



Existing Front Entry @ #71









Existing Rear Yard



Existing Rear Yard







Existing Roof View

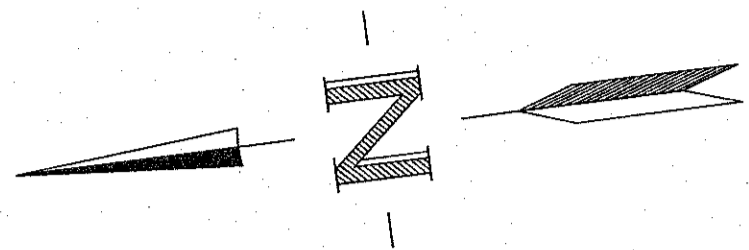


67 W Cedar St

Existing Roof View

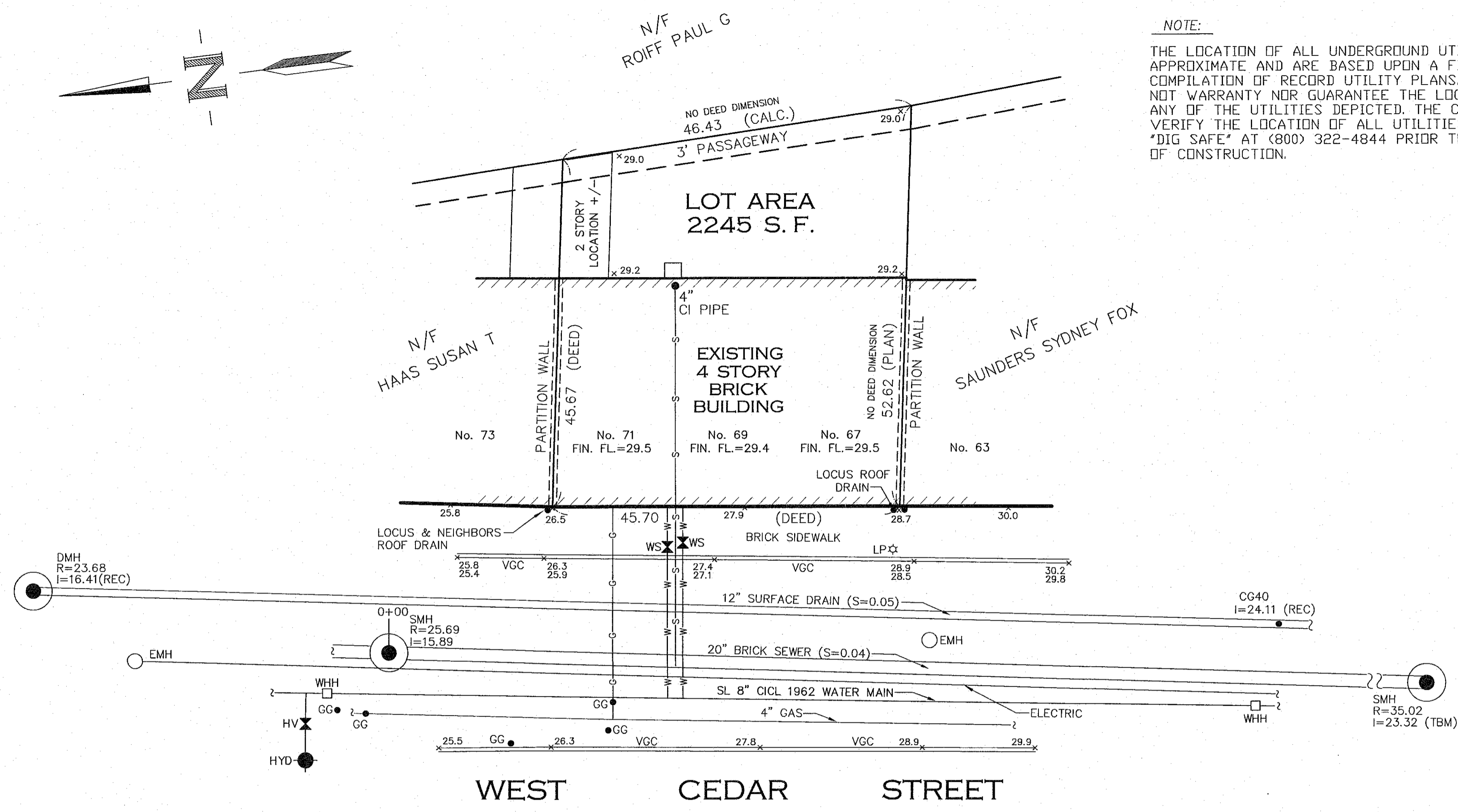


Existing Roof View



NOTE:

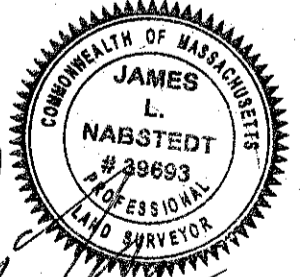
THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A FIELD SURVEY AND COMPILATION OF RECORD UTILITY PLANS. N.V.S.A., INC. DOES NOT WARRANTY NOR GUARANTEE THE LOCATION OF ALL OR ANY OF THE UTILITIES DEPICTED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY CONTACTING "DIG SAFE" AT (800) 322-4844 PRIOR TO COMMENCEMENT OF CONSTRUCTION.



