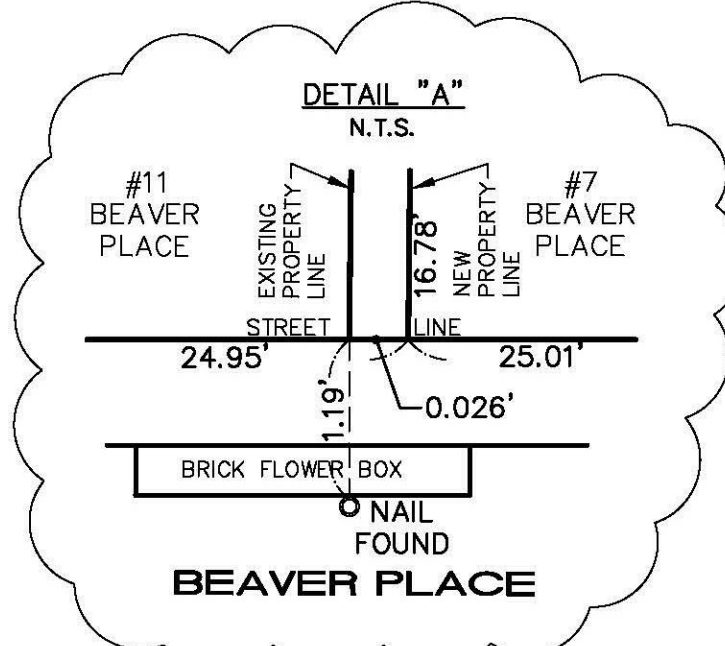
PREPARED FOR: DAT RESIDENTIAL REALTY TRUST &
MARGARET ANN SCOTT 2007 FAMILY TRUST

SCALE: 1"=10' DATE: MARCH 19, 2012

SMC DWG. NO. V12901FP.DWG SHEET 1 OF 1

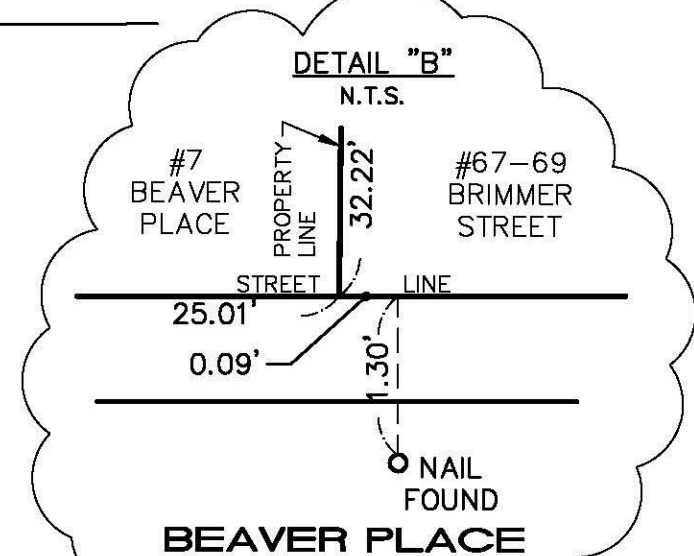
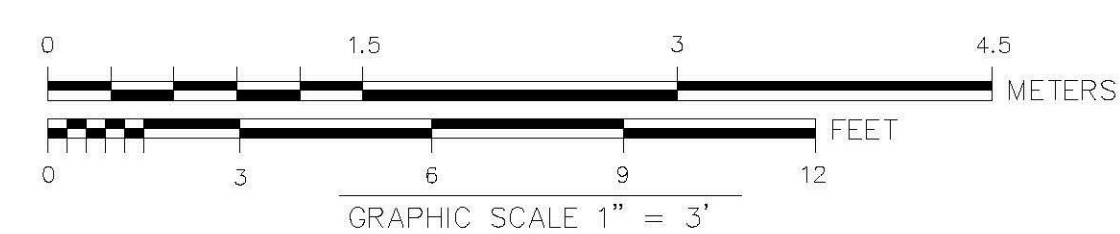
LEGEND

- (S) SURVEY
- (D) DEED
- NAIL

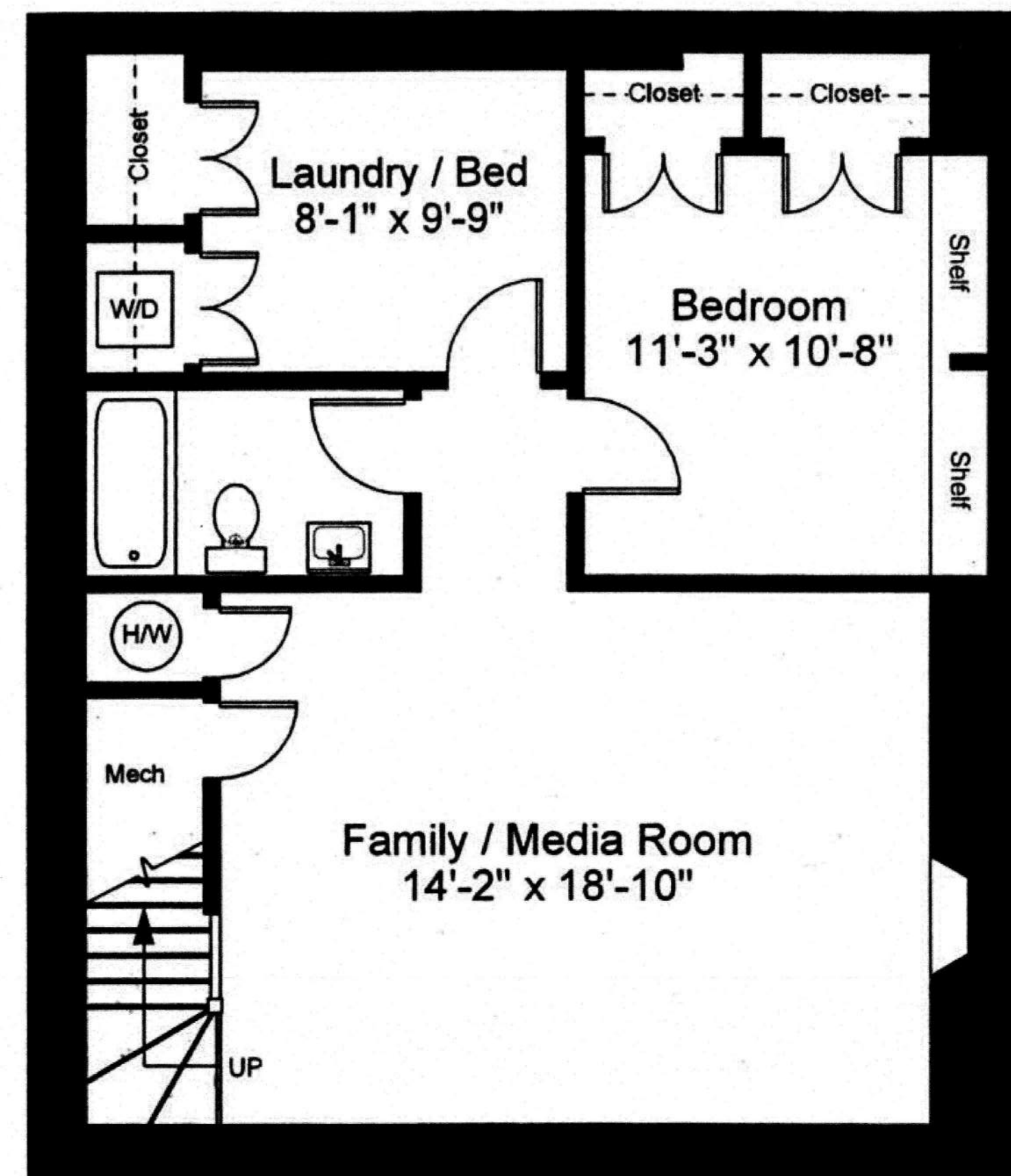
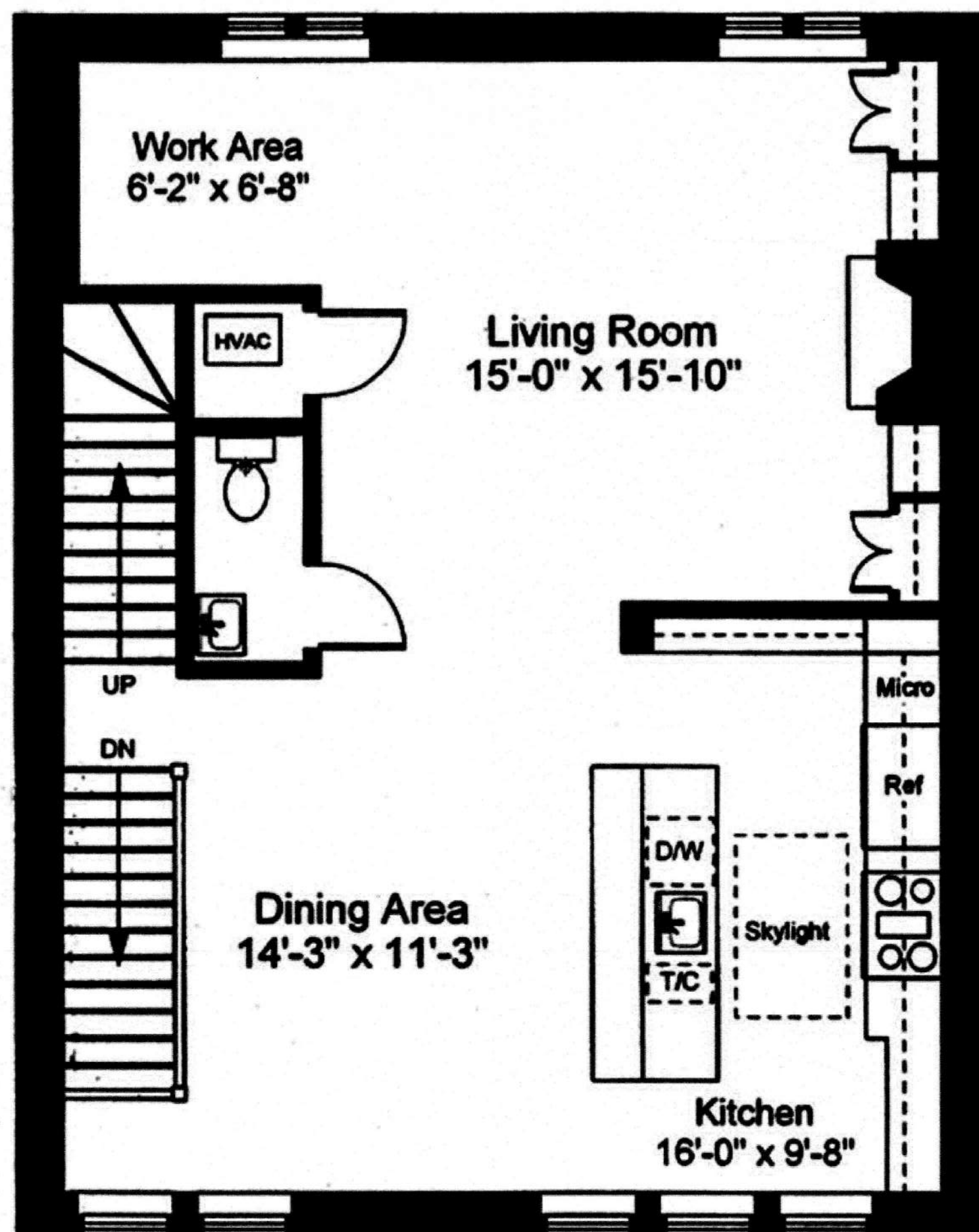
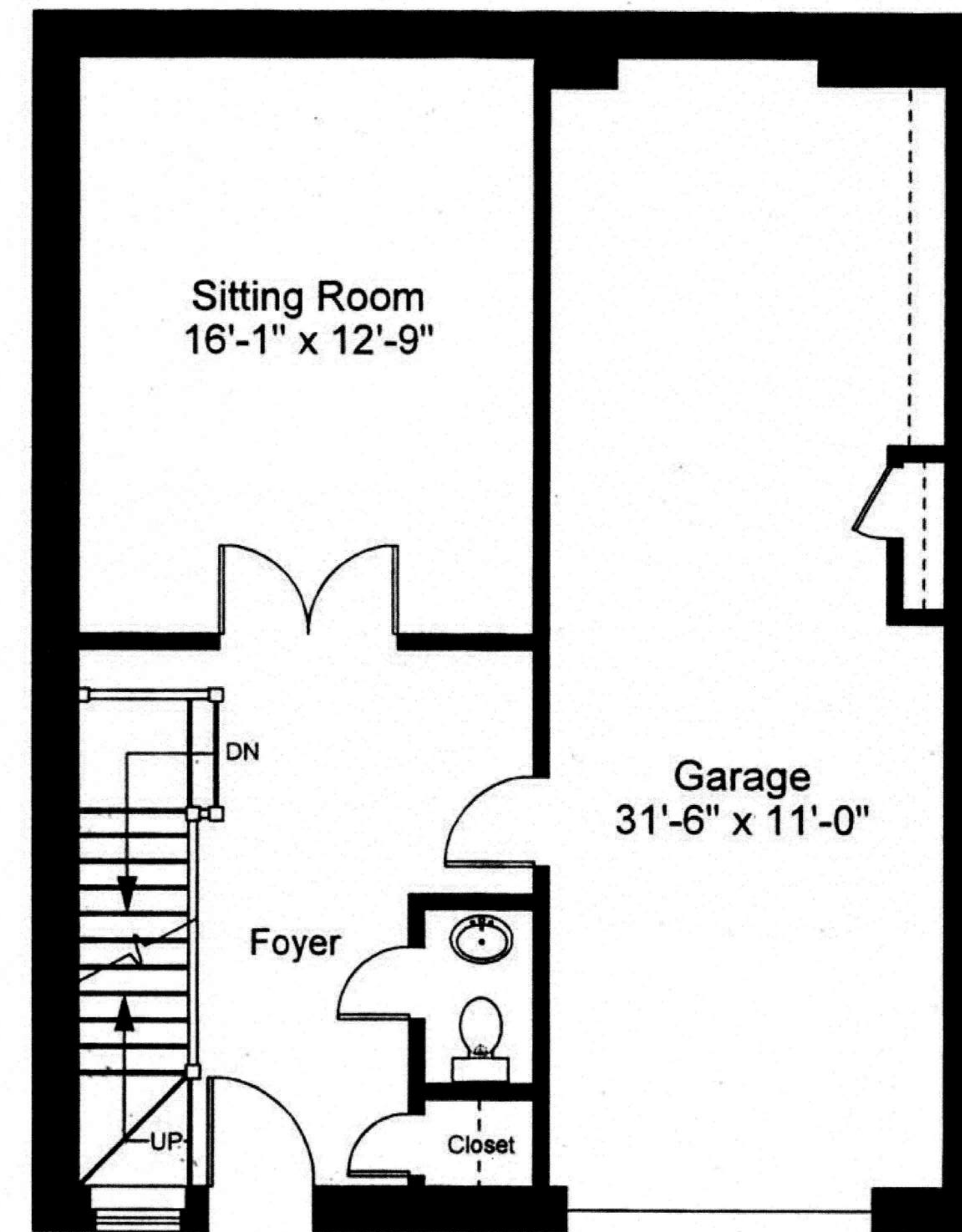
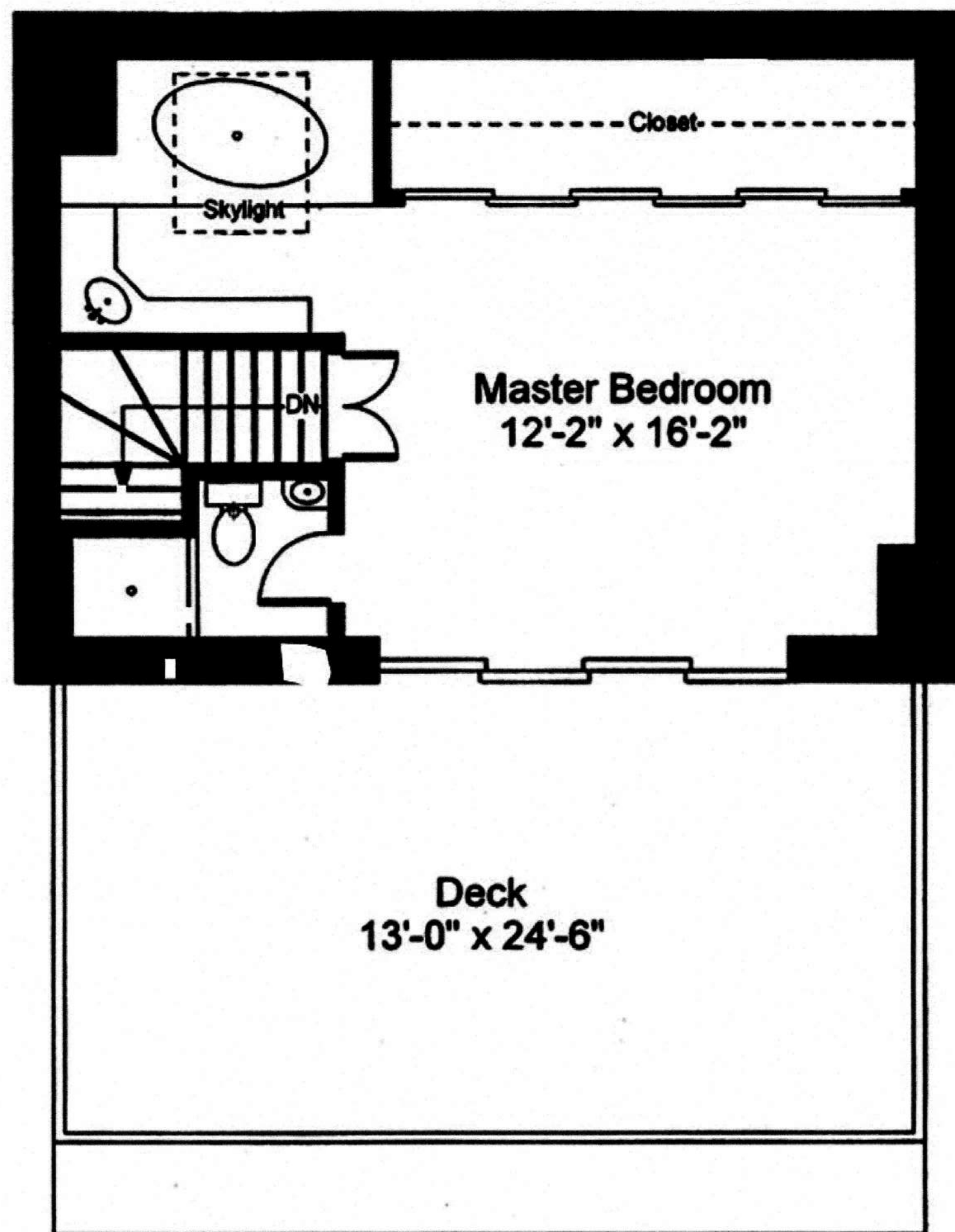


