

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AWARE OF ALL CONDITIONS PRIOR TO SUBMITTING A PRICE ADJUSTMENT TO THE PROJECT PRIOR TO SUBMITTING A PRICE ADJUSTMENT TO THE PROJECT. ALL PRICE ADJUSTMENTS WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY. CLARIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT WILL BE IN WRITING AND SHALL BE PART OF THE RECORD DRAWINGS.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM DBP #5 PSI, PV-115 PSI, E-1, 3000000 PSI.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 125" HEIGHT, AND NOT MORE THAN 66° C/C MAXIMUM.
5. STRAP BRACING SHALL BE INSTALLED AT ALL NECESSARY TIMBER CONNECTIONS WITH AIR/GUATE STRAPS.
6. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
7. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
9. PROVIDE A CONTINUOUS HAND JOIST AT EXTERIOR STUD WALLS.
10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL CONNECTIONS.
11. ALL BUILD-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS MEETING A97 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintel over openings in bearing walls shall be as follows (or as noted on drawings):
 Size: 2x4 thick
 Spacing: 2'-0" on center
 up to 6'-0" 3'-2x6
 up to 8'-0" 2'-2x8
 up to 10'-0" 3'-2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE EDITION OF THE MASSACHUSETTS BUILDING CODE.
 DESIGN LEVEL LOAD = 40 POUNDS PER SQUARE FOOT
 LUMBER LUMBER SHALL BE #2 SPF, Fb=875 PSI, Pv=115 PSI
 PRIVATE DECK
 DESIGN SNOW LOAD = 0 ROUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.
 WIND LOAD = 128 MILES PER HOUR
 SEISMIC: Ss = 0.217 SI = 0.069
 ALL LUMBER SHALL BE #2 SPF, Fb=875 PSI, Pv=115 PSI

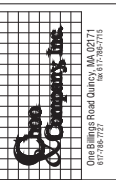
CONTRACTOR NOTE:
 PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF STRUCTURAL STEEL, THE CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING STRUCTURE AND ADJACENT AREAS. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS AND THOSE INDICATED ON THE DRAWINGS. ALL FIELD VERIFYING SHALL BE DOCUMENTED IN THE DRAWINGS. ALL FIELD VERIFYING SHALL BE DOCUMENTED IN THE DRAWINGS. ALL FIELD VERIFYING SHALL BE DOCUMENTED IN THE DRAWINGS. ALL FIELD VERIFYING SHALL BE DOCUMENTED IN THE DRAWINGS. ALL FIELD VERIFYING SHALL BE DOCUMENTED IN THE DRAWINGS.

PROPOSED ROOF DECK

135 MYRTLE STREET

BOSTON, MASSACHUSETTS 02114

PROPOSED ROOF DECK
 135 MYRTLE STREET
 BOSTON, MA 02114



No.	Revision Date

Project No: 18272
 Scale: AS NOTED
 Date: 11-13-2018
 Drawn By: NS
 Drawn Name:

COVER SHEET
 Sheet No: A-O

ZONING CODE ANALYSIS
 Governing Article: H-2-65
 Subdistrict: APARTMENT RESIDENTIAL

Use Regulations: Section Table	
Existing	Proposed
Multi-Family	

Any Other Use	Code Requirement	Existing Condition	Proposed	Notes
Lot Area Minimum	NONE	MULTI-FAMILY	660 SF	660 SF
Min Lot Area for Additional Units	NONE	NONE	NONE	NONE
Total Required Lot Size	NONE	NONE	NONE	NONE
Min Required Lot Width and Frontage	NONE	21.67	21.67	21.67
Max FAR	2	16	16	16
Max Building Height / Stories	65'-0"	4 STORIES / 41.92'	4 STORIES / 42.67'	4 STORIES / 42.67'
Usable Open Space	150 SF PER UNIT	0 SF PER UNIT	245/4 = 62 SF PER UNIT	245/4 = 62 SF PER UNIT
Min Front Yard	20'-0"	0'-0"	0'-0"	0'-0"
Min Side Yard	20'-0"	0'-0"	0'-0"	0'-0"
Min Rear Yard	30'-0"	0'-0"	0'-0"	0'-0"
Max Use of Rear Yard	30%	NONE	NONE	NONE