BENCHMARK: ALL ELEVATIONS ARE BASED ON THE CITY OF BOSTON SEWER DATUM. TBM-SMH INV.=23.32.

LEGEND

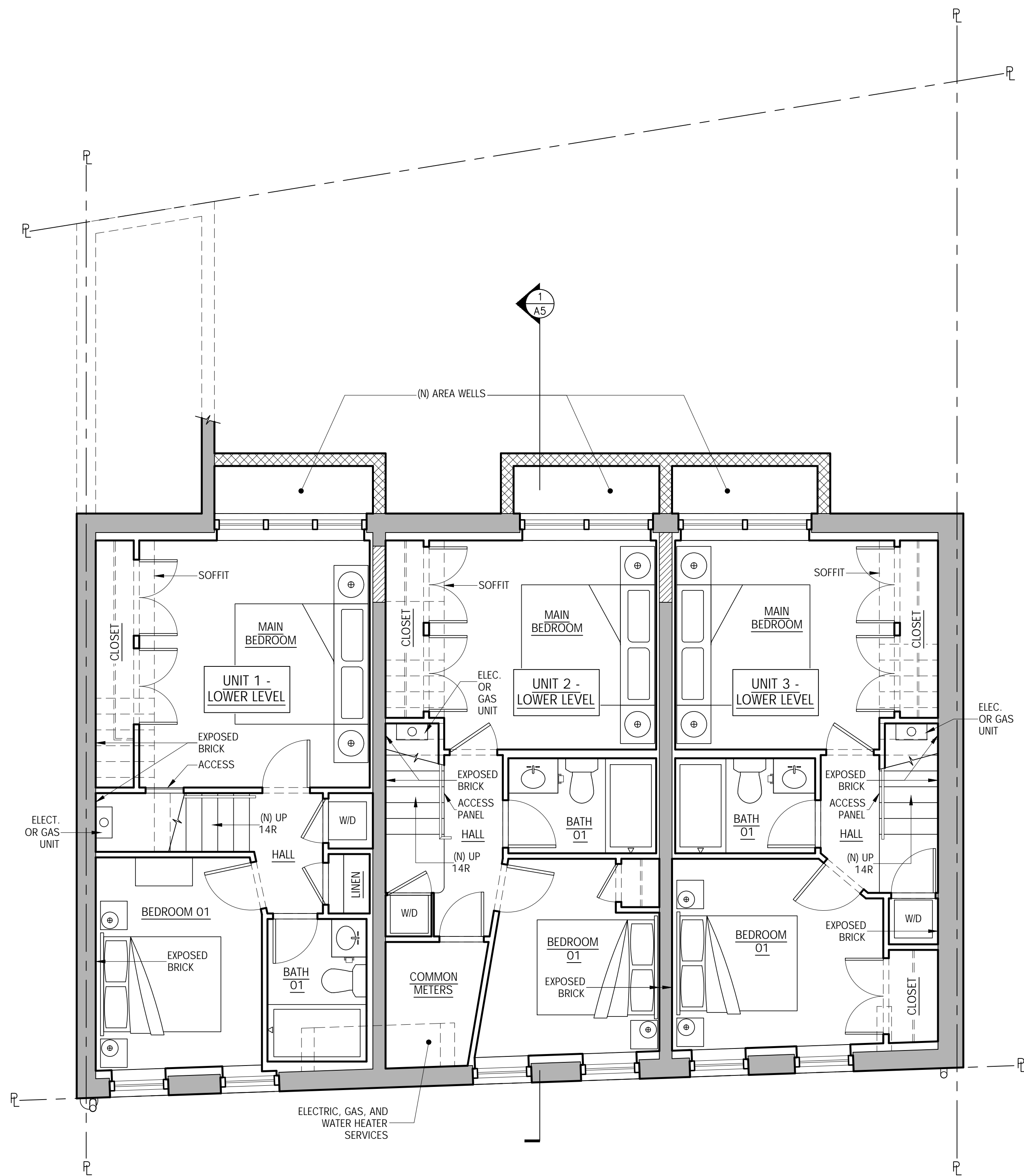
- 00.0 Proposed Spot Grade
- 00.0 Existing Spot Grade
- ⊗ Water Main Valve
- ⊕ Water Service/Fire/Hydrant Valve
- Hydrant
- ⊠ Water Meter
- Drain Manhole
- Catch Basin
- Sewer Manhole