BEAVER PLACE

(PRIVATE-30' WIDE)



Date:	MARCH 19, 2012
Job No.:	V129.01
Drawn By:	CD/MC
Checked By:	KH
Calc'd By:	KH/CD
Drawing No.:	V12901FP.DWG
Sheet:	1 OF 1



REVISIONS

#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

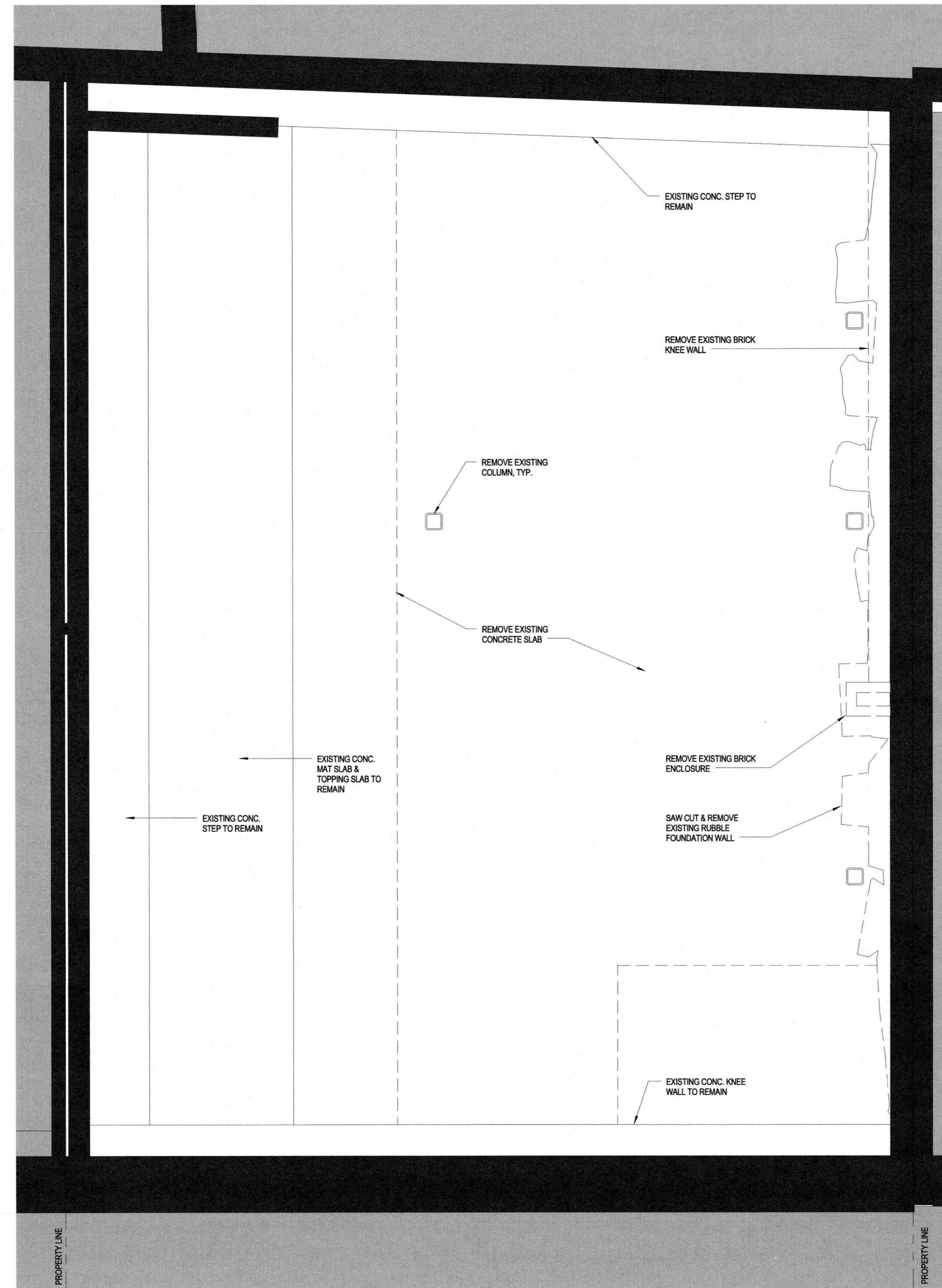
cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114



FLOOR PLANS - PREVIOUSLY DEMOLISHED

SCALE PROJECT # DATE ISSUED
158007.00 02.15.2018

EX100



REVISIONS

#	DATE	DESCRIPTION

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BASEMENT DEMOLITION PLAN

1 BASEMENT DEMOLITION PLAN
1/2" = 1'-0"

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

D100



REVISIONS		
#	DATE	DESCRIPTION

RECONSTRUCTION

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**FIRST FLOOR
DEMOLITION PLAN**

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

D101

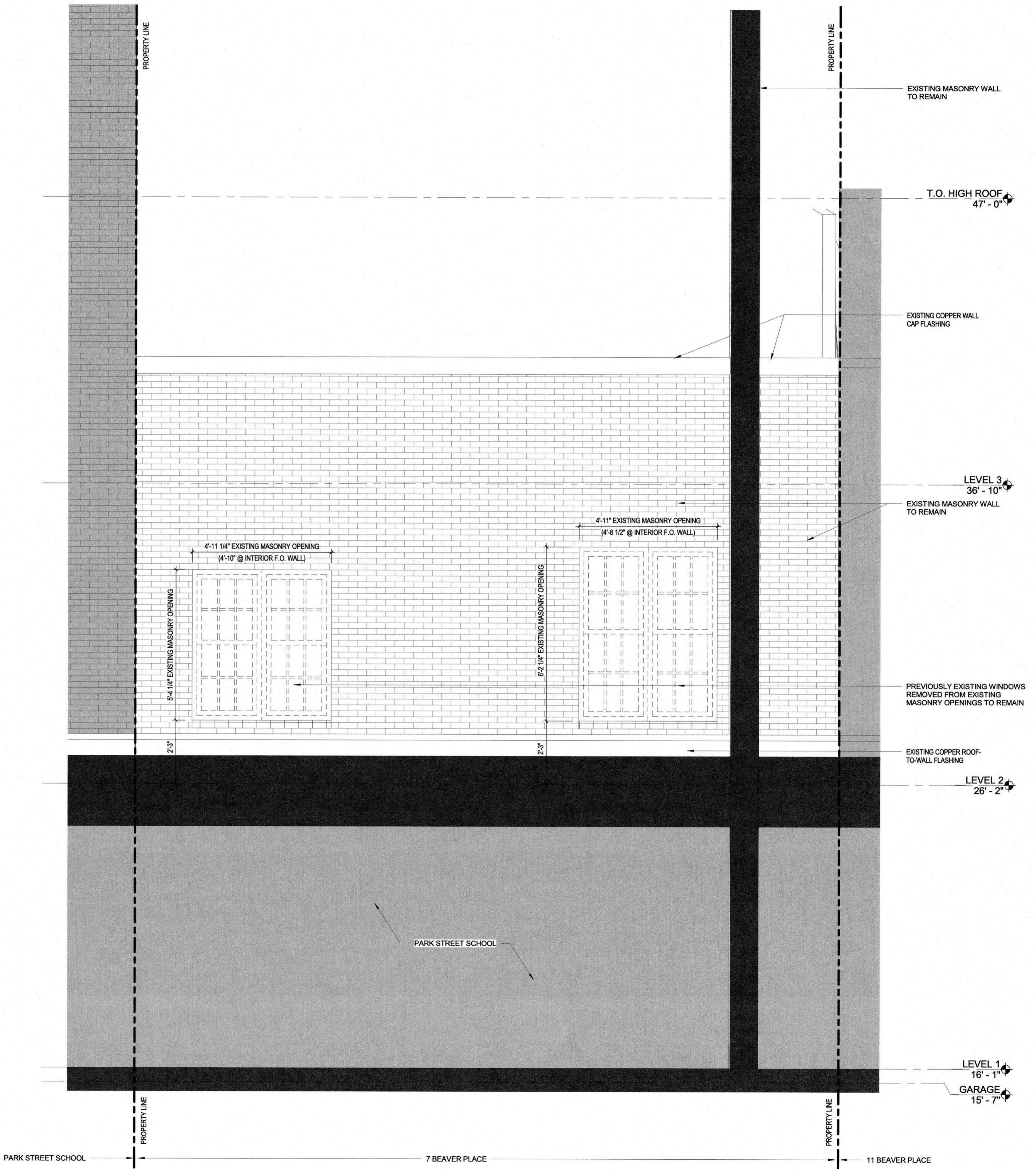
1 FIRST FLOOR DEMOLITION PLAN
1/2" = 1'-0"

REVISIONS	#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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1 ENLARGED NORTH ELEVATION - DEMOLITION
1/2" = 1'-0"



NORTH ELEVATION - DEMOLITION

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

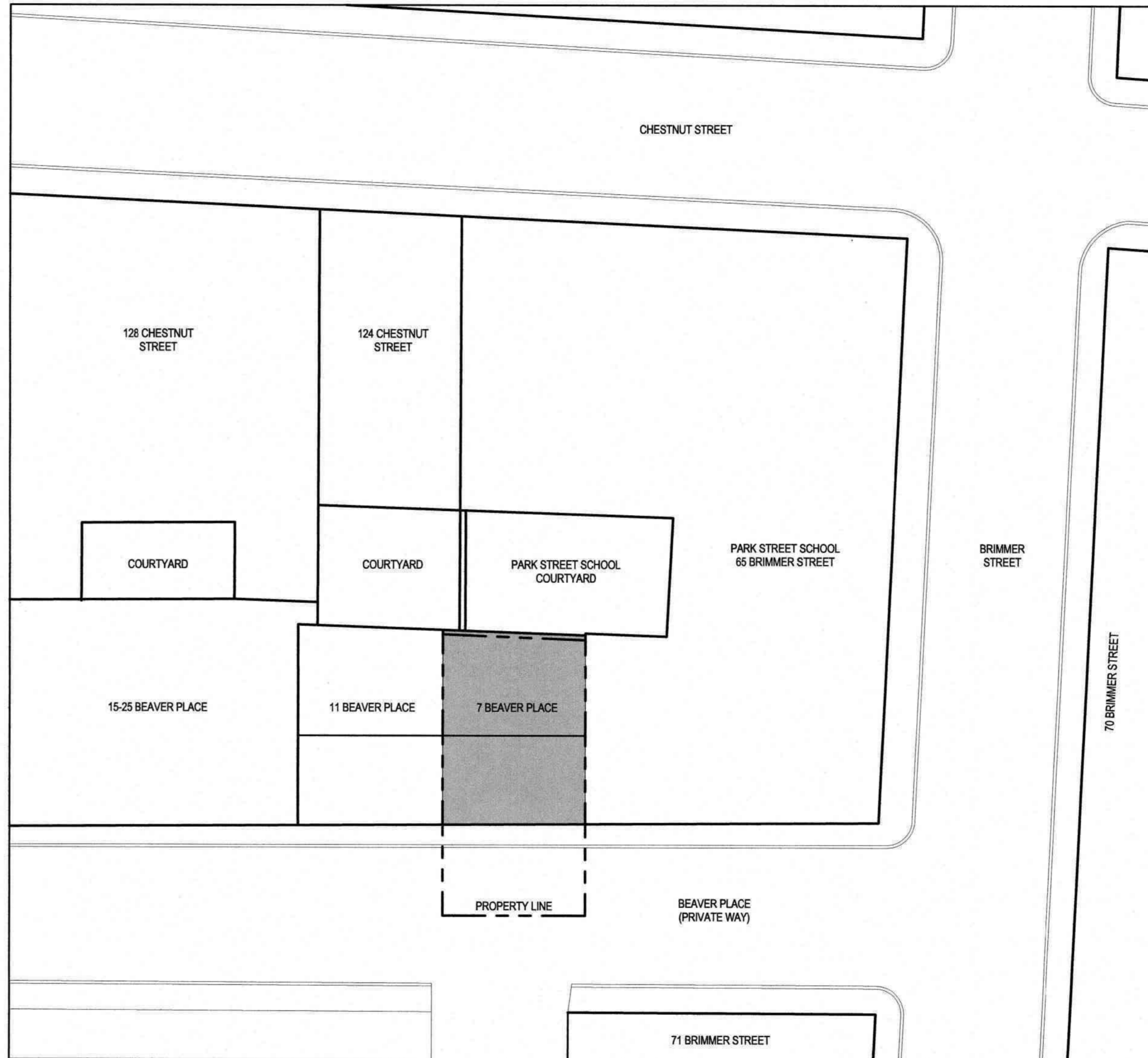
D200

REVISIONS	
#	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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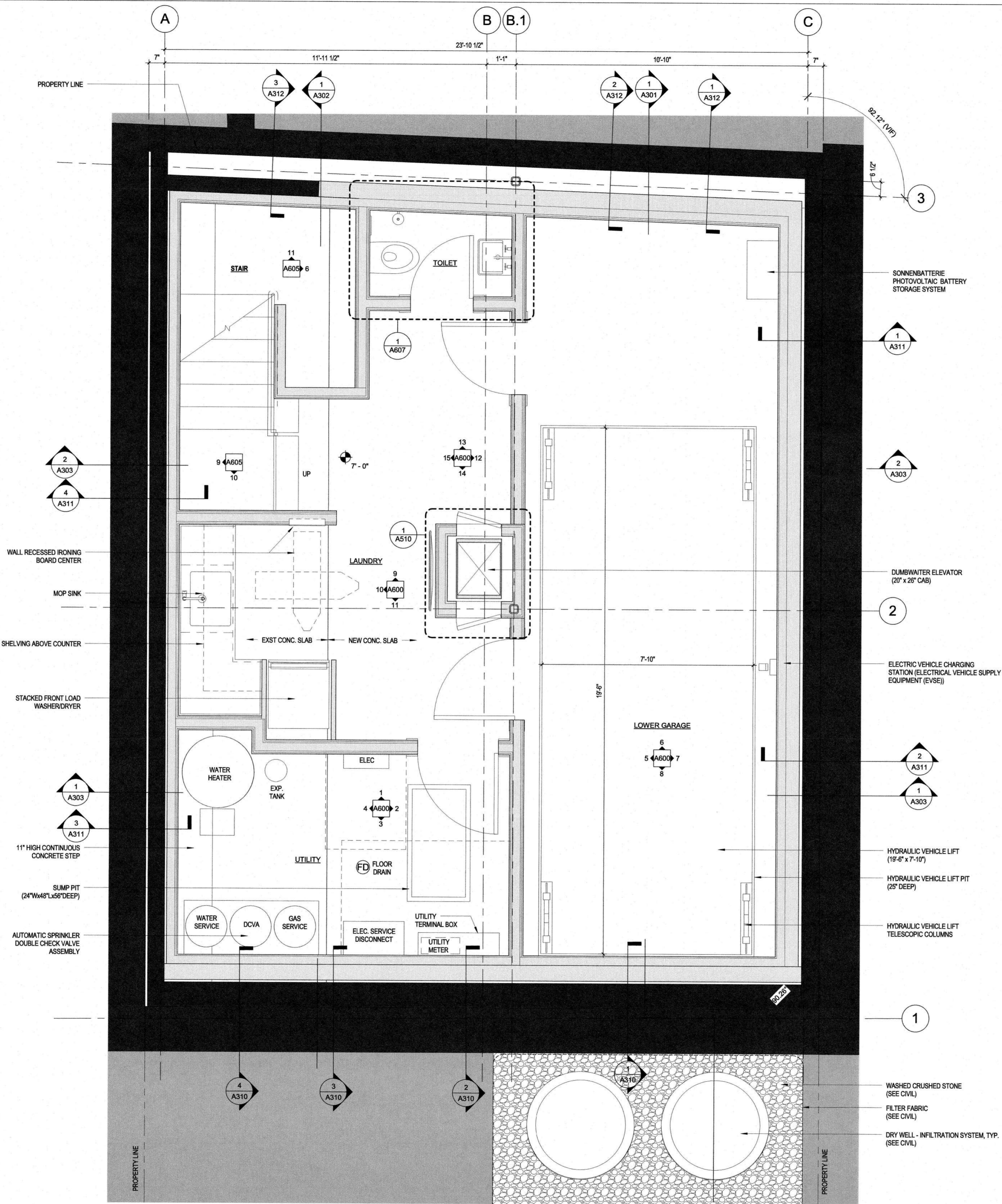
1 SITE PLAN
1/16" = 1'-0"



