

**NOTE:** EXISTING PLANS ARE PROVIDED FOR REFERENCE ONLY. SCOPE OF WORK INCLUDES ENTIRE GUT RENOVATION INCLUDING REMOVABLE OF INTERIOR NON-LOAD BEARING WALLS IN COORDINATION WITH PROPOSED FLOOR PLANS. AS SUCH, NOT ALL EXISTING NON-LOADBEARING INTERIOR PARTITIONS ARE SHOWN. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS NOT TO PERFORM ANY EXISTING STRUCTURAL ELEMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF STRUCTURAL ENGINEER.

ALL DRAWINGS, SPECIFICATIONS AND ARCHITECTURAL DESIGNS ARE THE PROPERTY OF SOUSA DESIGN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK, AND SHALL EXCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

EACH CONTRACTOR SHALL SUBMIT TO SOUSA DESIGN ARCHITECTS OR THE OWNER FOR APPROVAL: SHOP DRAWINGS, SAMPLES, CUTS OF ALL THE ITEMS TO BE INCLUDED IN THE WORK PRIOR TO CONSTRUCTION. ALL ITEMS TO BE INCLUDED SHALL BE APPROVED FOR USE IN THE CITY OF BOSTON AND SHALL HAVE AN ASTM AND UJL NUMBER WHEN SUCH ITEMS REQUIRE THIS DESIGNATION. EACH CONTRACTOR SHALL CO-ORDINATE HIS WORK WITH ALL OTHER CONTRACTORS.

THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

**ISSUED FOR:**  
PERMIT  
REVISED 06.24.2022

**SOUSA design**  
Architects

81 Boylston Street, 2nd Floor  
Brookline, MA 02445  
617. 879. 9100



Job # 202114

Drawn by TB Ckd by DMG

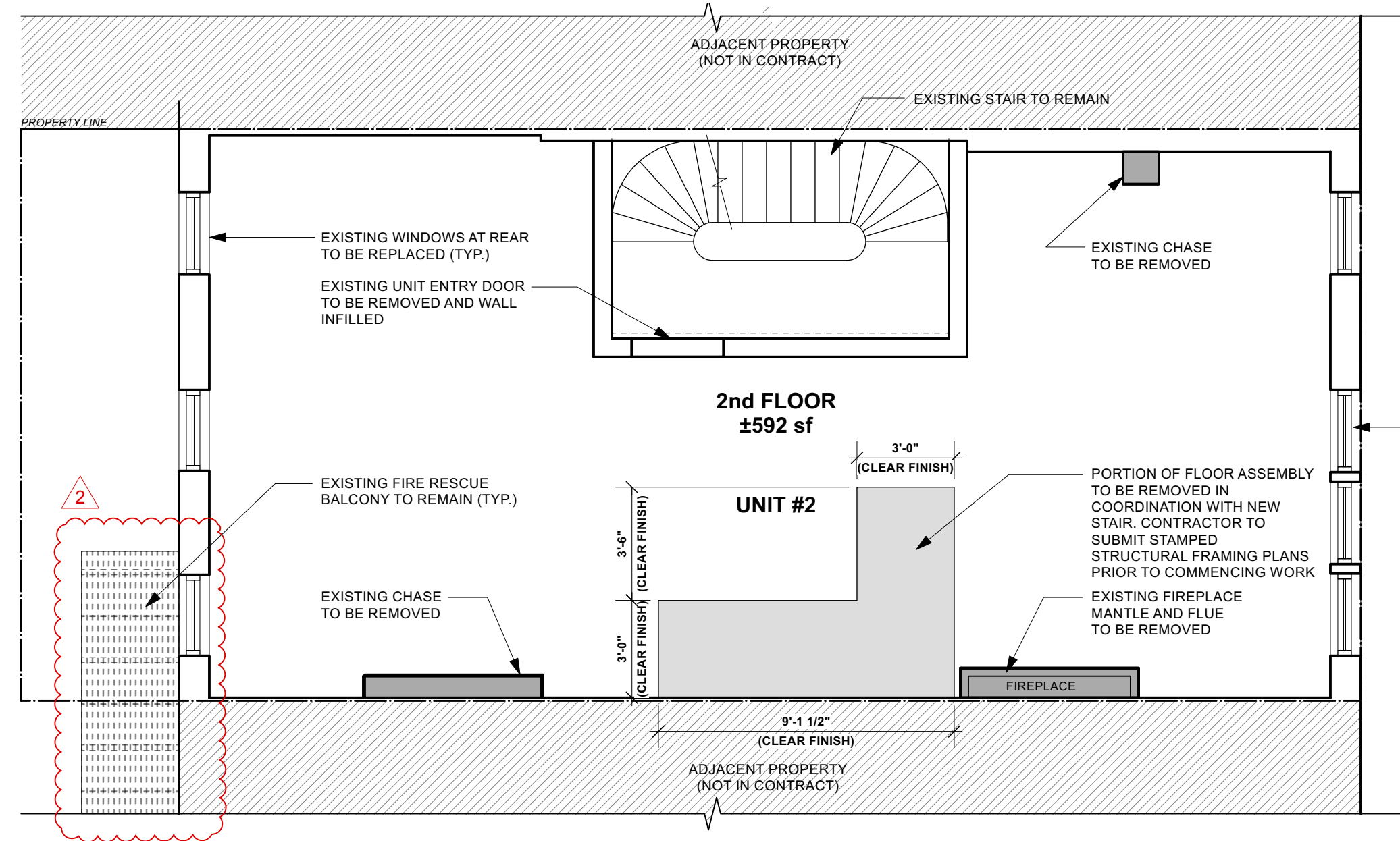
Date 06.24.2022

**Revisions**

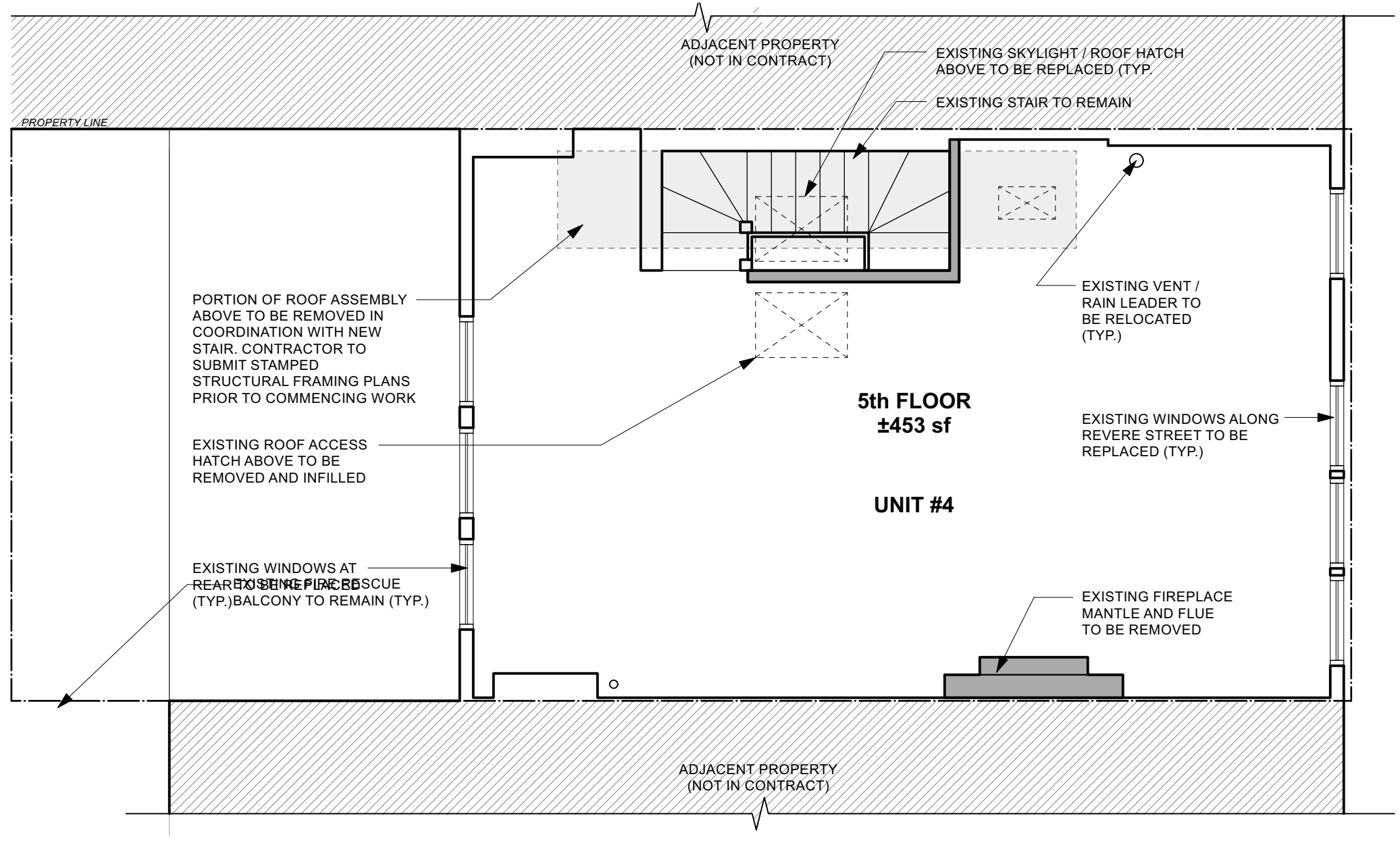
01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022
03	REDUCED AREA	06.24.2022