 JAMES L. NABSTEDT PLS No. 39693

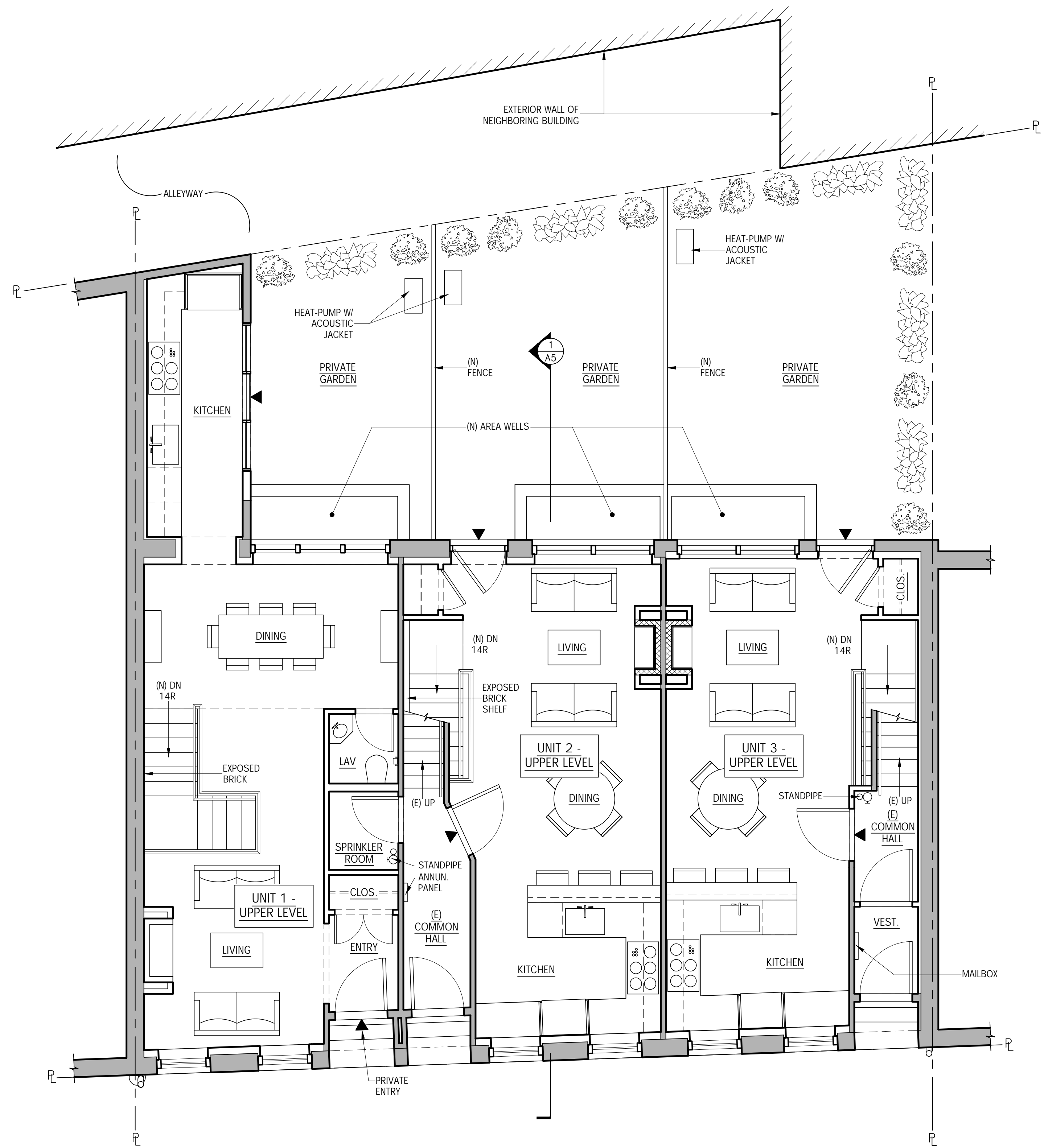
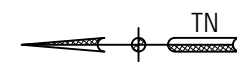
SITE PLAN SHOWING EXISTING CONDITIONS AT 67-71 WEST CEDAR STREET BOSTON (PROPER), MASS.	
NEPONSET VALLEY SURVEY ASSOC., INC. 95 WHITE STREET QUINCY, MA 02269	
SCALE: 1"=10'	DATE: MARCH 3, 2022 MAY 19, 2022



TBM (22-010)