SITE PLAN

SCALE 1/16" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

A011



REVISIONS

#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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- 2 A303
- 4 A311
- WALL RECESSED IRONING BOARD CENTER
- MOP SINK
- SHELVING ABOVE COUNTER
- STACKED FRONT LOAD WASHER/DRYER
- 1 A303
- 3 A311
- 11" HIGH CONTINUOUS CONCRETE STEP
- SUMP PIT (24"Wx48"Lx56"DEEP)
- AUTOMATIC SPRINKLER DOUBLE CHECK VALVE ASSEMBLY

- 3
- SONNENBATTERIE PHOTOVOLTAIC BATTERY STORAGE SYSTEM
- 1 A311
- 2 A303
- DUMBWATER ELEVATOR (20' x 25" CAB)
- 2
- ELECTRIC VEHICLE CHARGING STATION (ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE))
- 2 A311
- 1 A303
- HYDRAULIC VEHICLE LIFT (19'-6" x 7'-10")
- HYDRAULIC VEHICLE LIFT PIT (25" DEEP)
- HYDRAULIC VEHICLE LIFT TELESCOPIC COLUMNS
- 1
- WASHED CRUSHED STONE (SEE CIVIL)
- FILTER FABRIC (SEE CIVIL)
- DRY WELL - INFILTRATION SYSTEM, TYP. (SEE CIVIL)

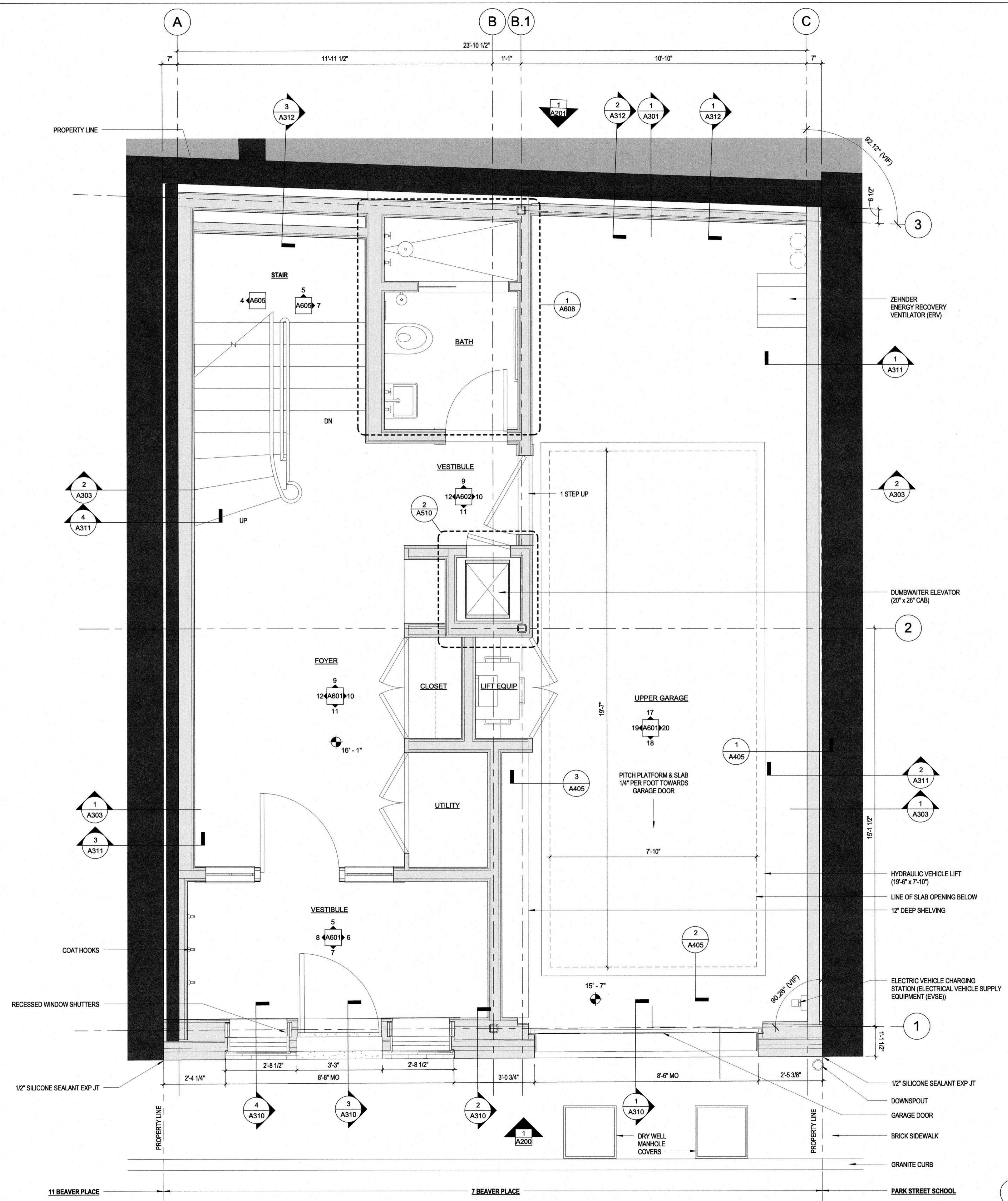
1 BASEMENT FLOOR PLAN
1/2" = 1'-0"



BASEMENT FLOOR PLAN

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

A100



REVISIONS

#	DATE	DESCRIPTION

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7 BEAVER PLACE
BOSTON, MA 02108

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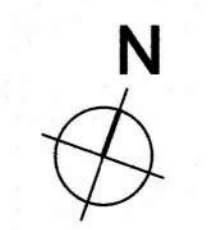


FIRST FLOOR PLAN

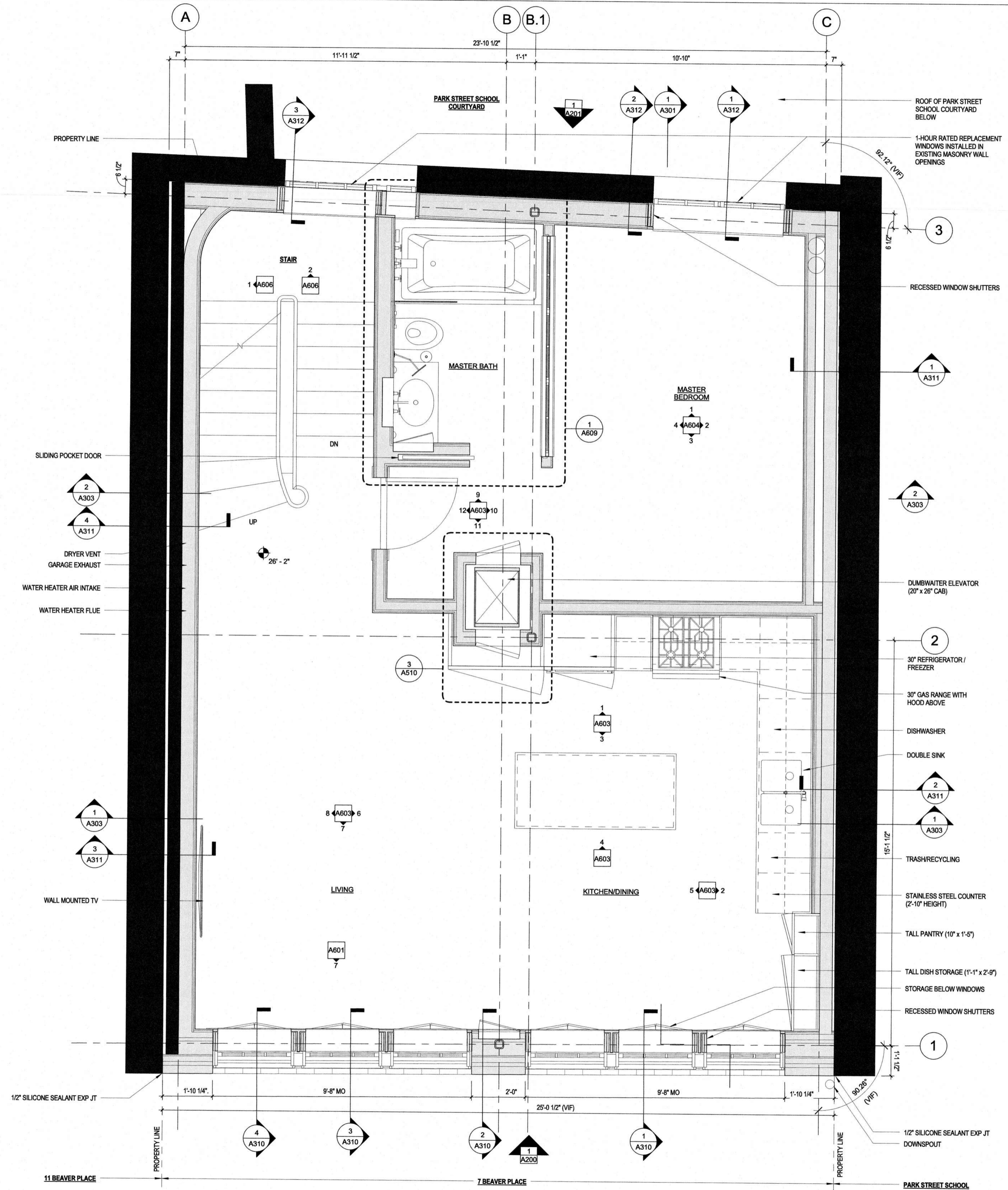
SCALE 1/2" = 1'-0"
PROJECT # 158007.00
DATE ISSUED 02.15.2018

A101

1 FIRST FLOOR PLAN
1/2" = 1'-0"



2/15/2018 11:29:01 AM



REVISIONS		
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1 SECOND FLOOR PLAN
1/2" = 1'-0"

SECOND FLOOR PLAN

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

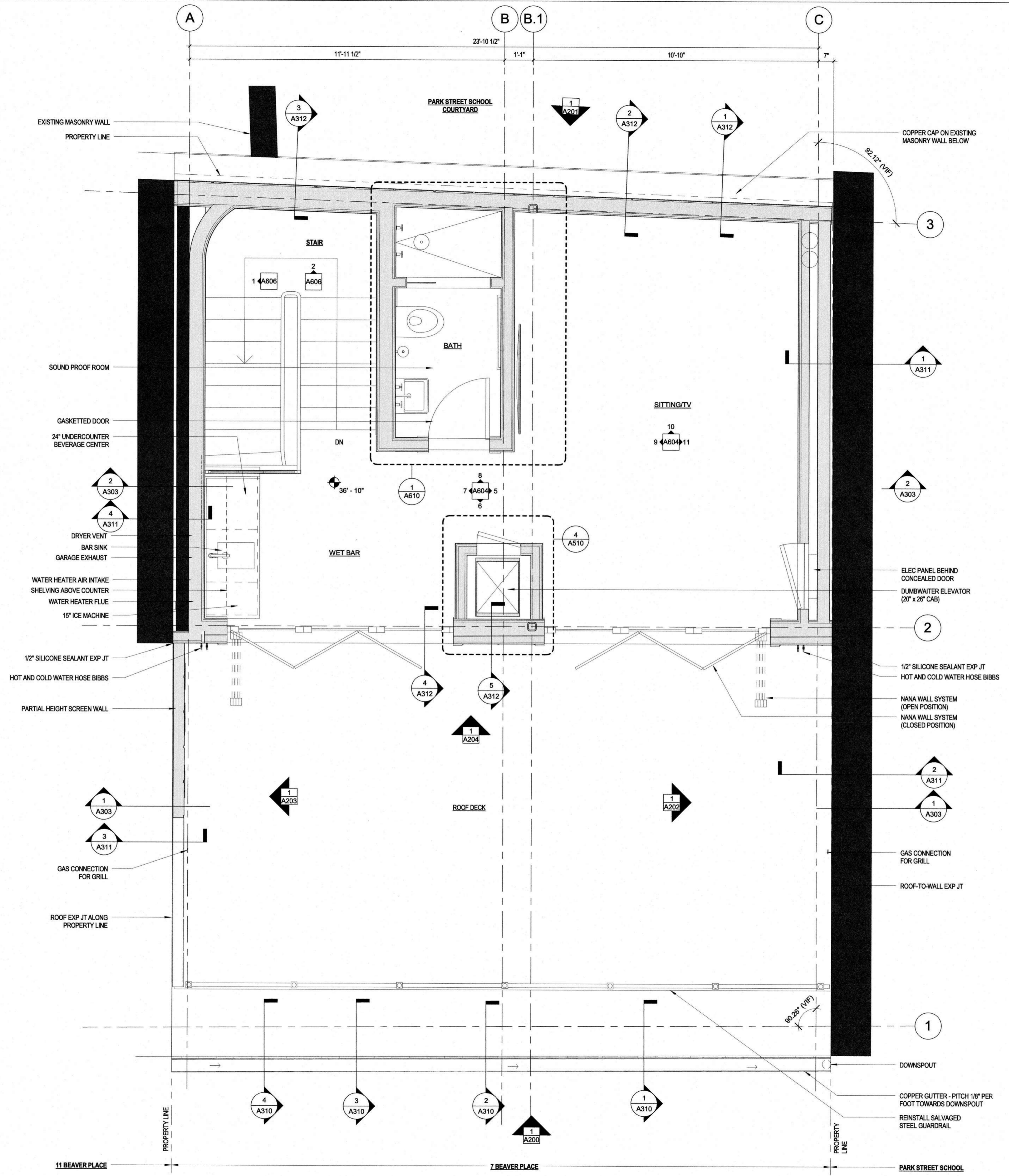


REVISIONS		
#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
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1 THIRD FLOOR PLAN
1/2" = 1'-0"



THIRD FLOOR PLAN

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

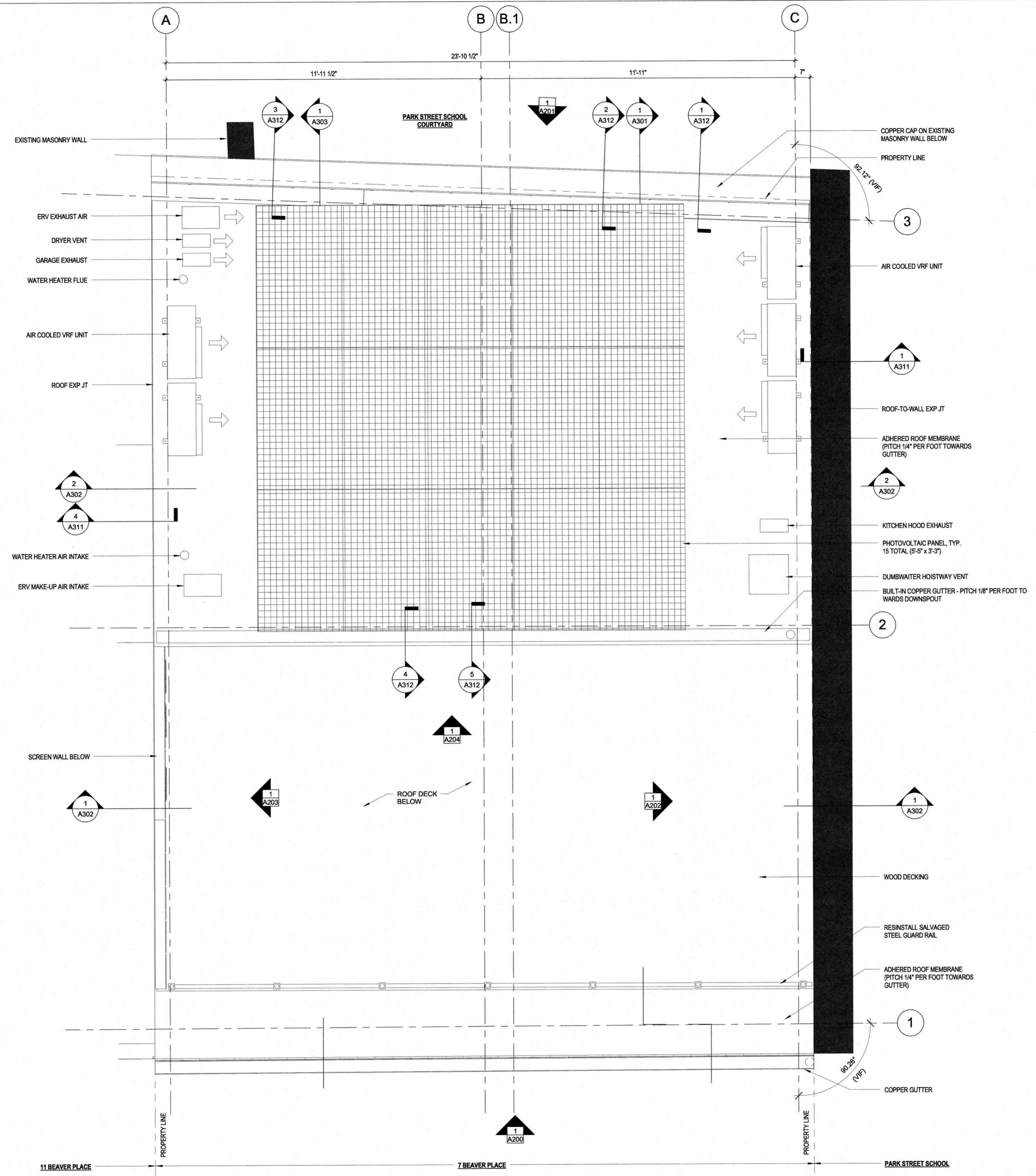
A103

REVISIONS		
#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

cbt 617 262 4354 cbtarchitects.com
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1 ROOF PLAN
1/2" = 1'-0"