Overlays:
 Historic Beacon Hill District - Neighborhood Design

Other Non-Dimensional Zoning Issues:
 N/A

KEY

	NEW WALL
=====	EXG WALL TO REMAIN
=====	WALL TO BE REMOVED

CODE ANALYSIS

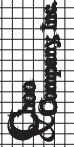
EXISTING TO REMAIN:
 TYPE 5B CONSTRUCTION

EXISTING TO REMAIN:
 R-2 USE GROUP

EXISTING TO REMAIN:
 4 STORY & BASEMENT

Location

PROPOSED ROOF DECK
135 MYRTLE STREET
BOSTON, MA 02114



One On One Contractors Inc.
One Belling Road Quincy, MA 02271
617-887-1277
MA 617-887-1277

No.

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Scale AS NOTED

Date 11-13-2018

Drawn By NS

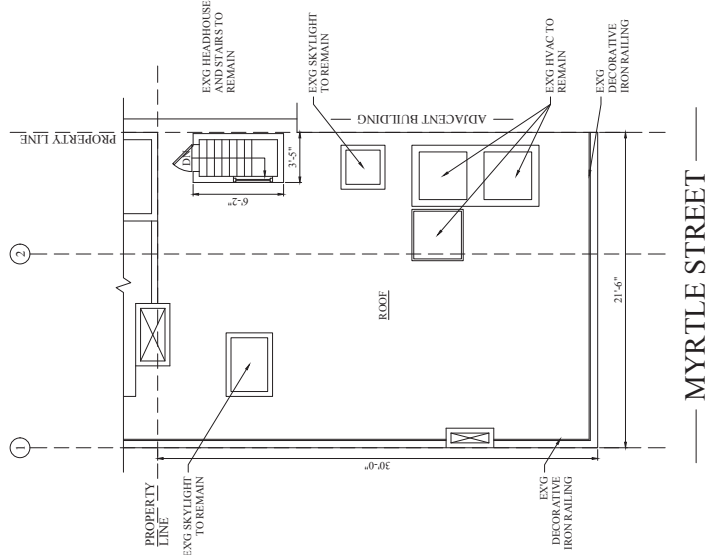
Checked By

Drawn/Name

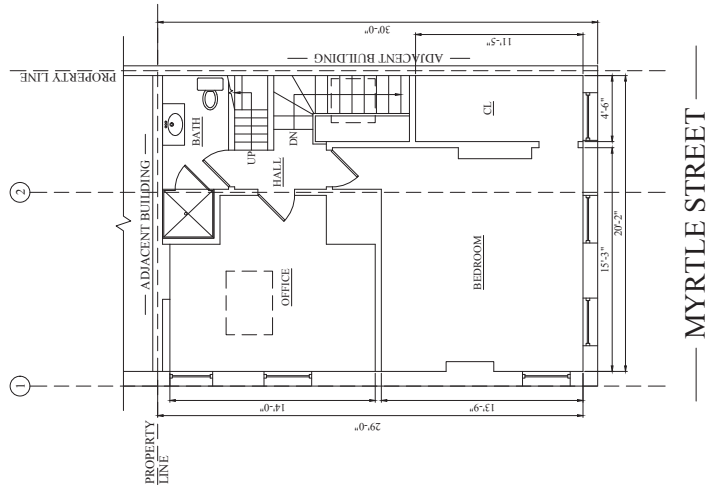
EXISTING
FLOOR PLANS

Sheet No.