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



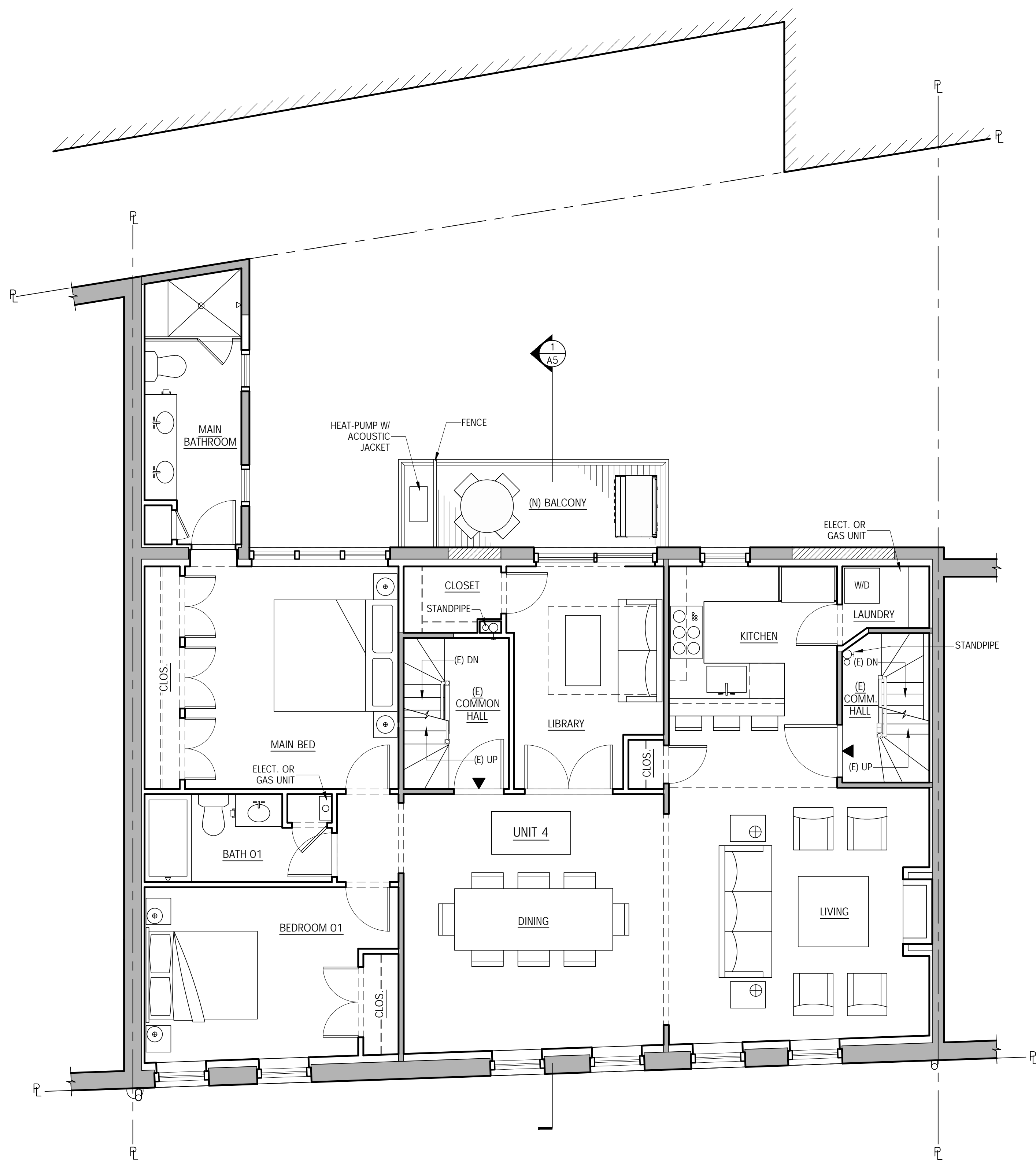
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