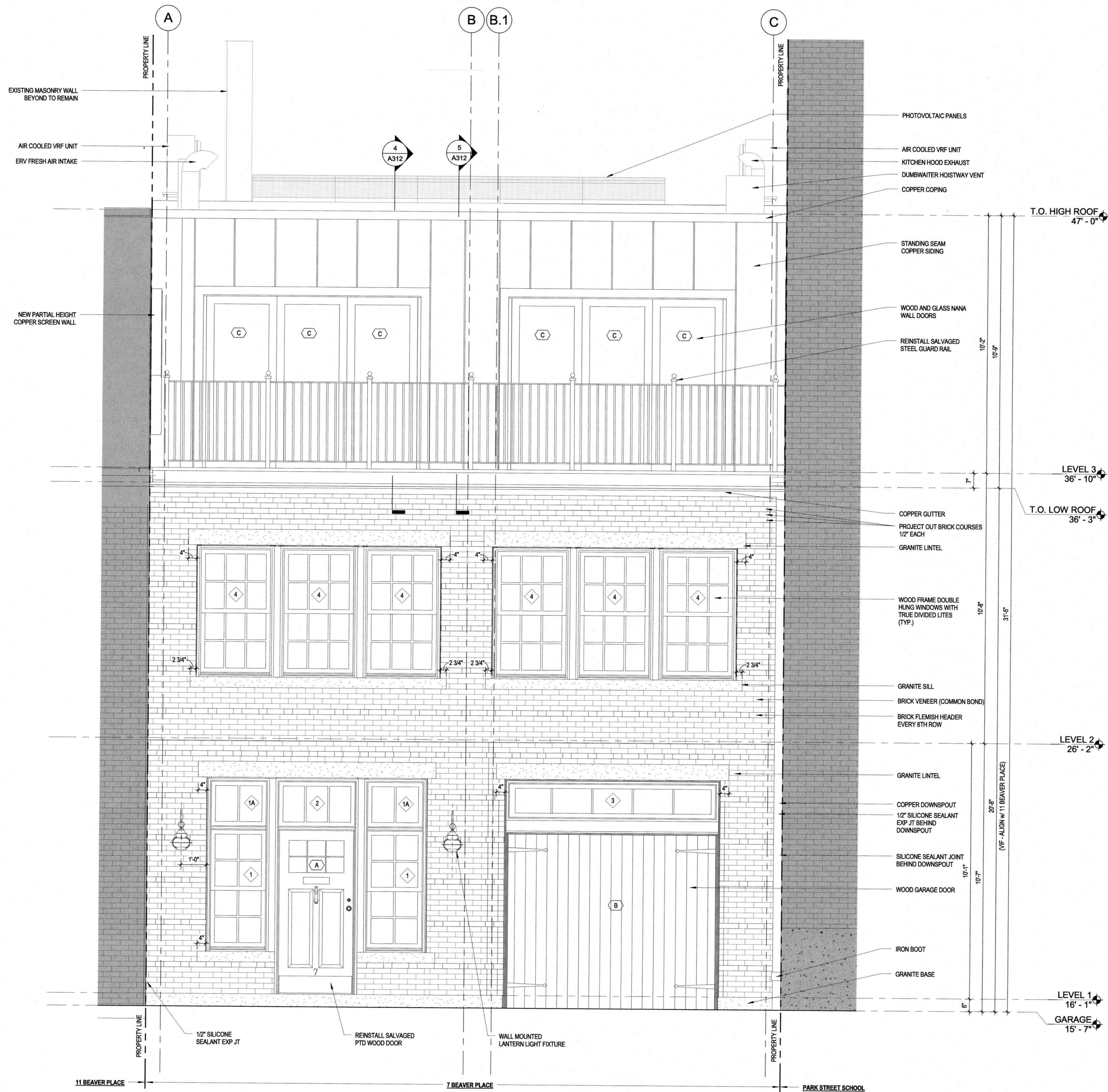
ROOF PLAN

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018



A104

4/15/2018 1:30:01 PM



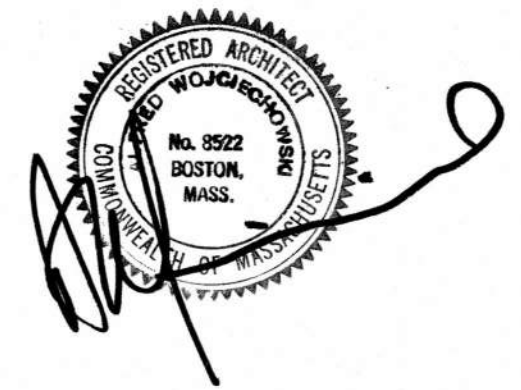
EXTERIOR FINISH LEGEND		
FACING BRICK		
MANUF:	STILES AND HART BRICK COMPANY	
PRODUCT:	BARRINGTON RED WATERSTRUCK	
BRICK SIZE:	MODULAR	
COURSING:	COMMON BOND w/ FLEMISH HEADER EVERY 8TH COURSE	
MORTAR		
MANUF:	SOLOMON COLORS, INC.	
PRODUCT:	CONCENTRATED MORTAR COLOR	
TYPE:	TYPE N	
COLOR:	H SERIES / 60H WHITE	
GRANITE		
MANUF:	MASON POLISHED	
PRODUCT:		
TYPE:		
COLOR:		
COPPER SIDING		
MANUF:		
PRODUCT:	STANDING SEAM	
TYPE:		
COLOR:		
EXTERIOR PAINT		
EXPT-1	MANUF:	BENJAMIN MOORE
	COLOR:	1575 RAINY AFTERNOON
	FINISH:	
EXPT-2	MANUF:	BENJAMIN MOORE
	COLOR:	2120-10 JET BLACK
	FINISH:	

REVISIONS		
#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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SOUTH ELEVATION

SCALE As indicated PROJECT # 158007.00 DATE ISSUED 02.15.2018

A200

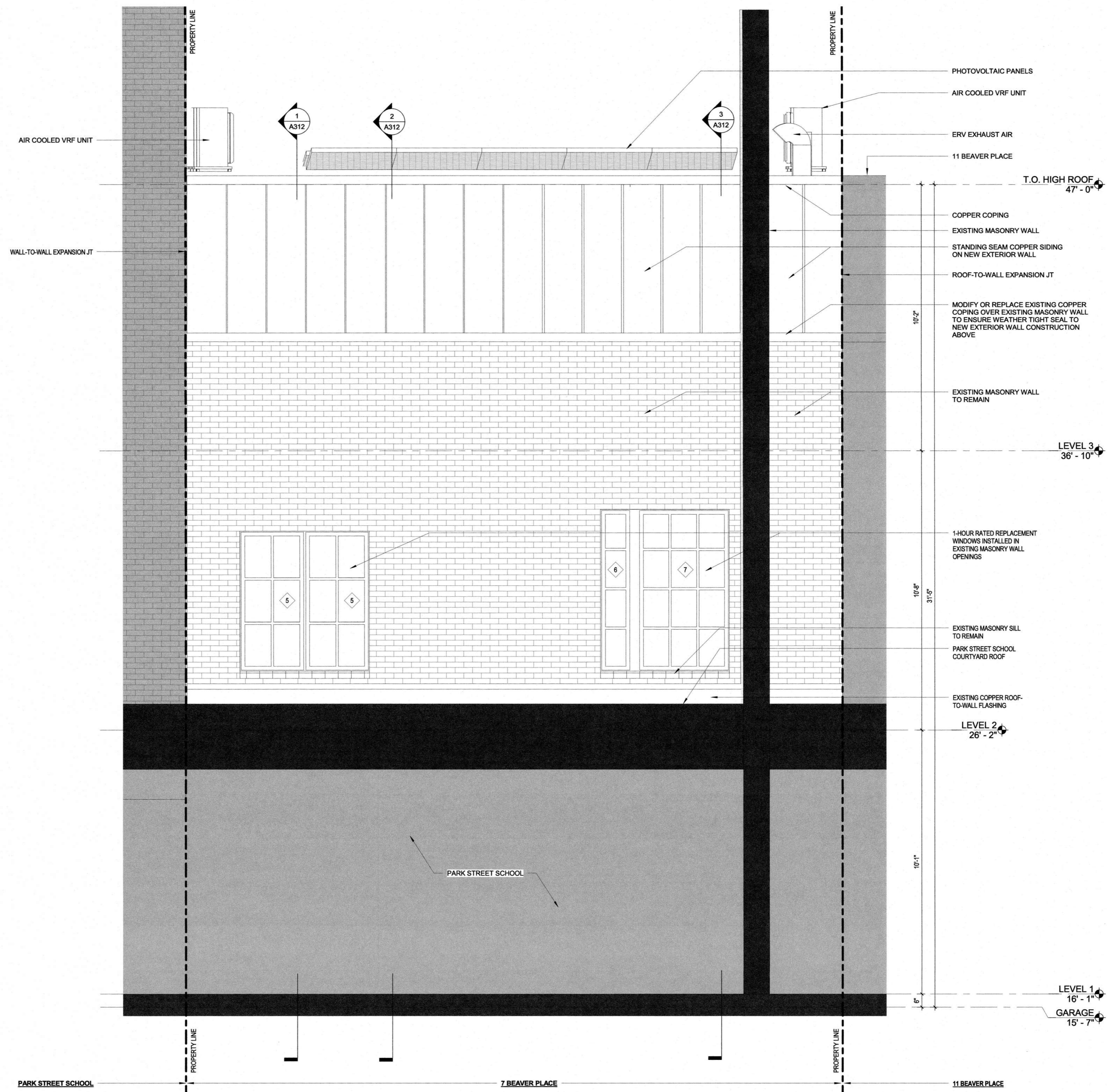
1 ENLARGED SOUTH ELEVATION
1/2" = 1'-0"

REVISIONS #	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
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1 ENLARGED NORTH ELEVATION
1/2" = 1'-0"



NORTH ELEVATION

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

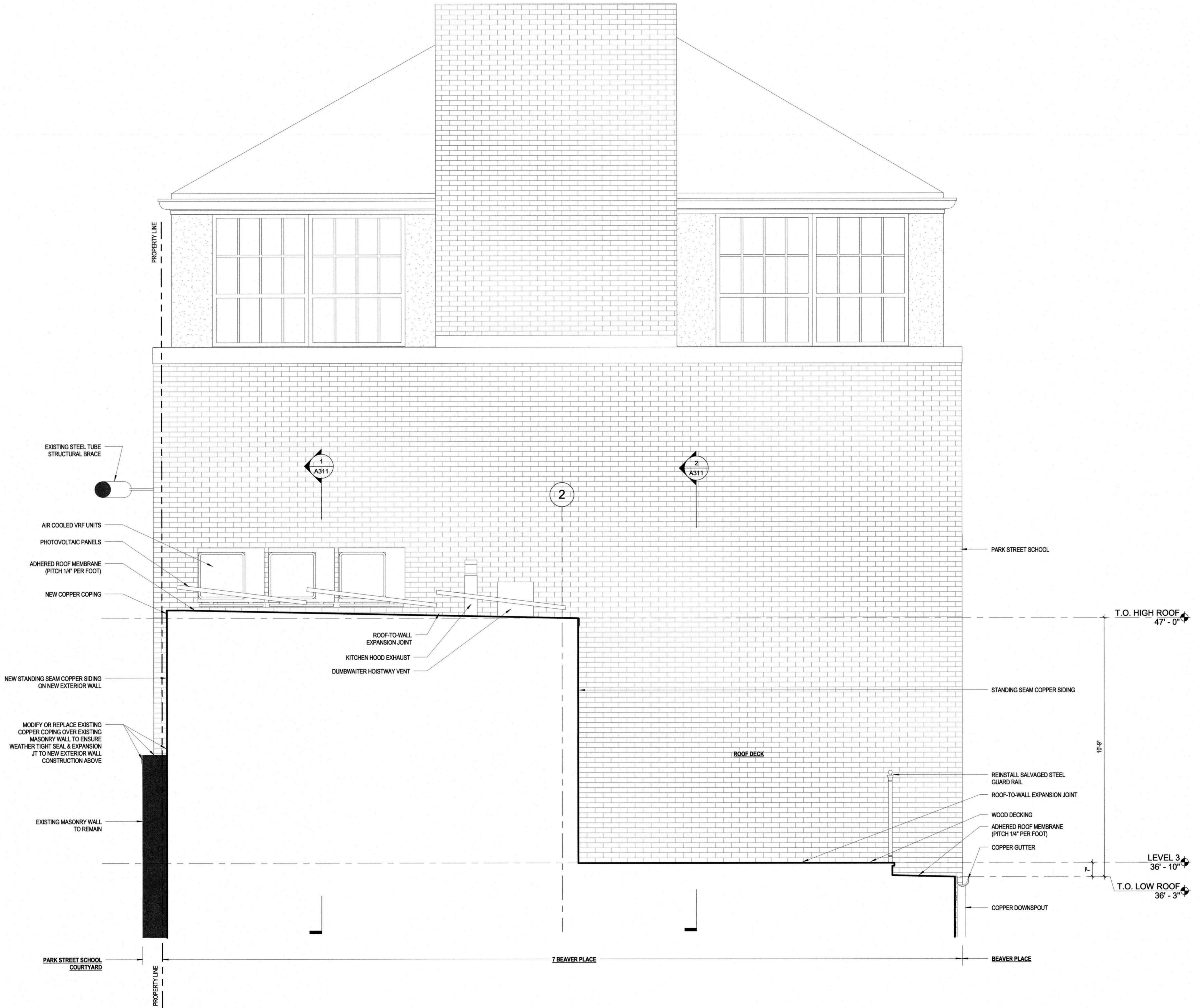
A201

REVISIONS		
#	DATE	DESCRIPTION

RECONSTRUCTION

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1 EAST ELEVATION
1/2" = 1'-0"



EAST ELEVATION

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

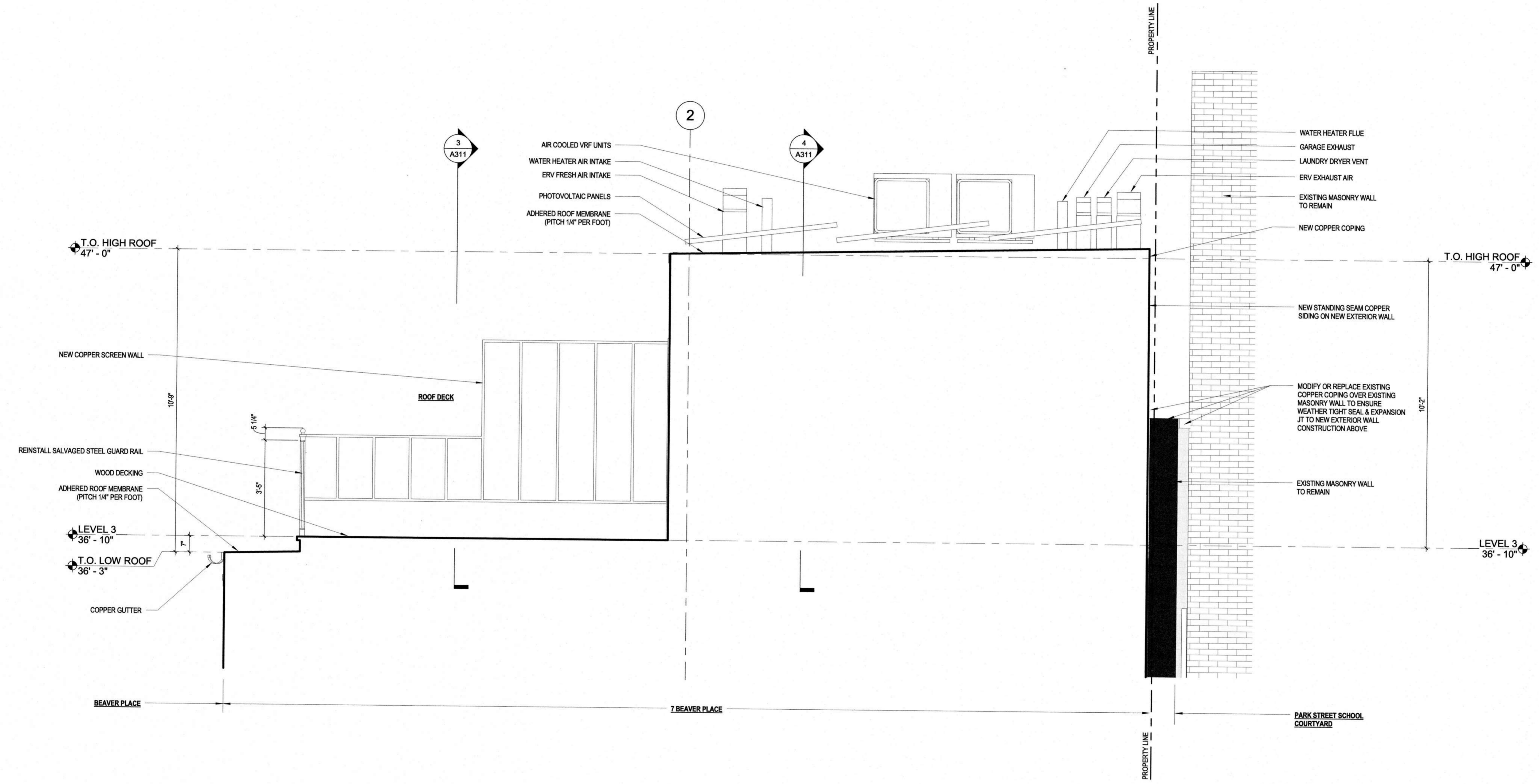
A202

REVISIONS #	DATE	DESCRIPTION

RECONSTRUCTION

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1 WEST ELEVATION
1/2" = 1'-0"