D-11



2 EXISTING ROOF PLAN
1/8" = 1'-0"



1 EXISTING FOURTH FLOOR PLAN
1/8" = 1'-0"

PROPOSED ROOF DECK 135 MYRTLE STREET BOSTON, MA 02114



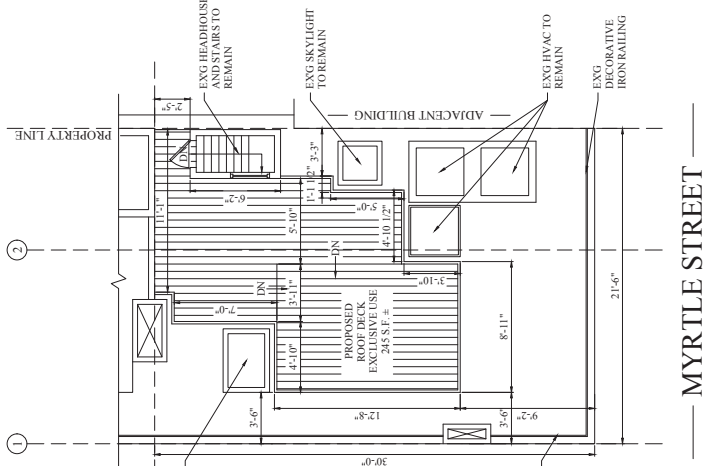
One Buildings Road Quincy, MA 02271
617-887-7272
info@onegroupinc.com

No.	Revision Date

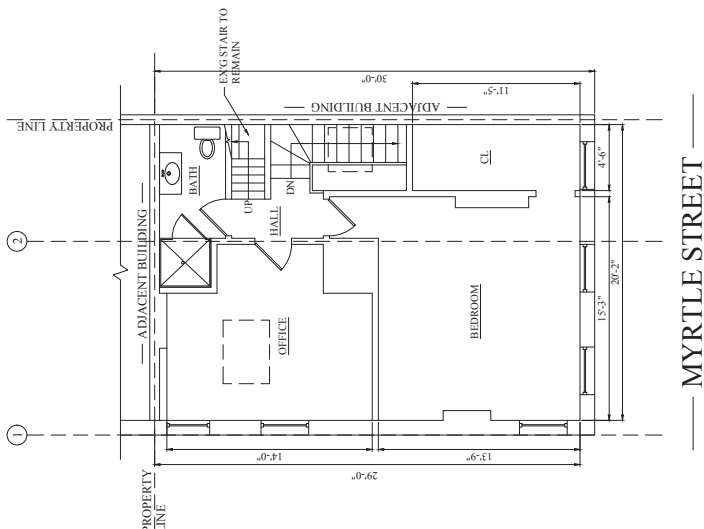
Project No: 18272
Scale: AS NOTED
Date: 11-13-2018
Drawn By: NS
Checked By:

Drawn Name:
PROPOSED FLOOR PLANS

Sheet No:
A-1.1



2 PROPOSED ROOF DECK PLAN
1/8" = 1'-0"



1 PROPOSED FOURTH FLOOR PLAN
1/8" = 1'-0"

Location

PROPOSED ROOF DECK
135 MYRTLE STREET
BOSTON, MA 02114

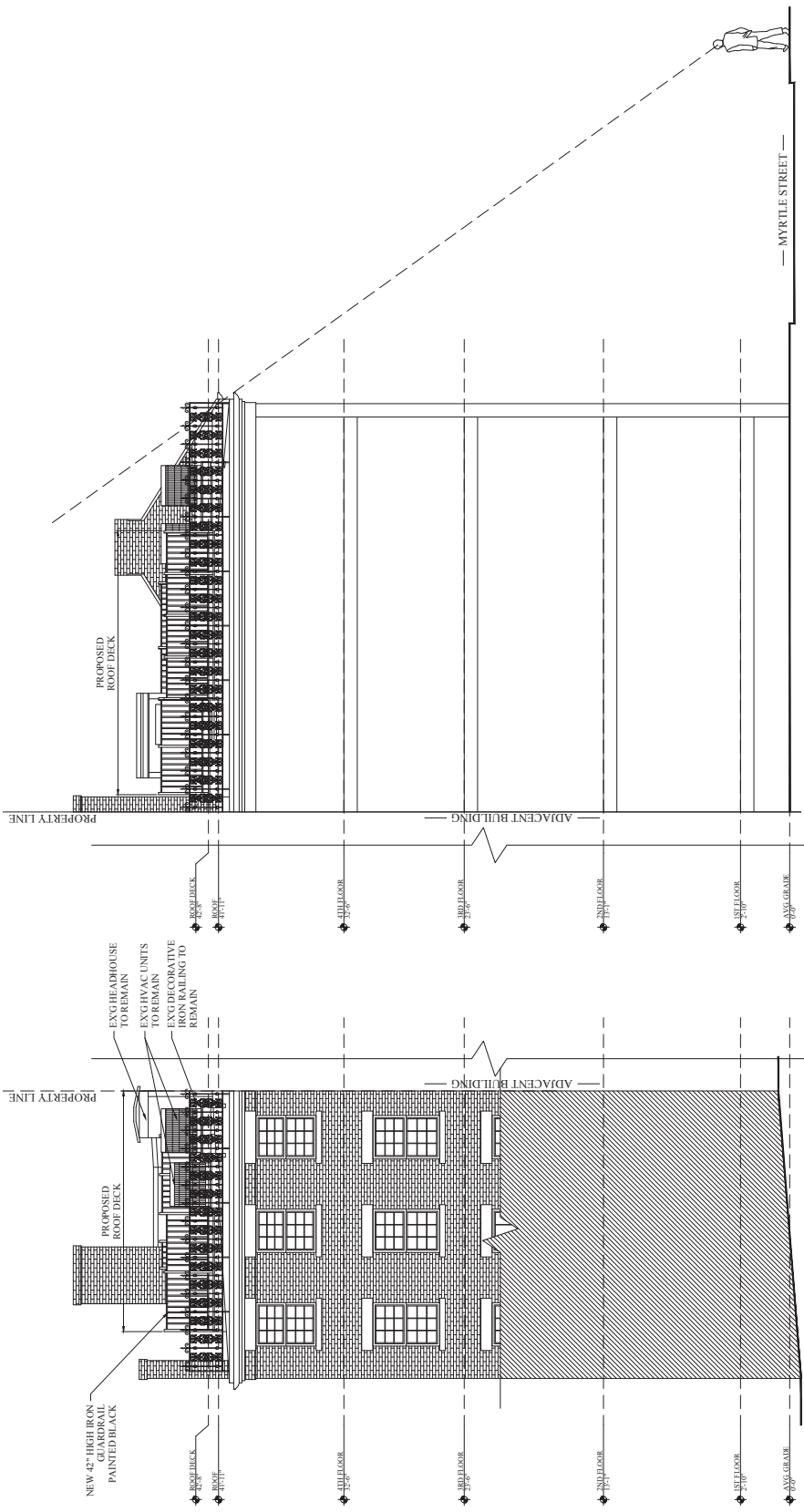


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Checked By

PROPOSED ELEVATIONS

Sheet No. A-2.1



2 LINE OF SIGHT 1/4" = 1'-0"

1 PROPOSED FRONT ELEVATION 1/4" = 1'-0"

Location

PROPOSED ROOF DECK
135 MYRTLE STREET
BOSTON, MA 02114



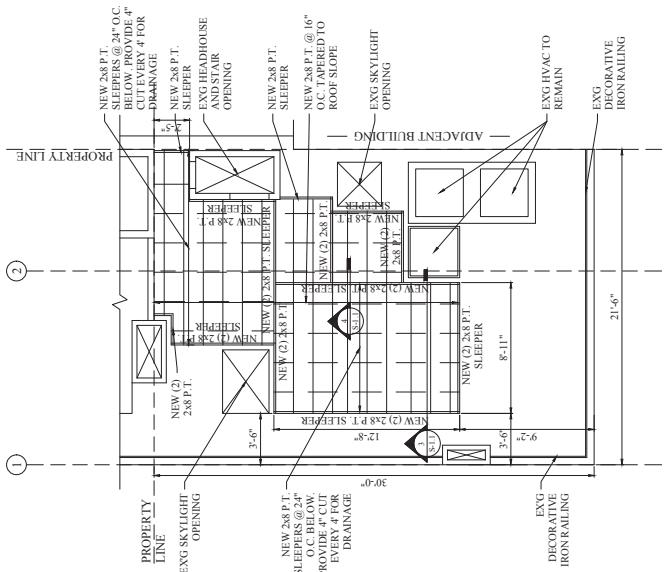