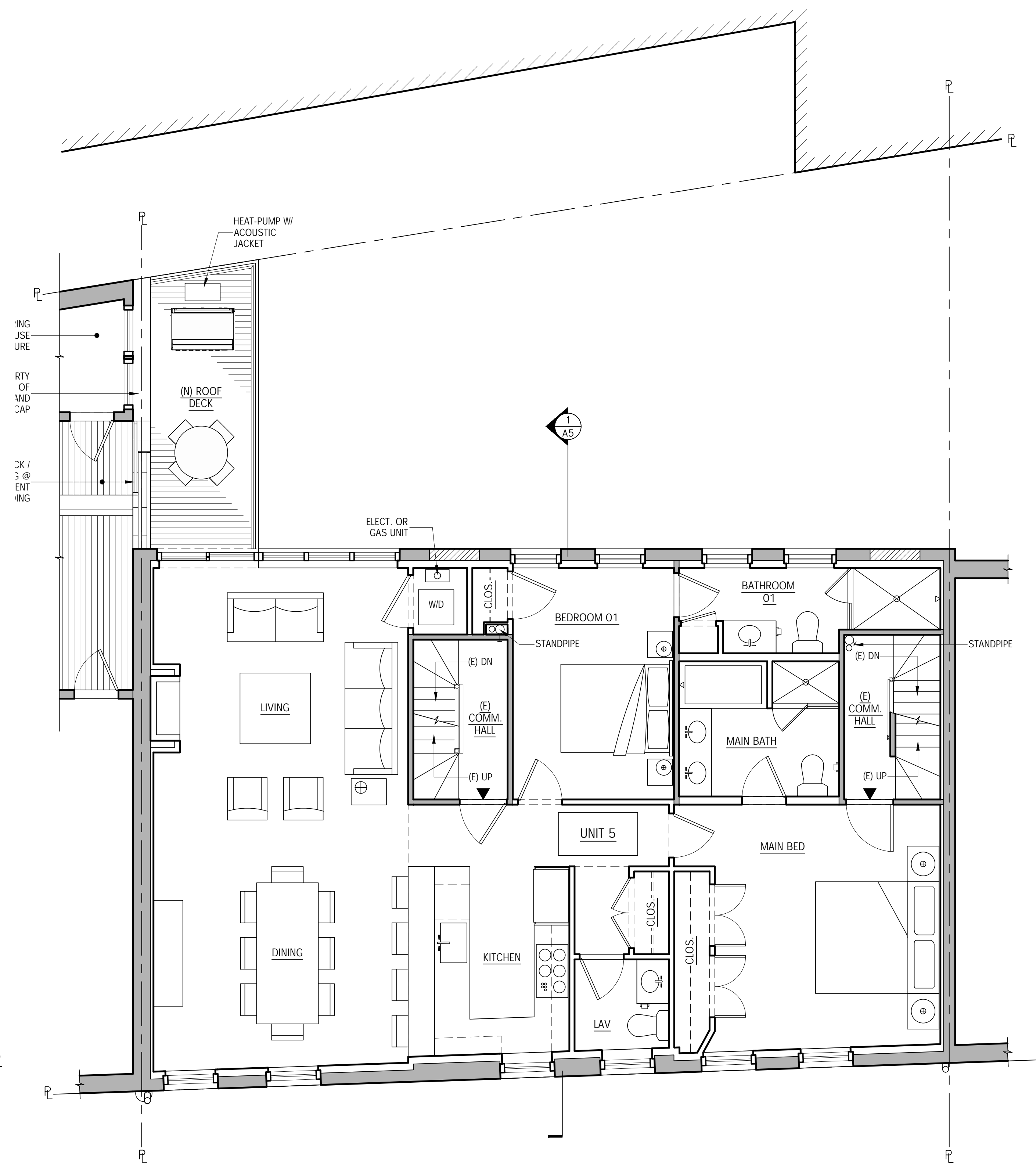
LEGEND

- NEW WALL - SEE WALL TYPE SCHEDULE
- EXISTING WALL TO REMAIN - SEE WALL TYPE SCHEDULE

JOB NO.: 2121	SCALE: 1/4" = 1'-0"
DATE: 03.01.22	REVISED