WEST ELEVATION

SCALE 1/2" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

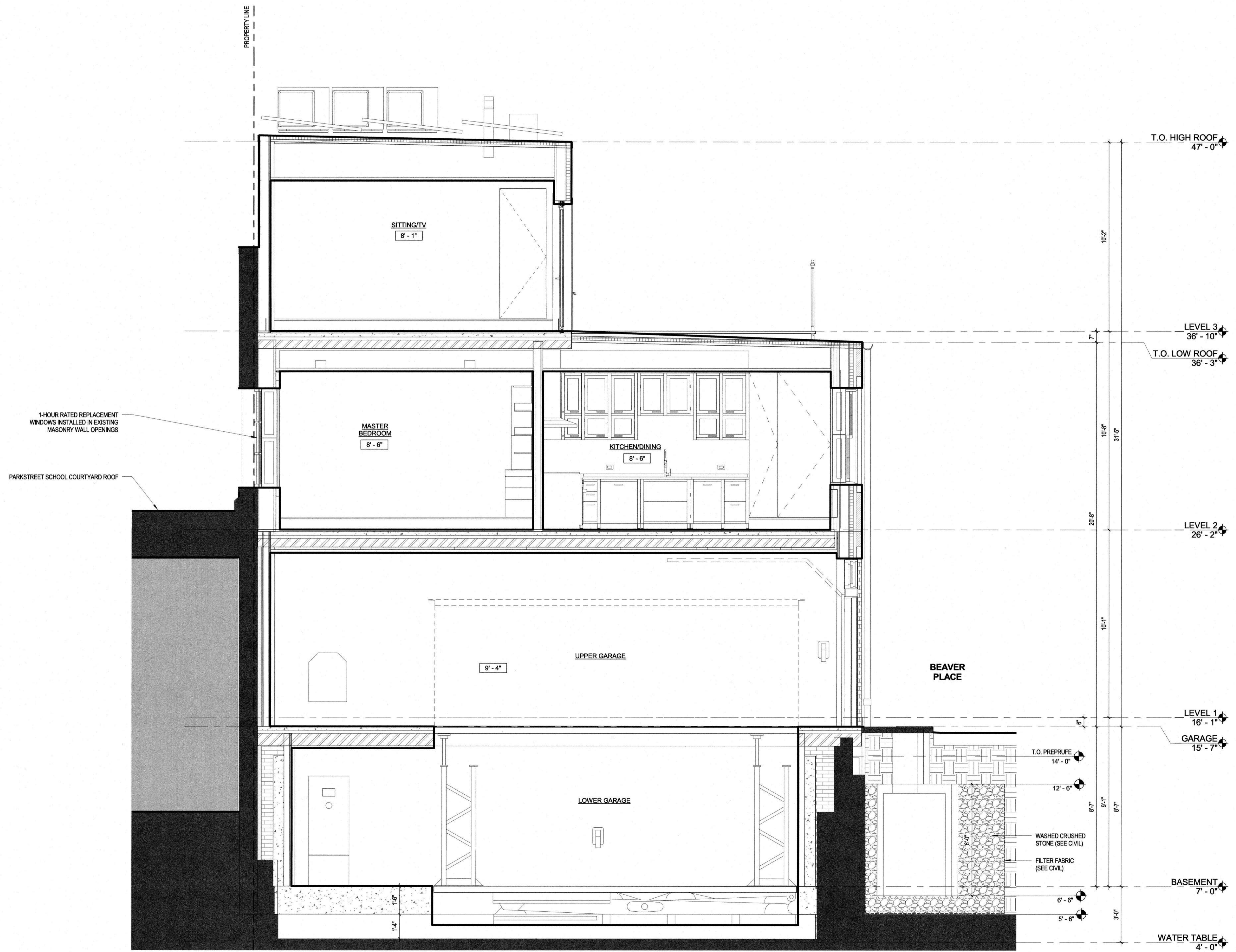
A203

REVISIONS	#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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1 BUILDING SECTION
3/8" = 1'-0"



BUILDING SECTION

SCALE 3/8" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

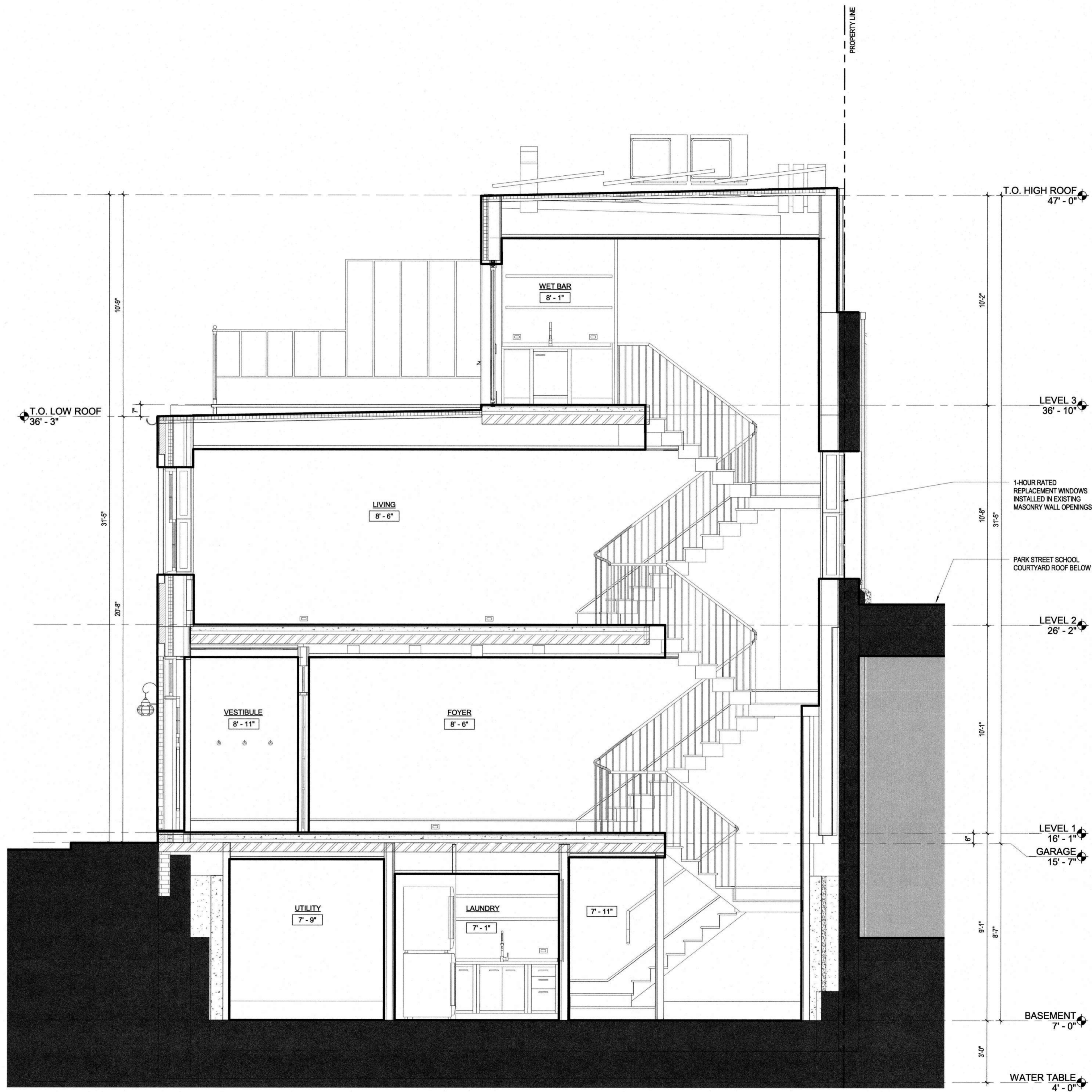
A301

REVISIONS	#	DATE	DESCRIPTION

RECONSTRUCTION

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BOSTON, MA 02108

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1 BUILDING SECTION
3/8" = 1'-0"



BUILDING SECTION

SCALE: 3/8" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

A302

REVISIONS		
#	DATE	DESCRIPTION

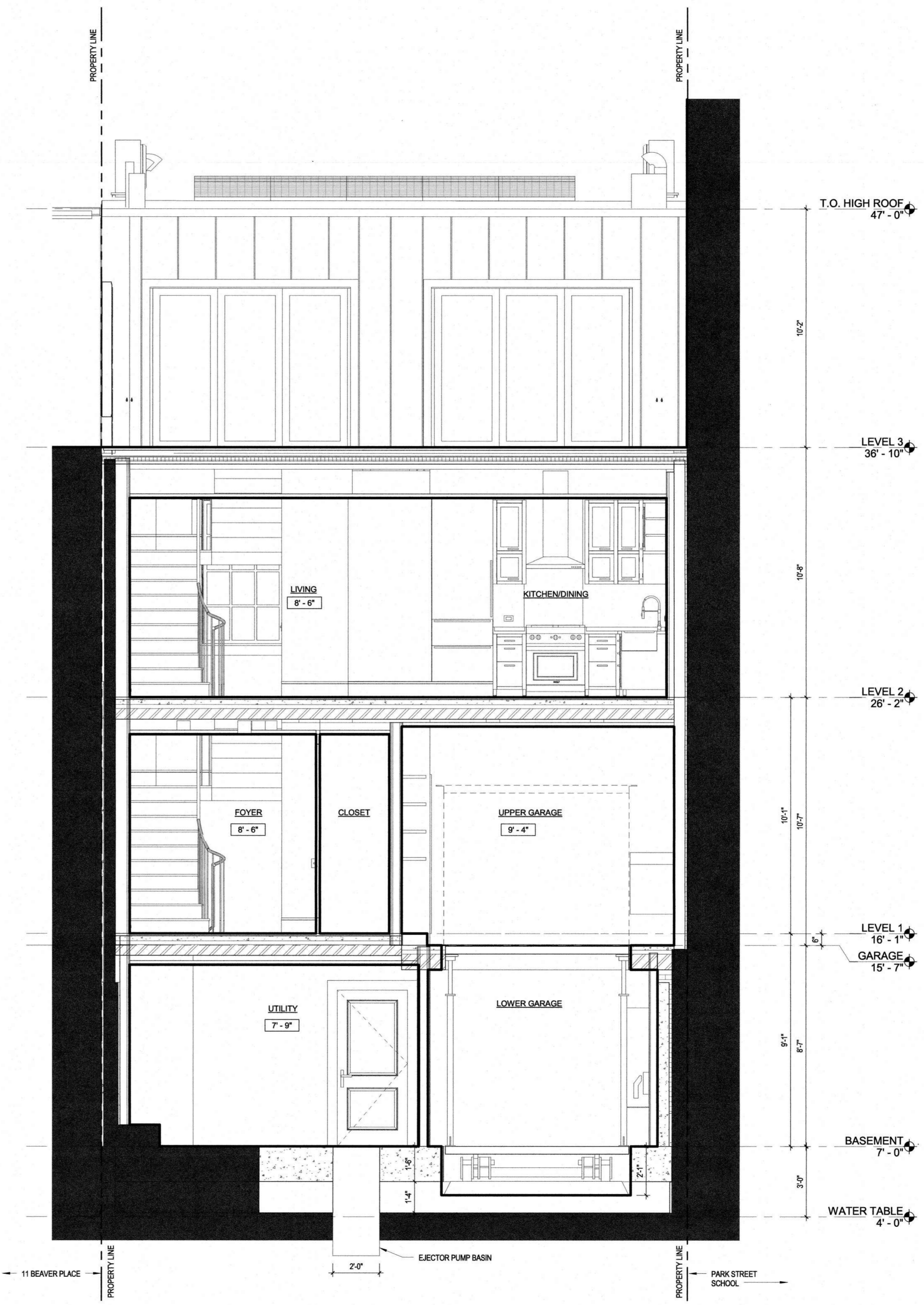
RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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2 BUILDING SECTION
3/8" = 1'-0"



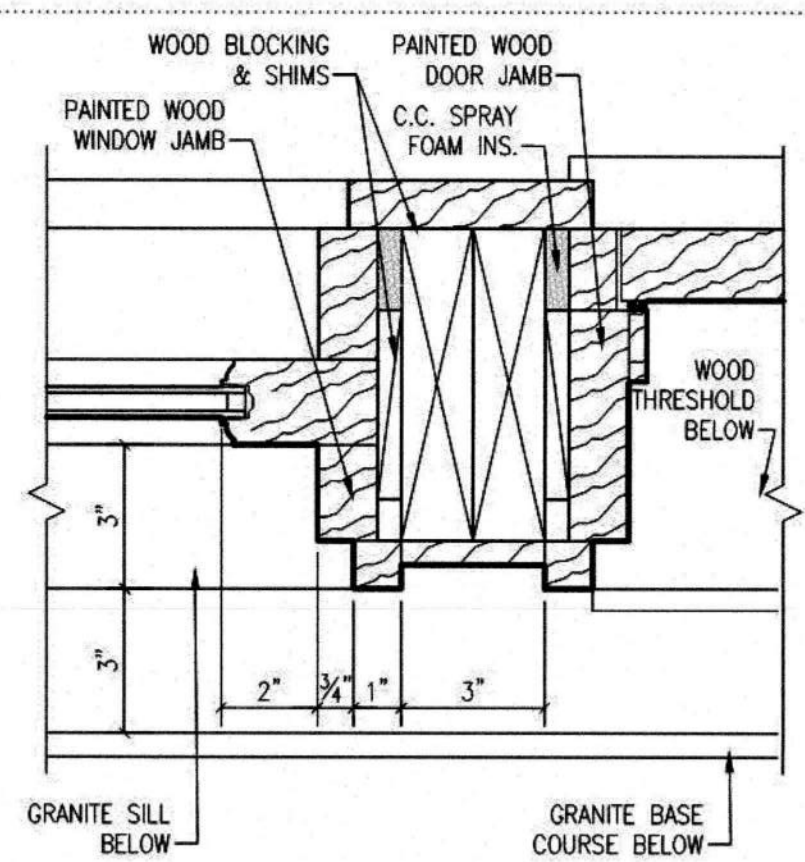
1 BUILDING SECTION
3/8" = 1'-0"