No.	Revision Date

Project No. 18272
 Scale AS NOTED
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 Drawn By NS
 Design Name

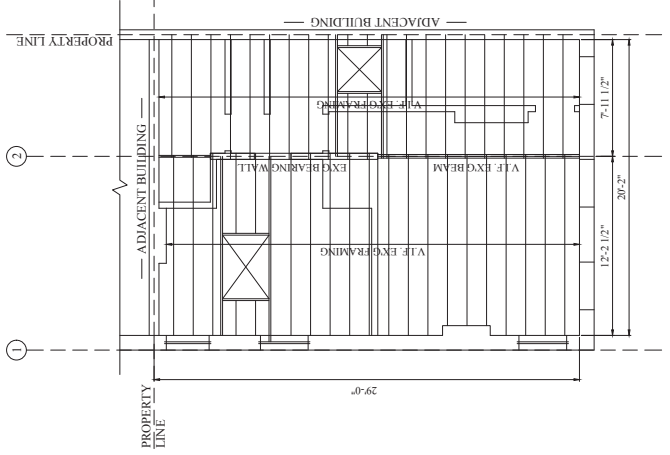
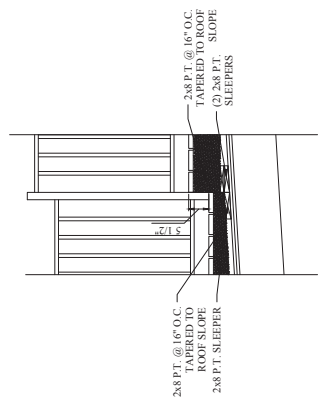
FRAMING PLANS AND DETAILS

Sheet No. S-11

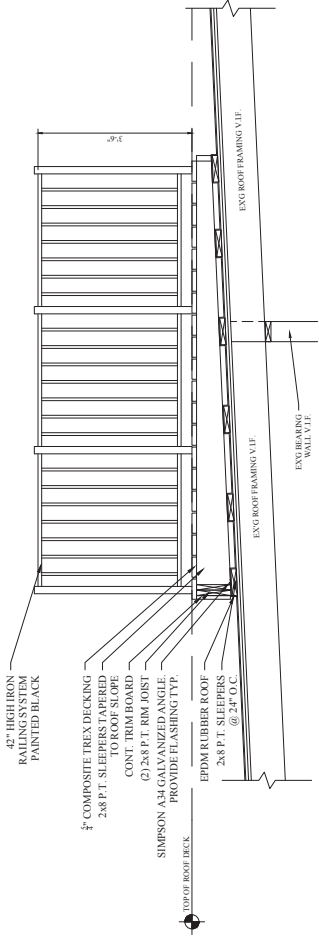
NOTE:
 EXISTING FRAMING IS ASSUMED FIELD VERIFY
 AND CONFIRM WITH ARCHITECT AND ENGINEER
 BEFORE CONSTRUCTION.



2 PROPOSED ROOF DECK FRAMING PLAN 1/8" = 1'-0"



1 PROPOSED FRAMING PLAN 1/8" = 1'-0"



5 SECTION 5 OF ROOF DECK 3/4" = 1'-0"