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

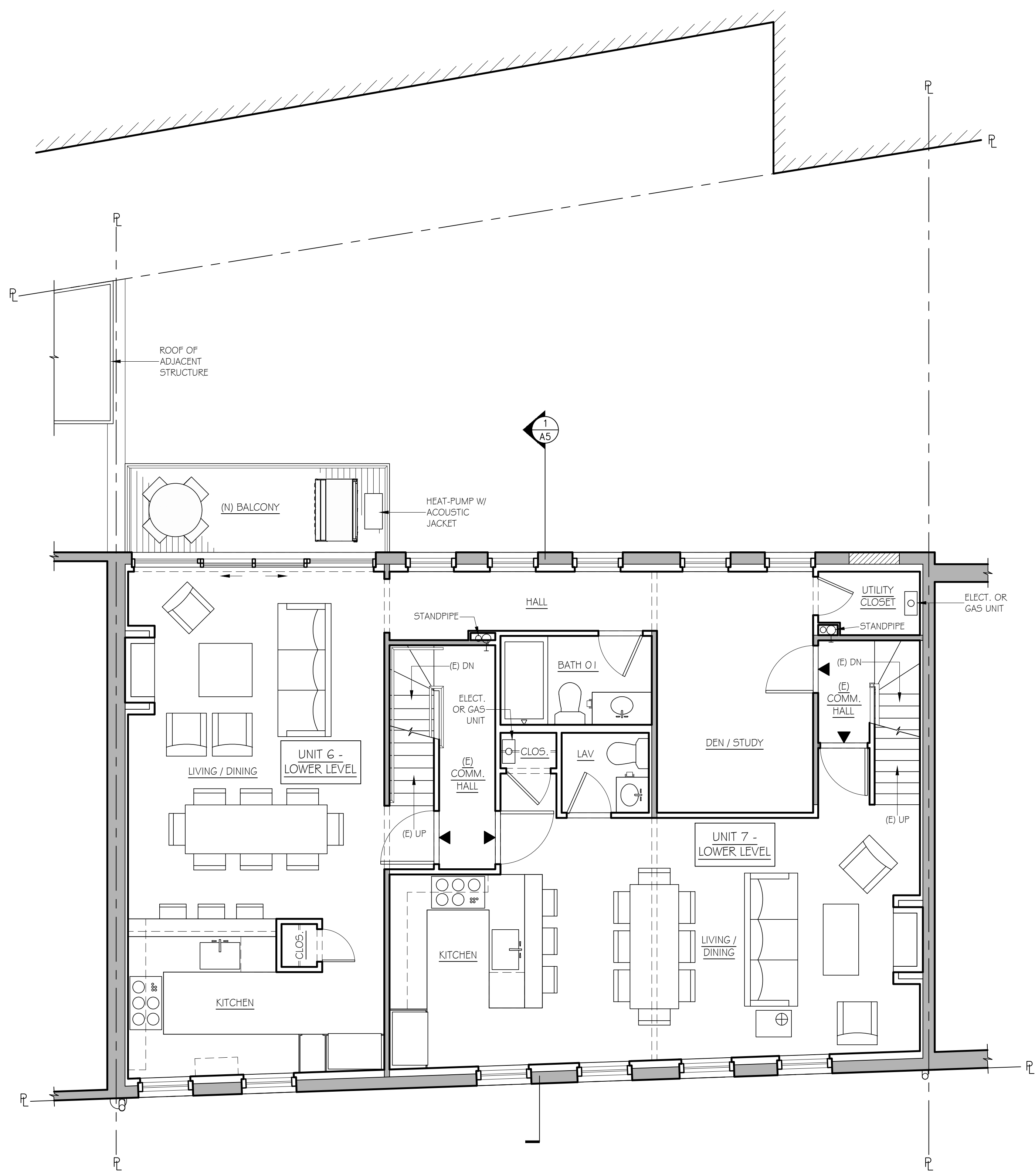


THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

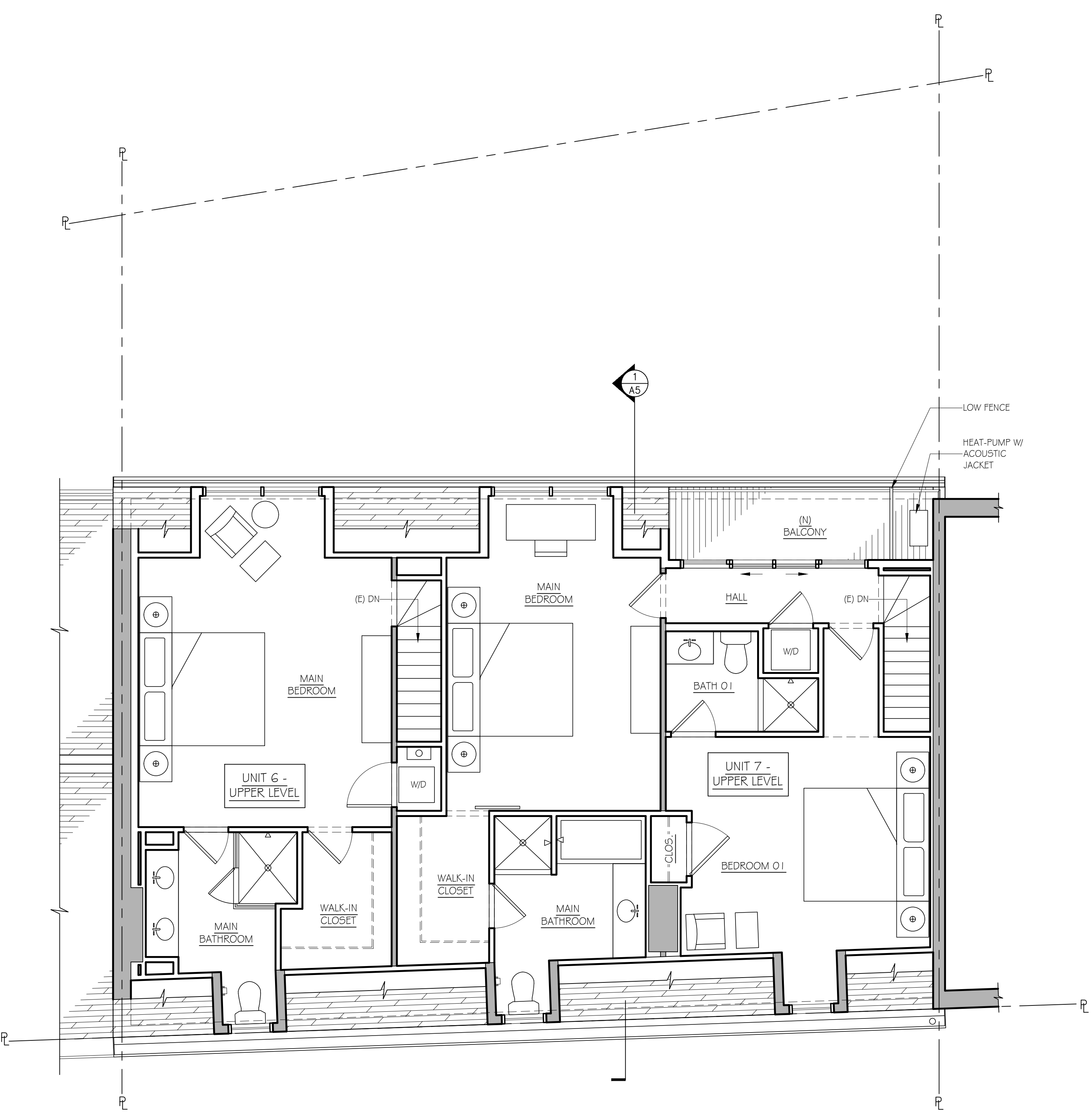
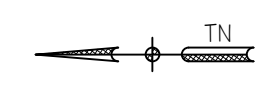