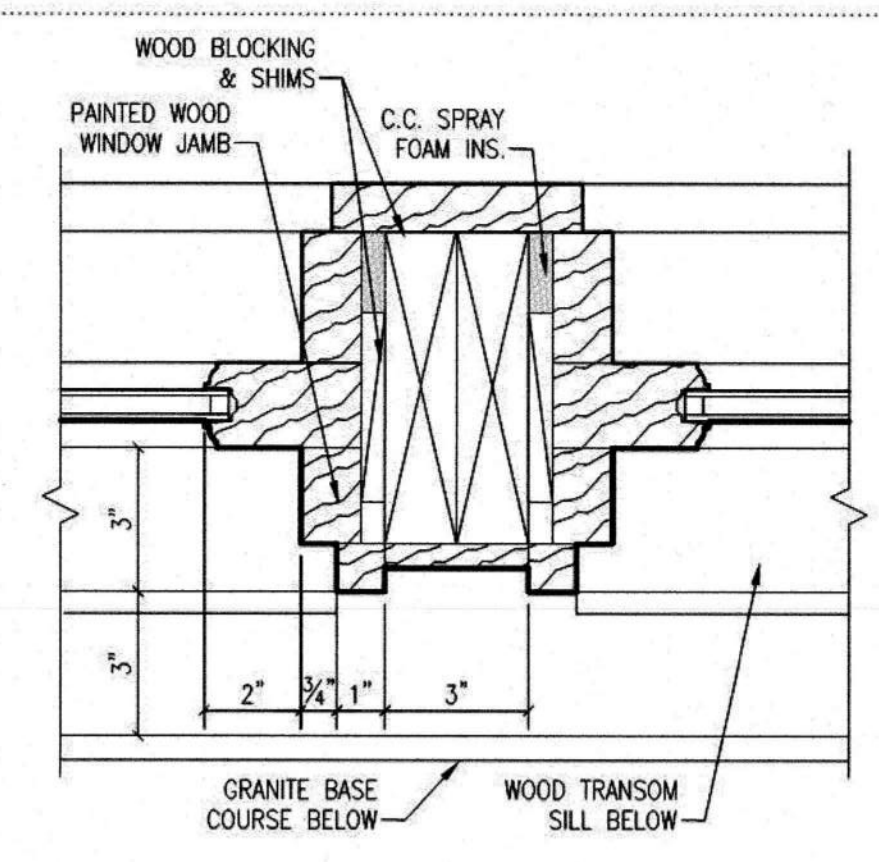
BUILDING SECTIONS

SCALE 3/8" = 1'-0" PROJECT # 158007.00 DATE ISSUED 02.15.2018

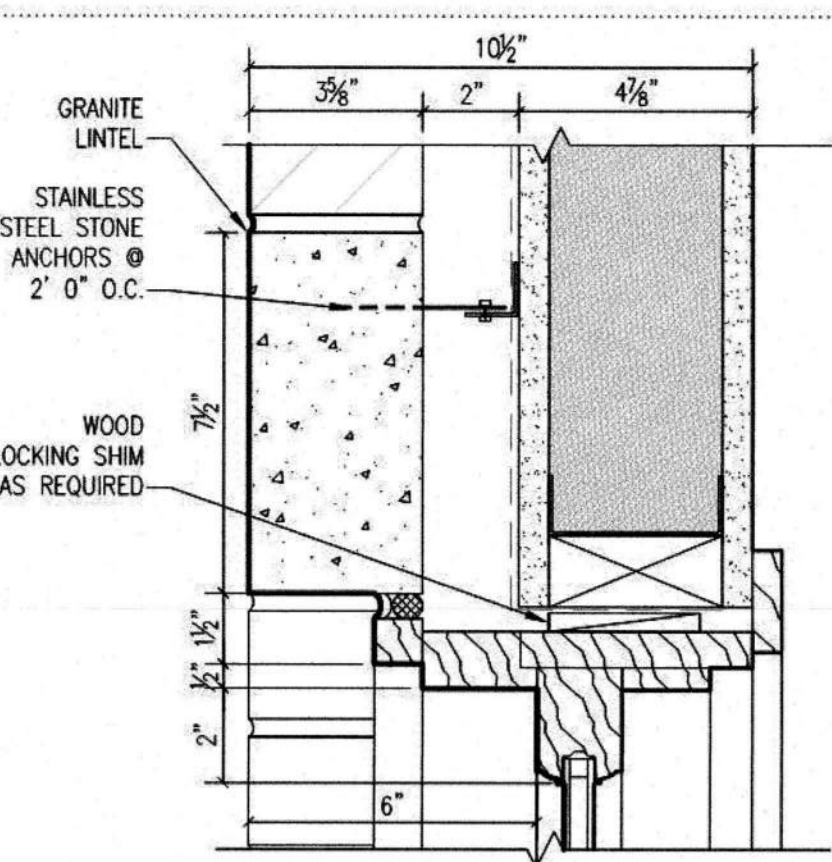
A303



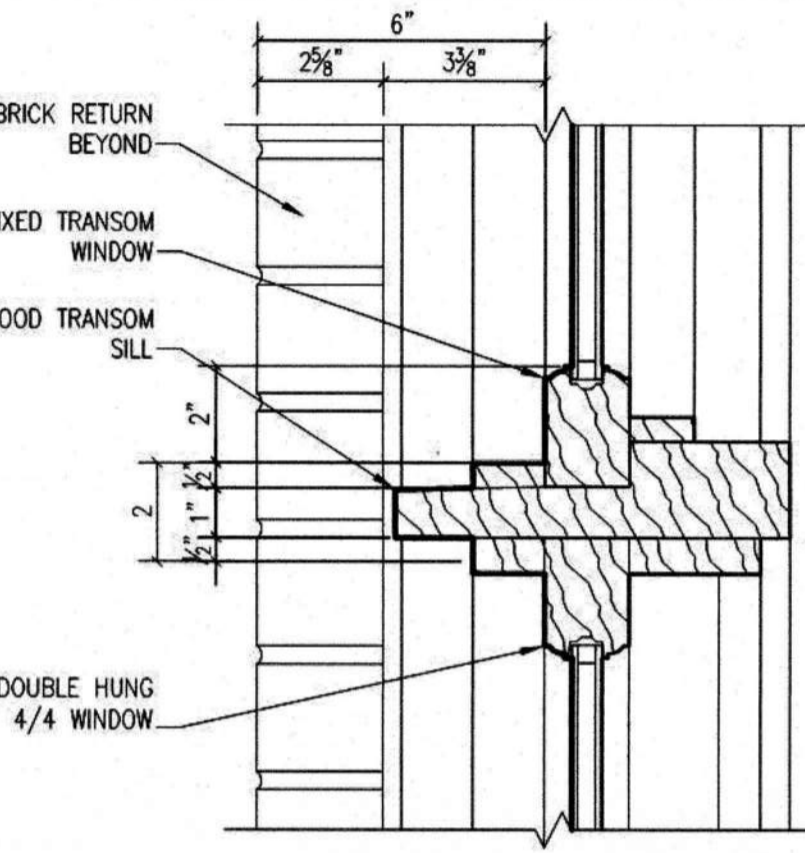
1. DOOR JAMB AND SIDELIGHT
SCALE: 3" = 1' 0"



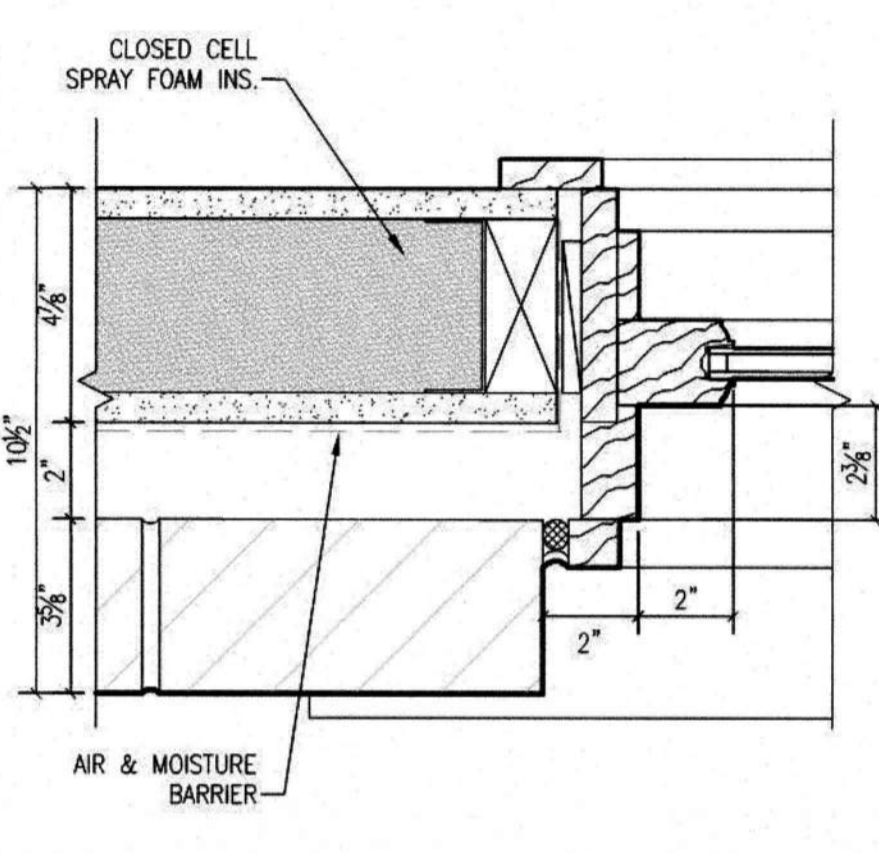
2. WINDOW JAMB AT TRANSOM WINDOW
SCALE: 3" = 1' 0"



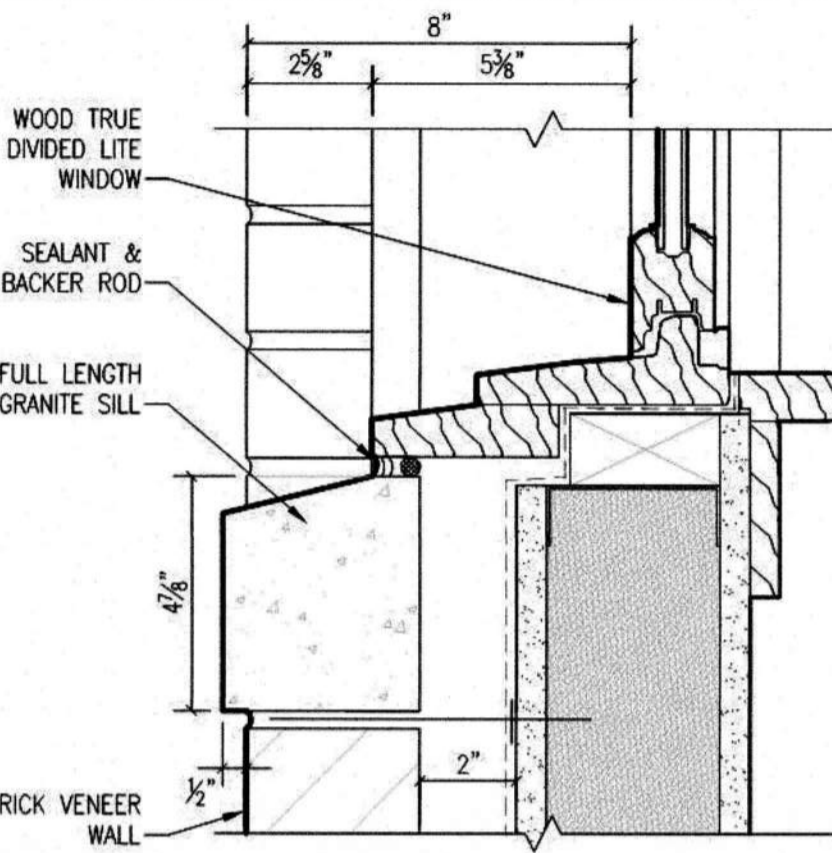
3. WINDOW HEAD (TYPICAL)
SCALE: 3" = 1' 0"



4. WINDOW HEAD AT TRANSOM
SCALE: 3" = 1' 0"



5. WINDOW JAMB AT BRICK WALL
SCALE: 3" = 1' 0"



6. WINDOW SILL
SCALE: 3" = 1' 0"

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 110 canal street boston, ma 02114
7 BEAVER PLACE
 FACADE REPLACEMENT
 PROJECT # 136090.00
 DATE 09.29.14
A.401
 DETAILS

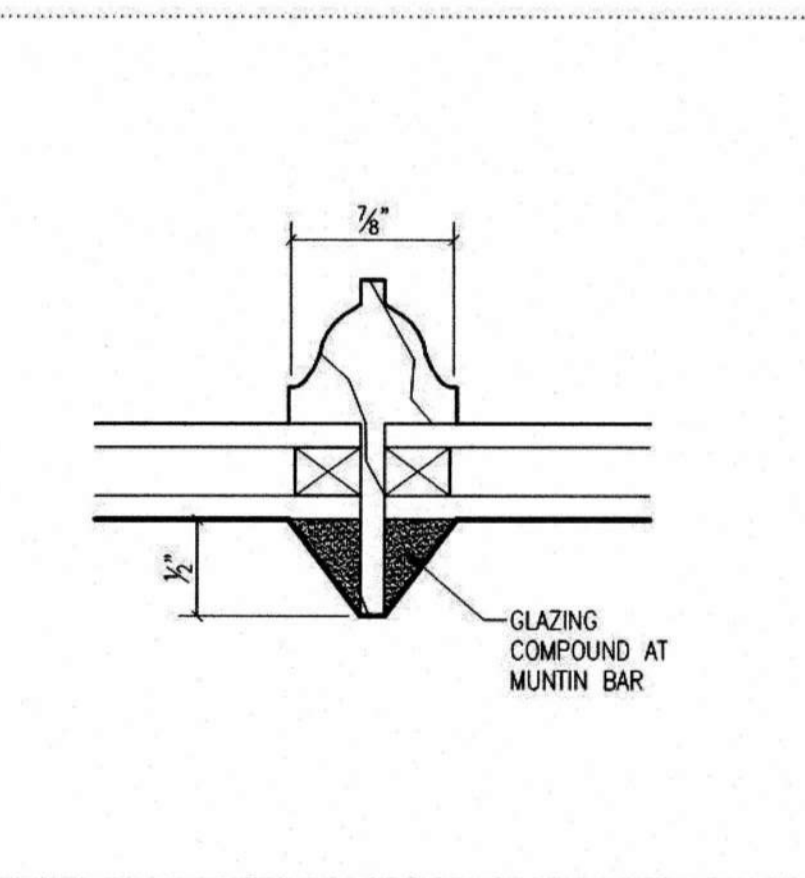
REVISIONS

#	DATE	DESCRIPTION

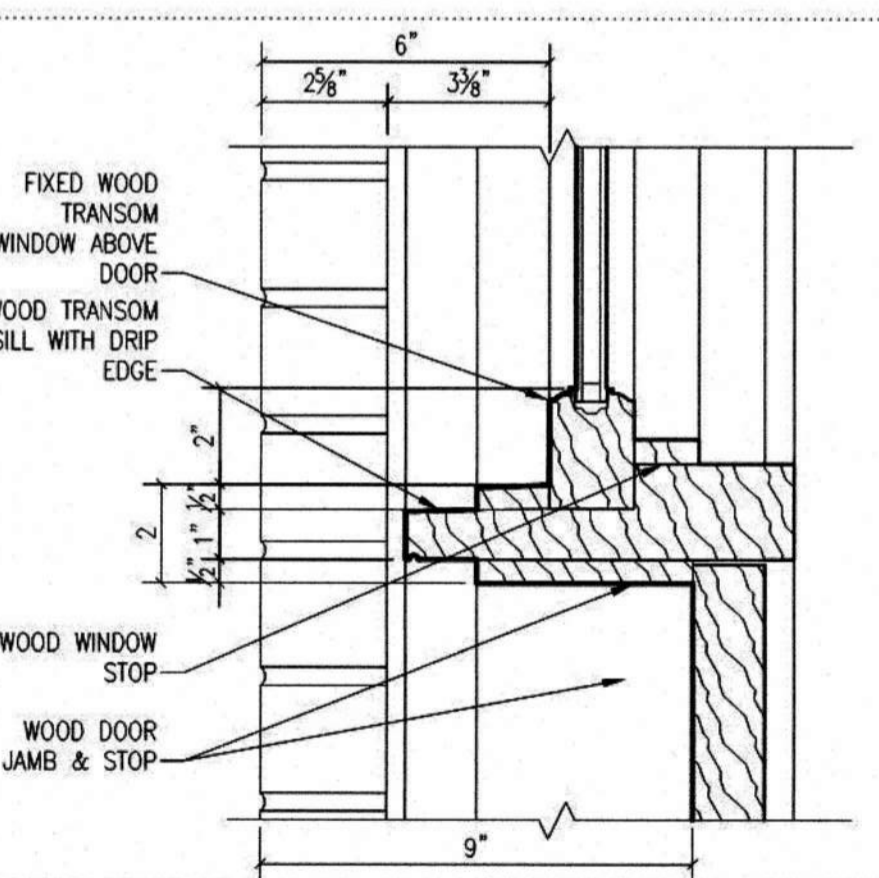
RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

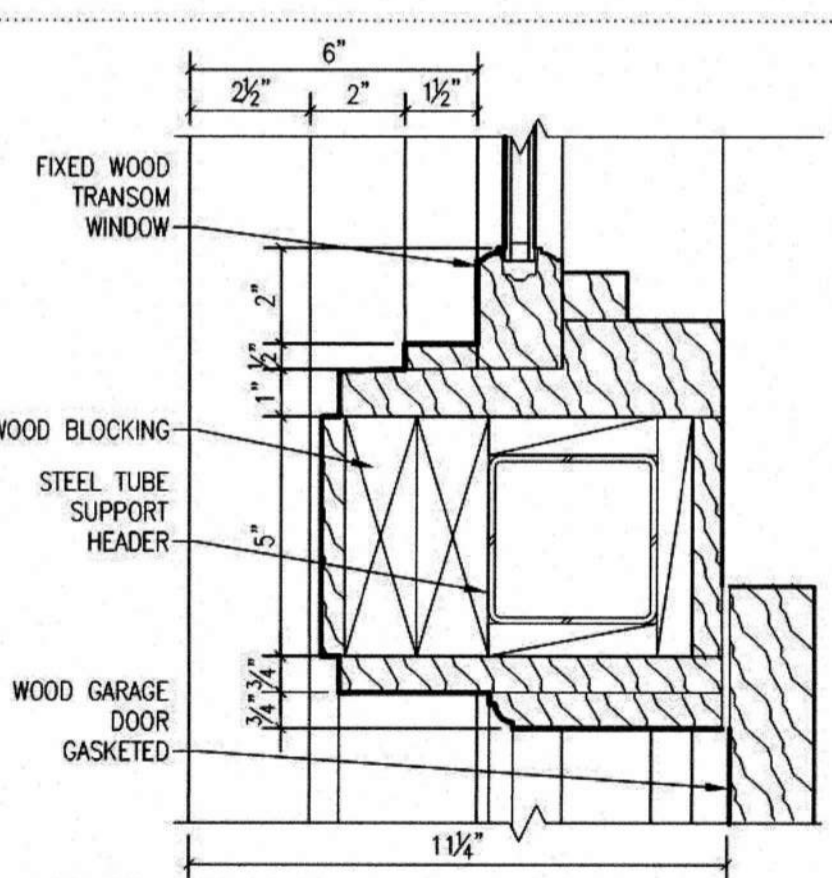
cbt 617 262 4354 cbtarchitects.com
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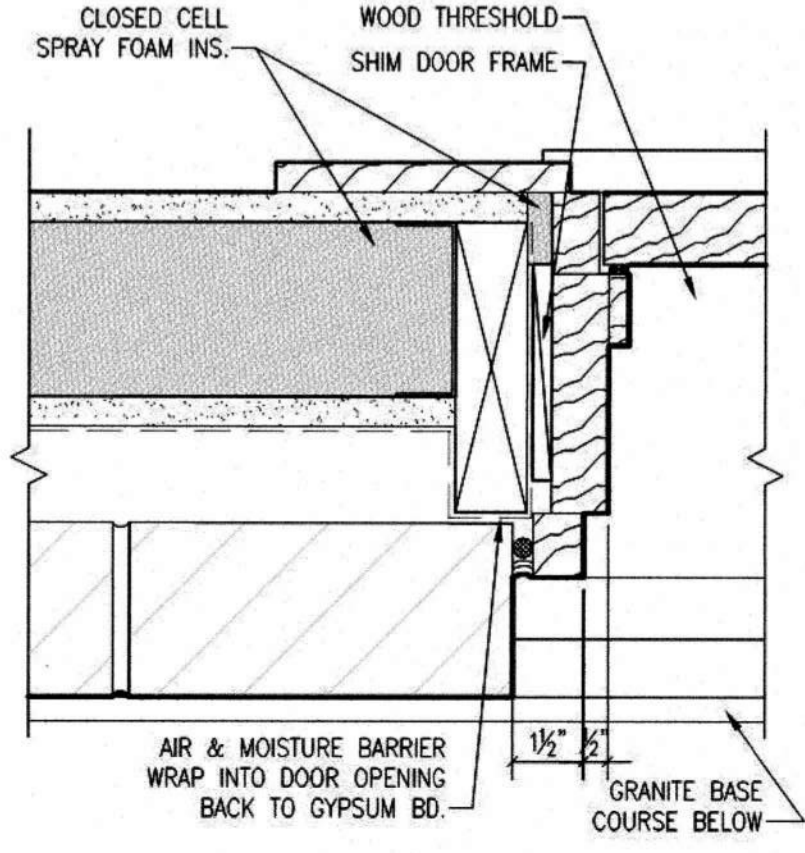
1. MUNTIN DETAIL
SCALE: 1' 0" = 1' 0"



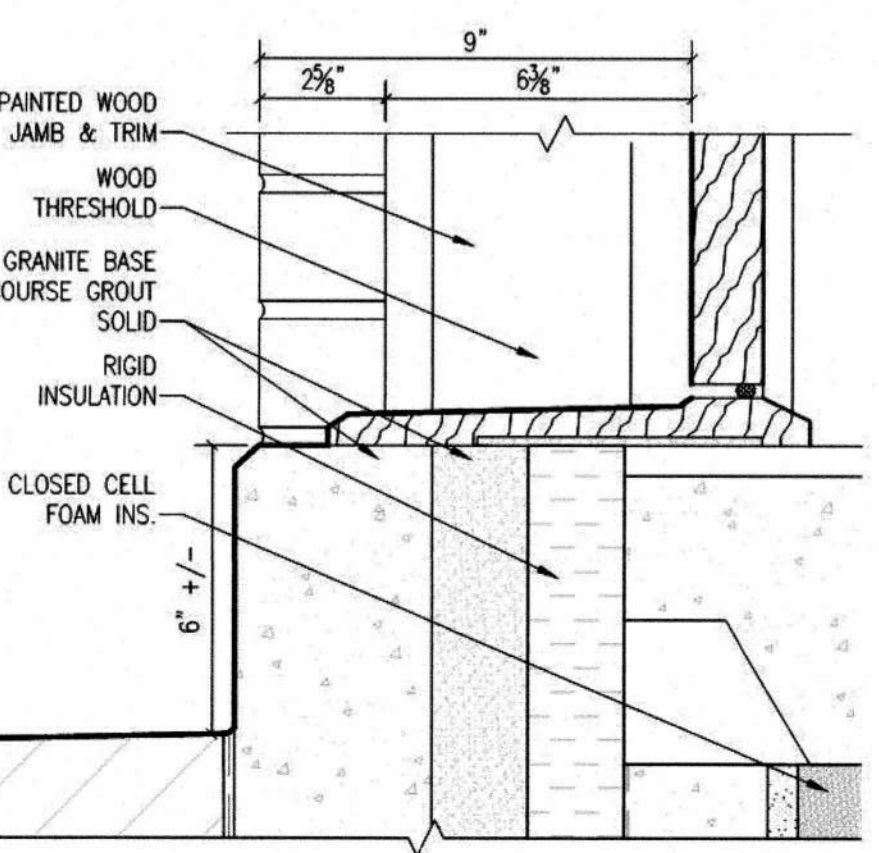
2. DOOR HEAD AT TRANSOM WINDOW
SCALE: 3" = 1' 0"



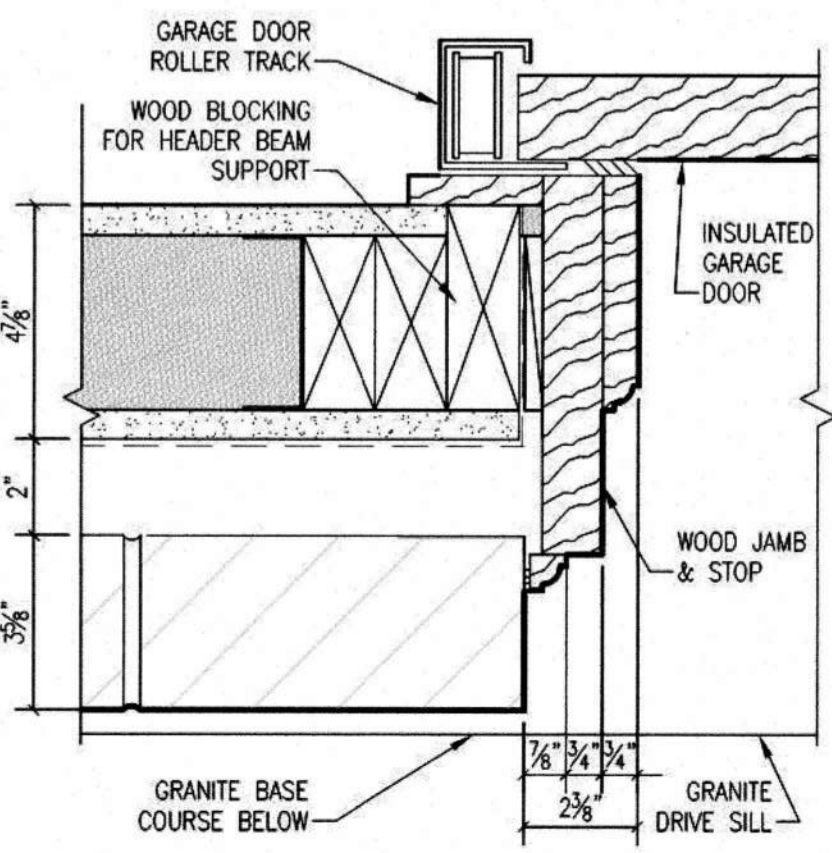
3. GARAGE DOOR HEAD
SCALE: 3" = 1' 0"



4. DOOR JAMB AT ENTRY
SCALE: 3" = 1' 0"



5. DOOR SILL AT ENTRYWAY
SCALE: 3" = 1' 0"



6. GARAGE DOOR JAMB
SCALE: 3" = 1' 0"

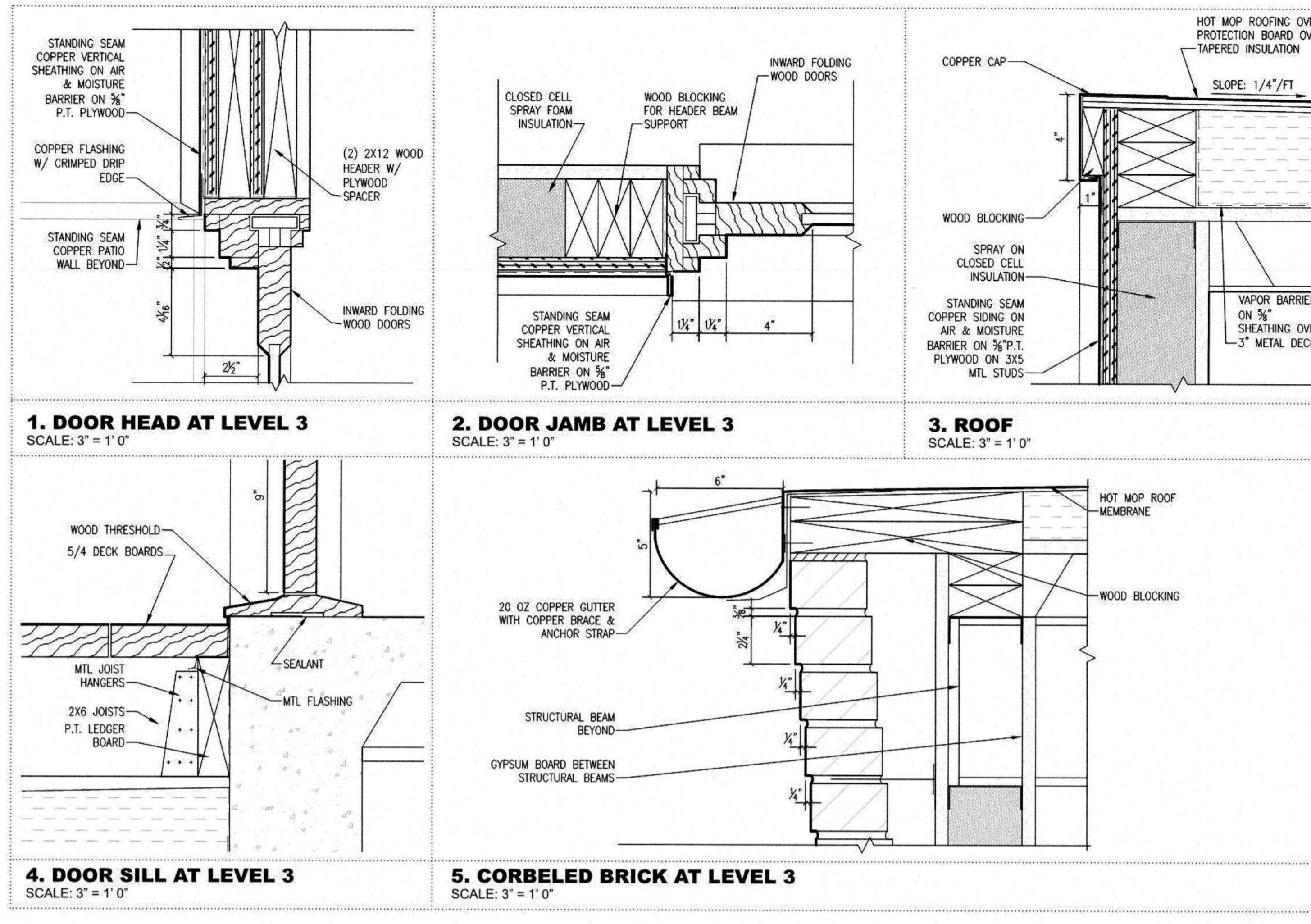
cbt
 617 262 4354 cbtarchitects.com
 110 canal street boston, ma 02114
7 BEAVER PLACE
 FACADE REPLACEMENT
 PROJECT # 136090.00
 DATE 09.29.14
A.402
 DETAILS

EXTERIOR DETAILS (BHAC SUBMISSION)

SCALE PROJECT # DATE ISSUED
158007.00 02.15.2018

A400





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7 BEAVER PLACE
FACADE REPLACEMENT

PROJECT # 136090.00
DATE 09.29.14
A.403
DETAILS

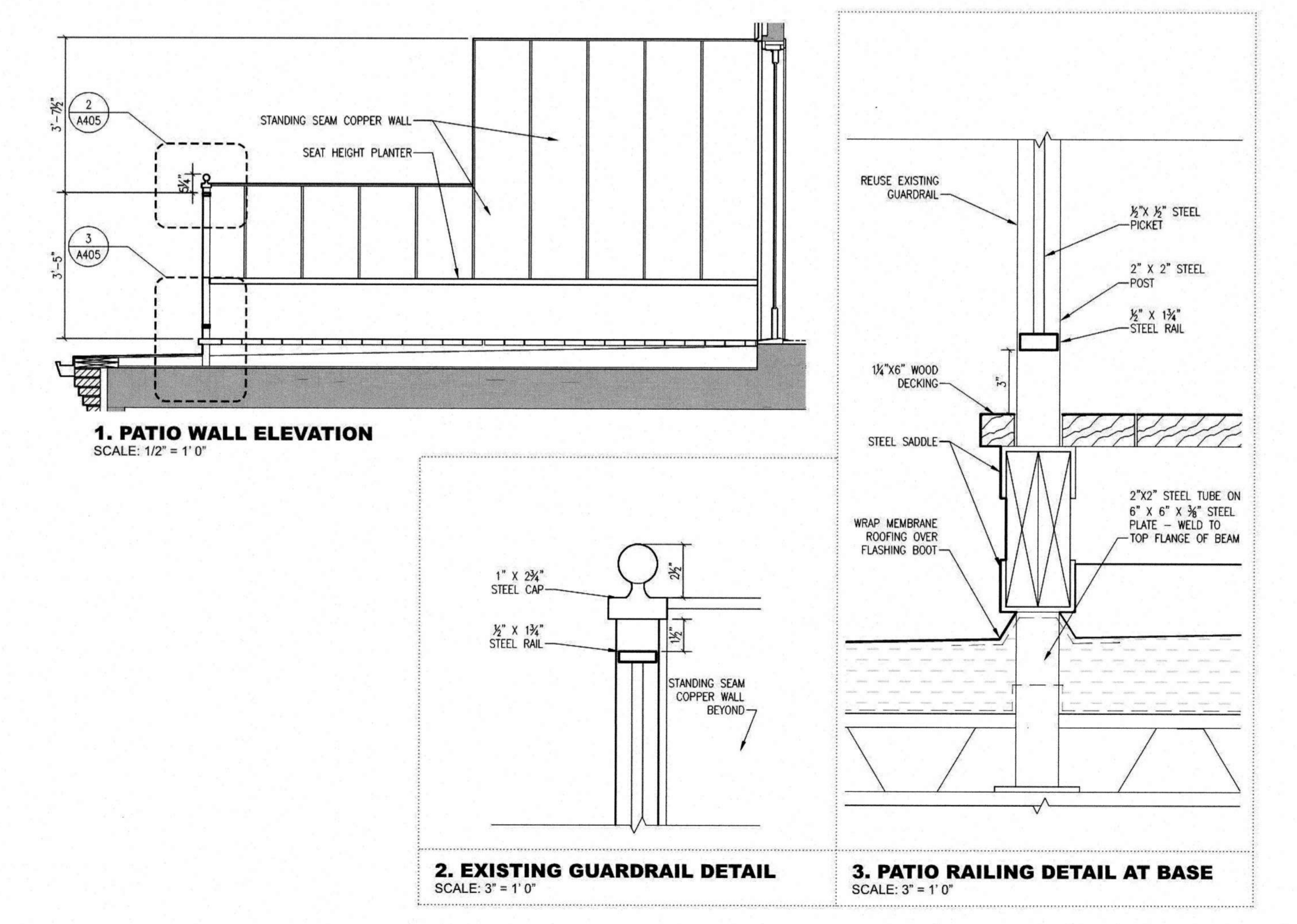
REVISIONS

#	DATE	DESCRIPTION

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

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110 canal street boston, ma 02114



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617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