LEGEND

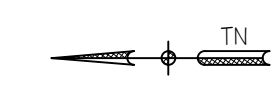
- NEW WALL - SEE WALL TYPE SCHEDULE
- EXISTING WALL TO REMAIN - SEE WALL TYPE SCHEDULE



FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"

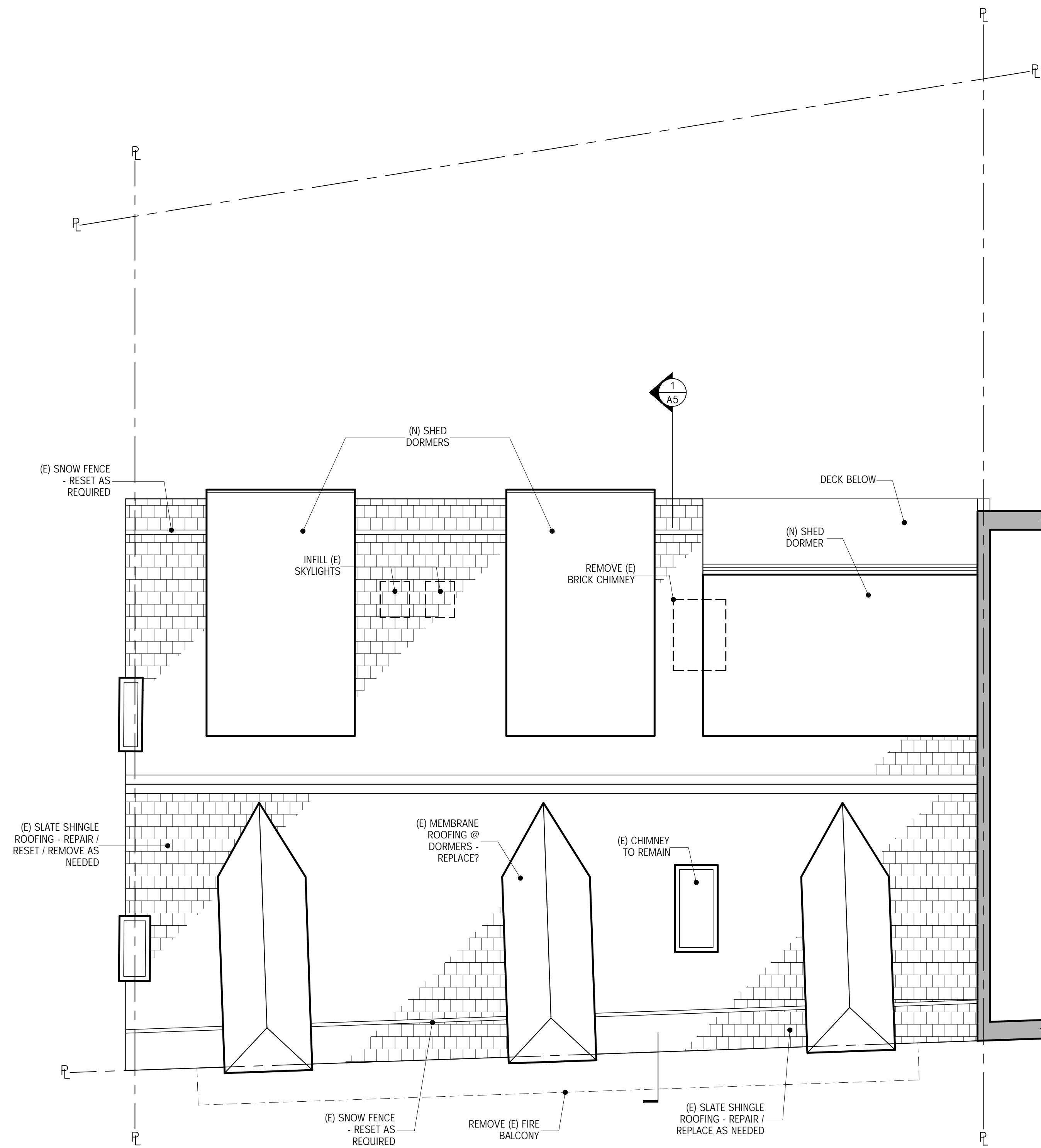


FIFTH FLOOR PLAN
SCALE: 1/4" = 1'-0"