7 BEAVER PLACE
FACADE REPLACEMENT

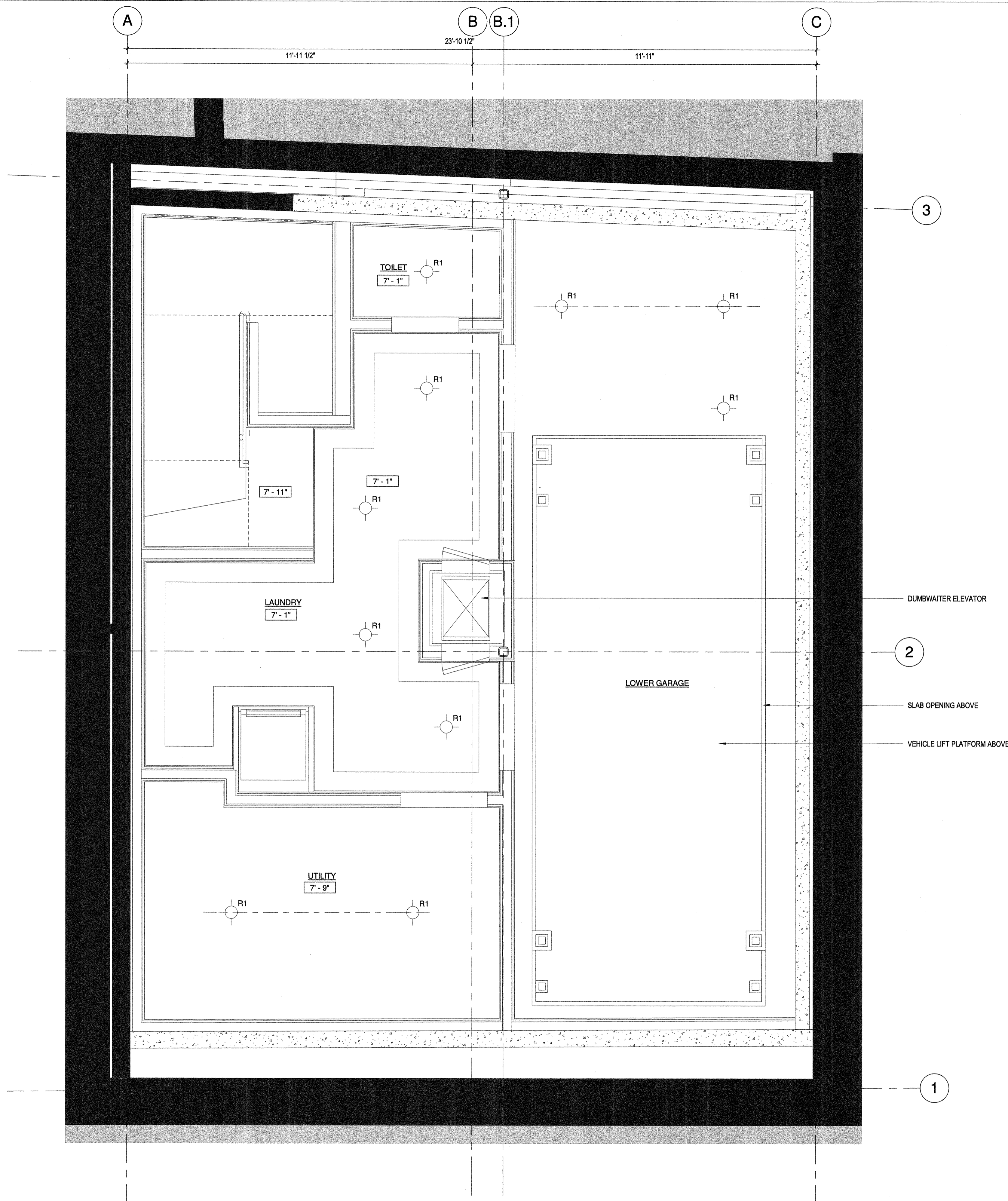
PROJECT # 158007.00
DATE 09.29.14
A.404
DETAILS

EXTERIOR DETAILS
(BHAC SUBMISSION)

SCALE PROJECT # DATE ISSUED
158007.00 02.15.2018



A401



REVISIONS #	DATE	DESCRIPTION
1	6/3/2019	7 BEAVER PLACE REVISION 1

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

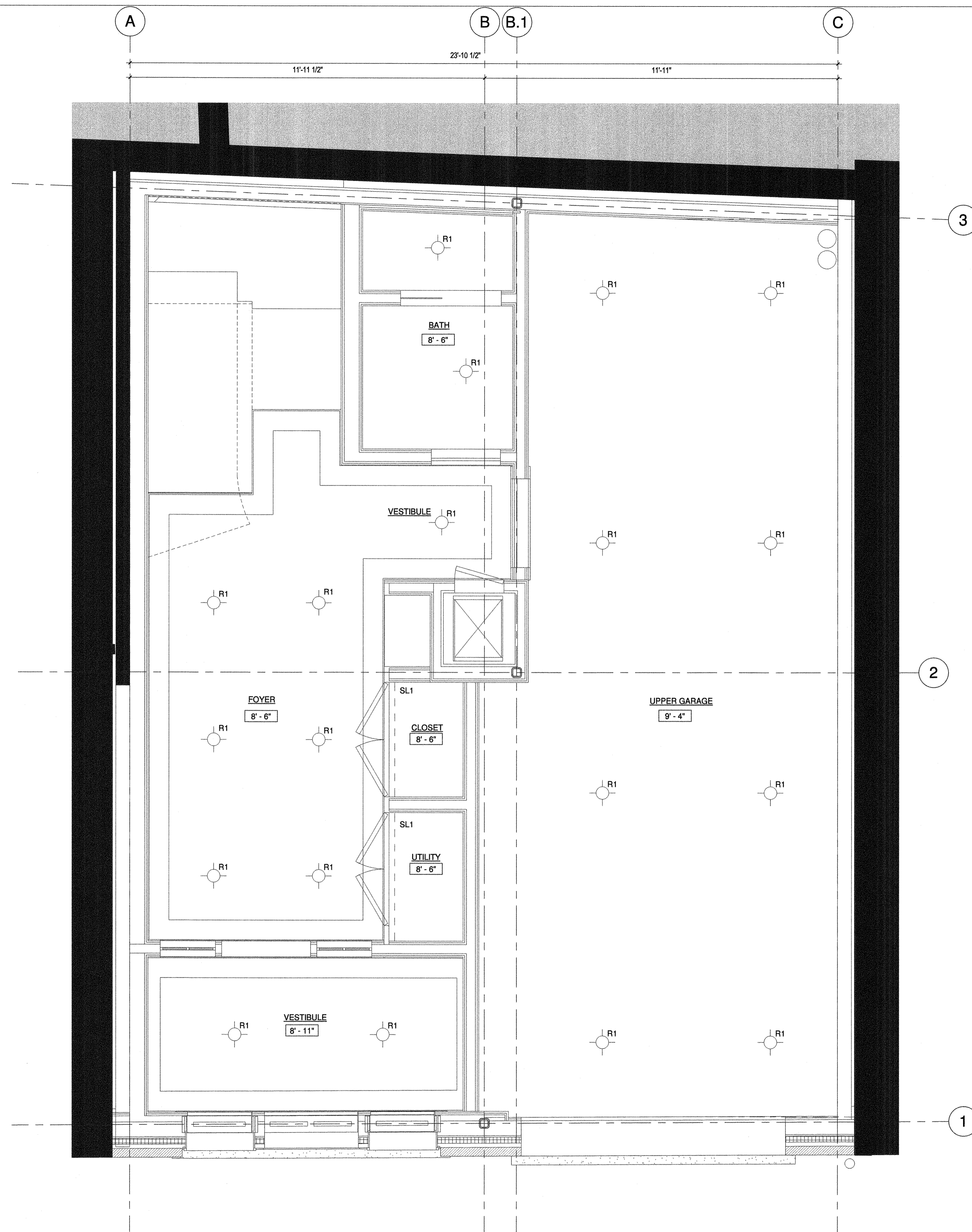
1 BASEMENT REFLECTED CEILING PLAN
1/2" = 1'-0"



BASEMENT REFLECTED CEILING PLAN

SCALE 1/2" = 1'-0" PROJECT # 158007-00 DATE ISSUED 06.03.2019

A700



REVISIONS		
#	DATE	DESCRIPTION
1	6/3/2019	7 BEAVER PLACE REVISION 1

RECONSTRUCTION

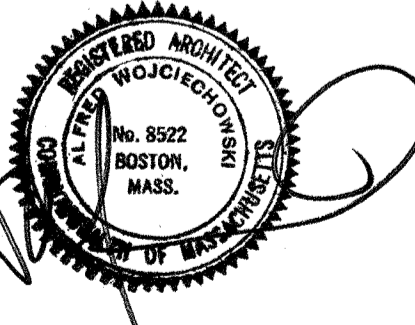
7 BEAVER PLACE
BOSTON, MA 02108

cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

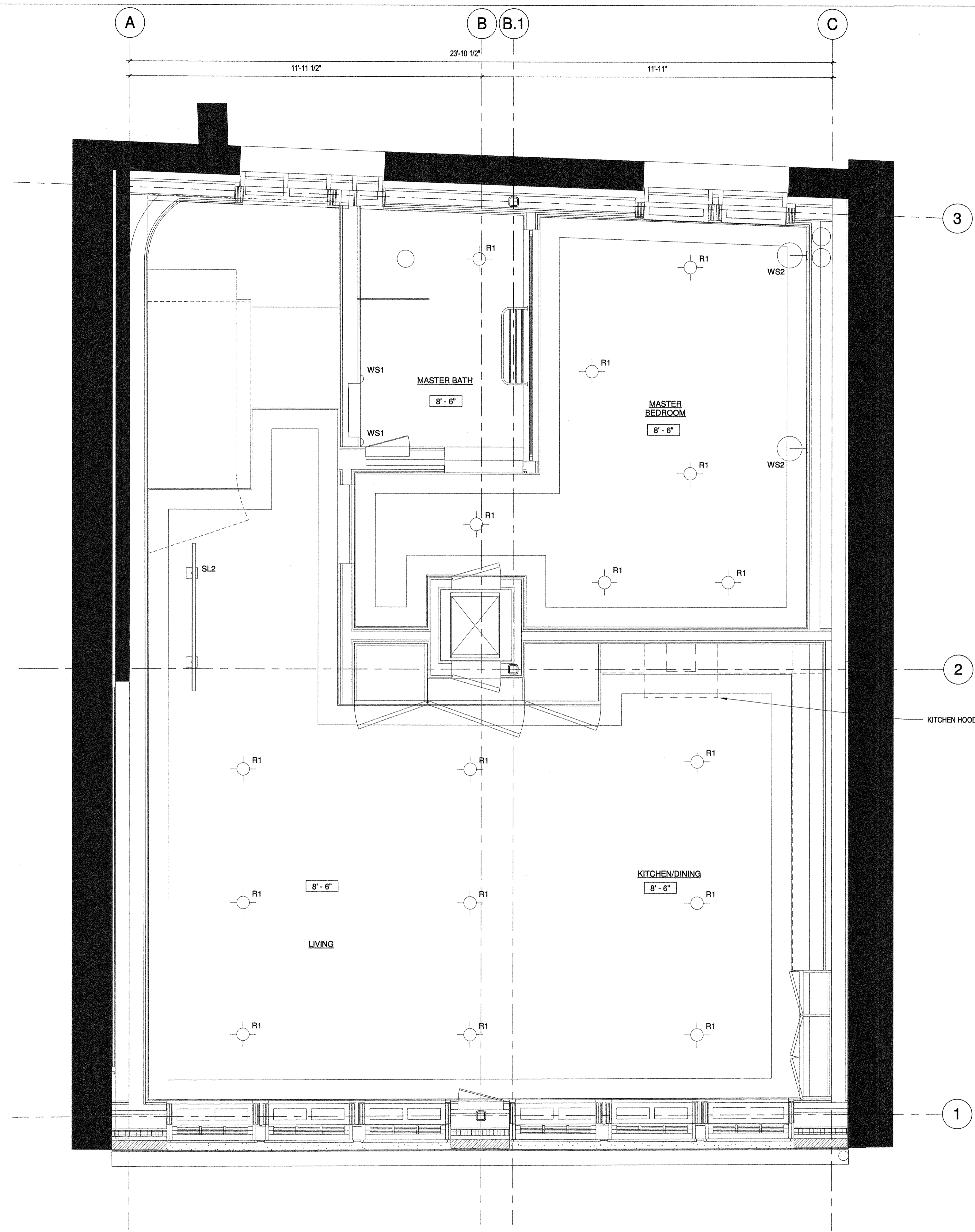
1 FIRST FLOOR REFLECTED CEILING PLAN
1/2" = 1'-0"

**FIRST FLOOR
REFLECTED CEILING
PLAN**

SCALE 1/2" = 1'-0" PROJECT # 158007-00 DATE ISSUED 06-30-2019



A701



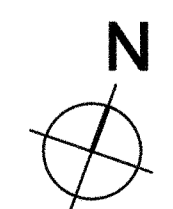
REVISIONS		
#	DATE	DESCRIPTION
1	6/3/2019	7 BEAVER PLACE REVISION 1

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

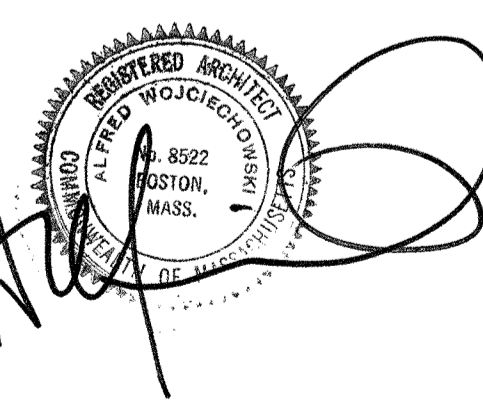
cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

1 SECOND FLOOR REFLECTED CEILING PLAN
1/2" = 1'-0"

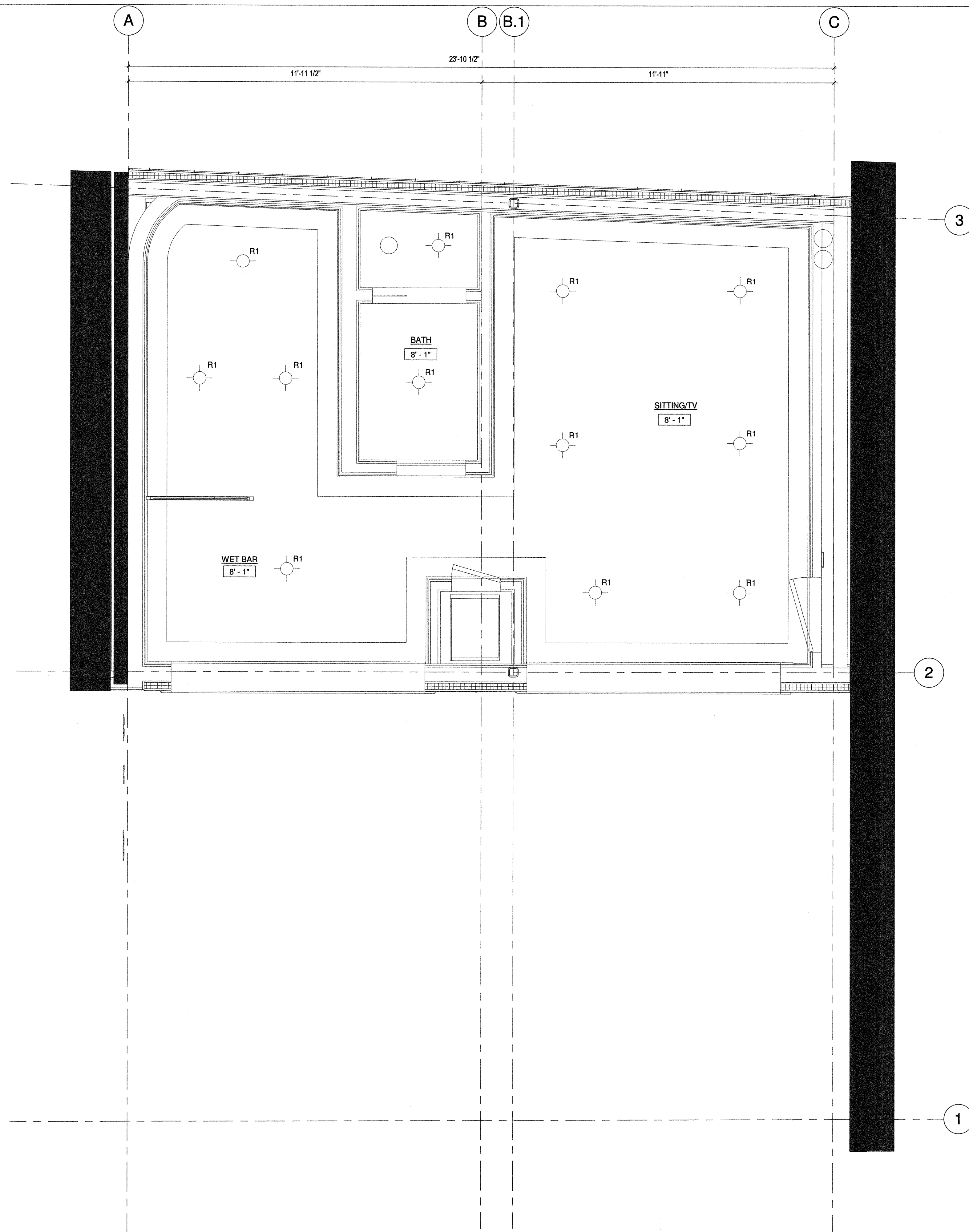


SECOND FLOOR
REFLECTED CEILING
PLAN

SCALE 1/2" = 1'-0" PROJECT # 158007-00 DATE ISSUED 06/30/2019



A702



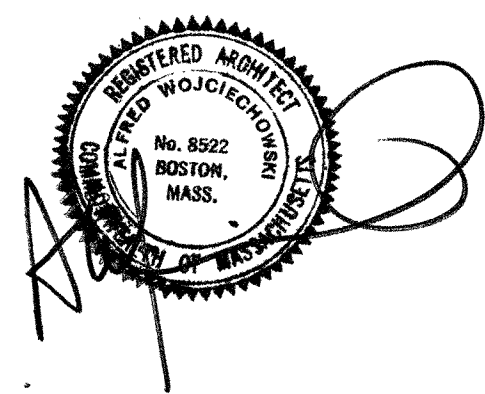
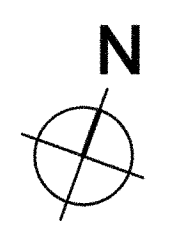
REVISIONS #	DATE	DESCRIPTION
1	6/3/2019	7 BEAVER PLACE REVISION 1

RECONSTRUCTION

7 BEAVER PLACE
BOSTON, MA 02108

cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

1 THIRD FLOOR REFLECTED CEILING PLAN
1/2" = 1'-0"



THIRD FLOOR REFLECTED CEILING PLAN

SCALE 1/2" = 1'-0" PROJECT # 158007-00 DATE ISSUED 06/30/2019

A703