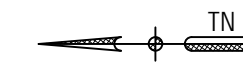


LEGEND

- NEW WALL - SEE WALL TYPE SCHEDULE
- EXISTING WALL TO REMAIN - SEE WALL TYPE SCHEDULE

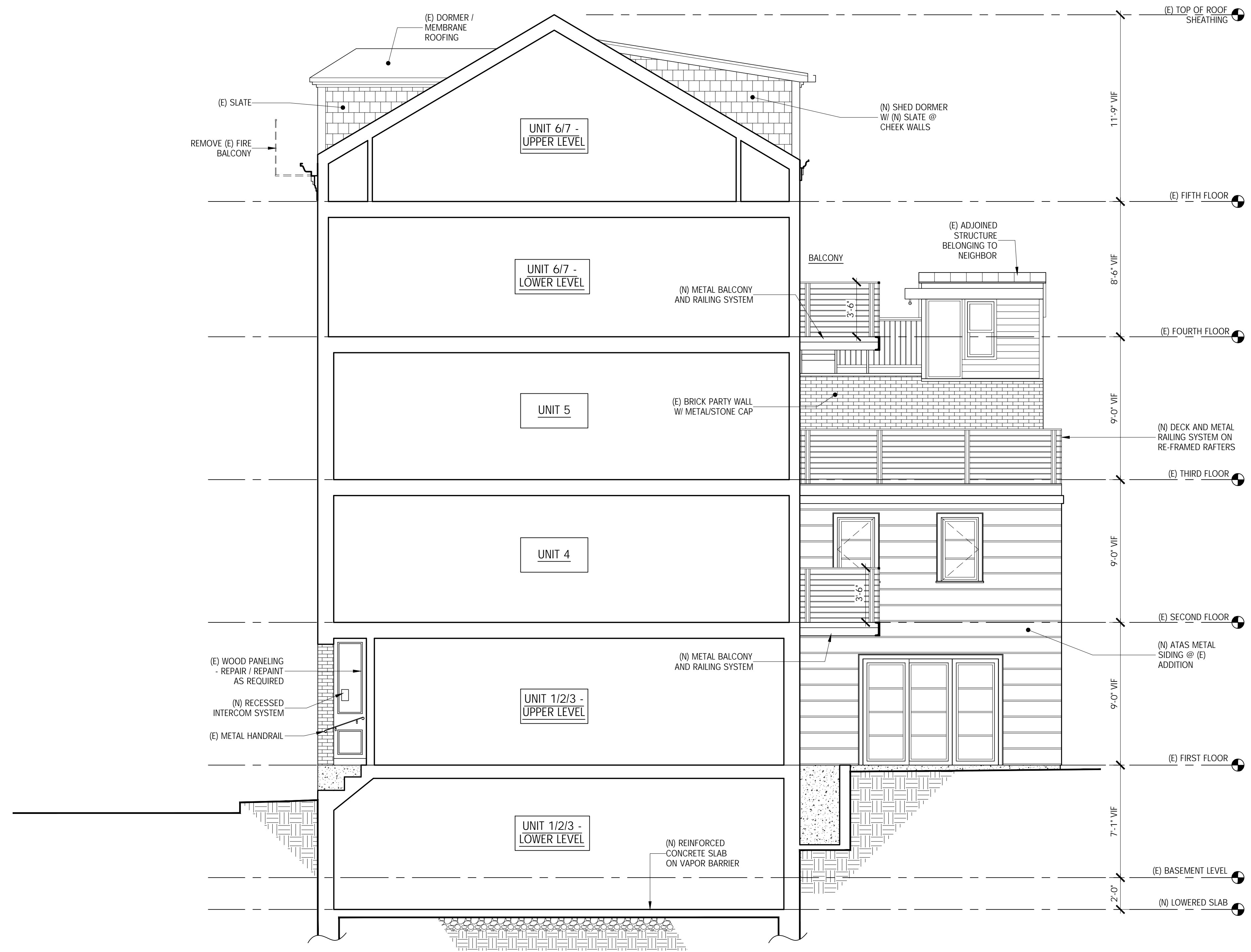


ROOF PLAN
SCALE: 1/4" = 1'-0"



LEGEND

	NEW WALL - SEE WALL TYPE SCHEDULE
	EXISTING WALL TO REMAIN - SEE WALL TYPE SCHEDULE



BUILDING SECTION AND SOUTH ELEVATION @ REAR ADDITION

1/4" = 1'-0"



EAST BUILDING ELEVATION
 $\frac{1}{4}'' = 1'-0''$



WEST BUILDING ELEVATION
 $\frac{1}{4}'' = 1'-0''$

FRONT AND REAR BUILDING
 ELEVATIONS

67, 69, 71 W. CEDAR STREET
 BOSTON, MA 02114

JOB NO: 2121
 SCALE: 1/4"=1'-0"
 DATE: 03.01.22
 REVISED

GD GRASSI DESIGN GROUP

BG BEAUCHEMIN GRASSI INTERIORS

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