**EXISTING PLANS**

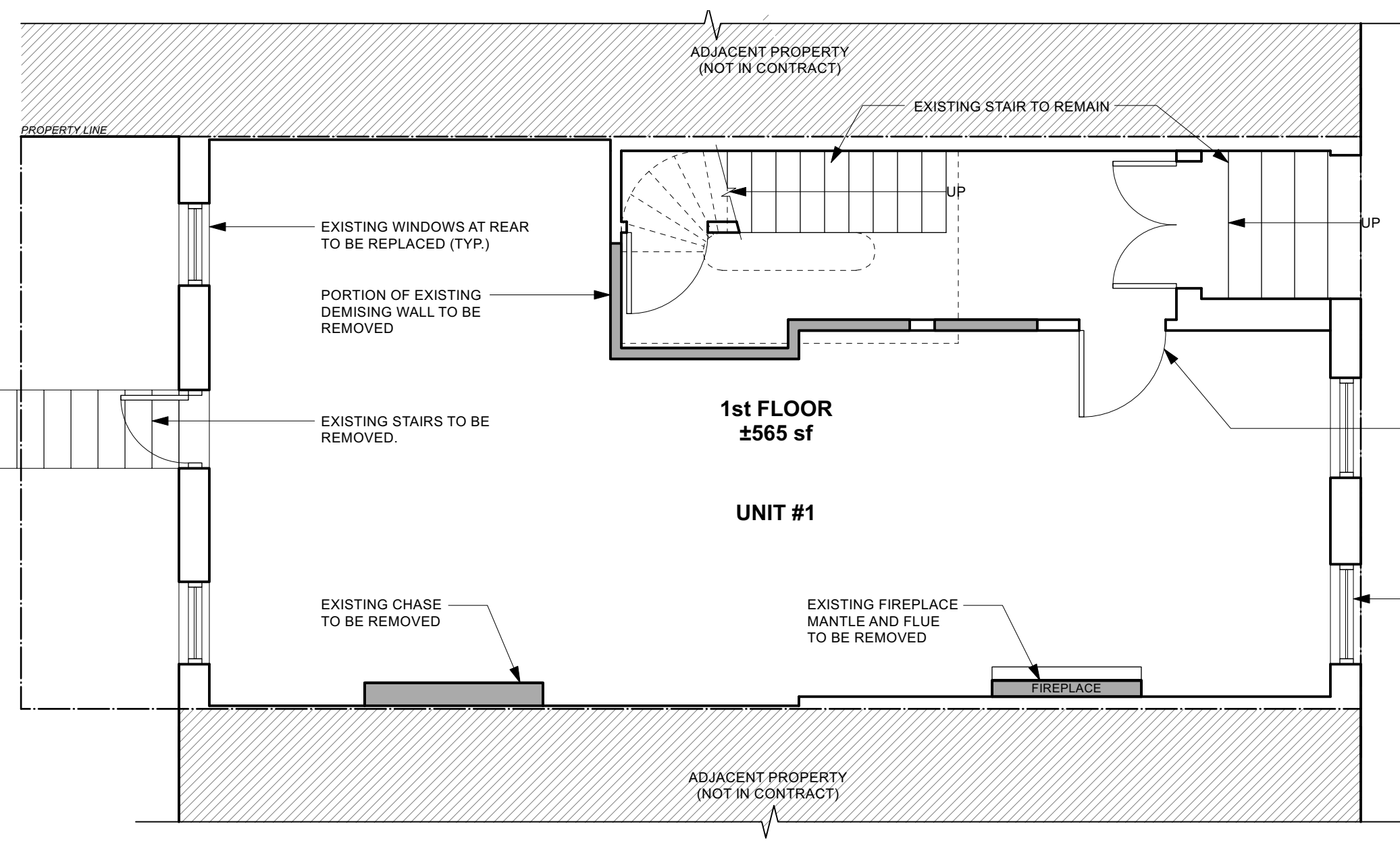
**D-100**



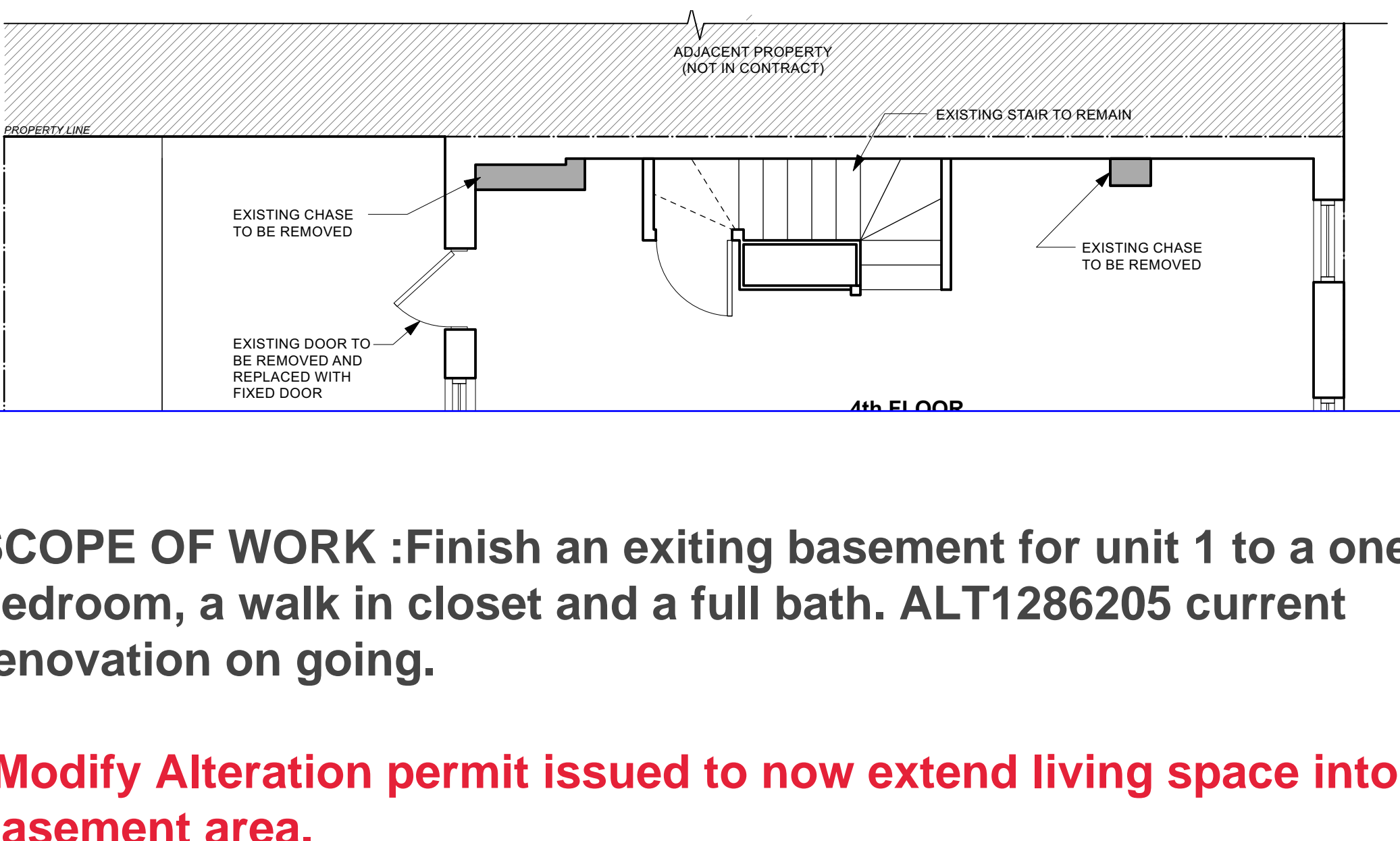
3 EXISTING SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



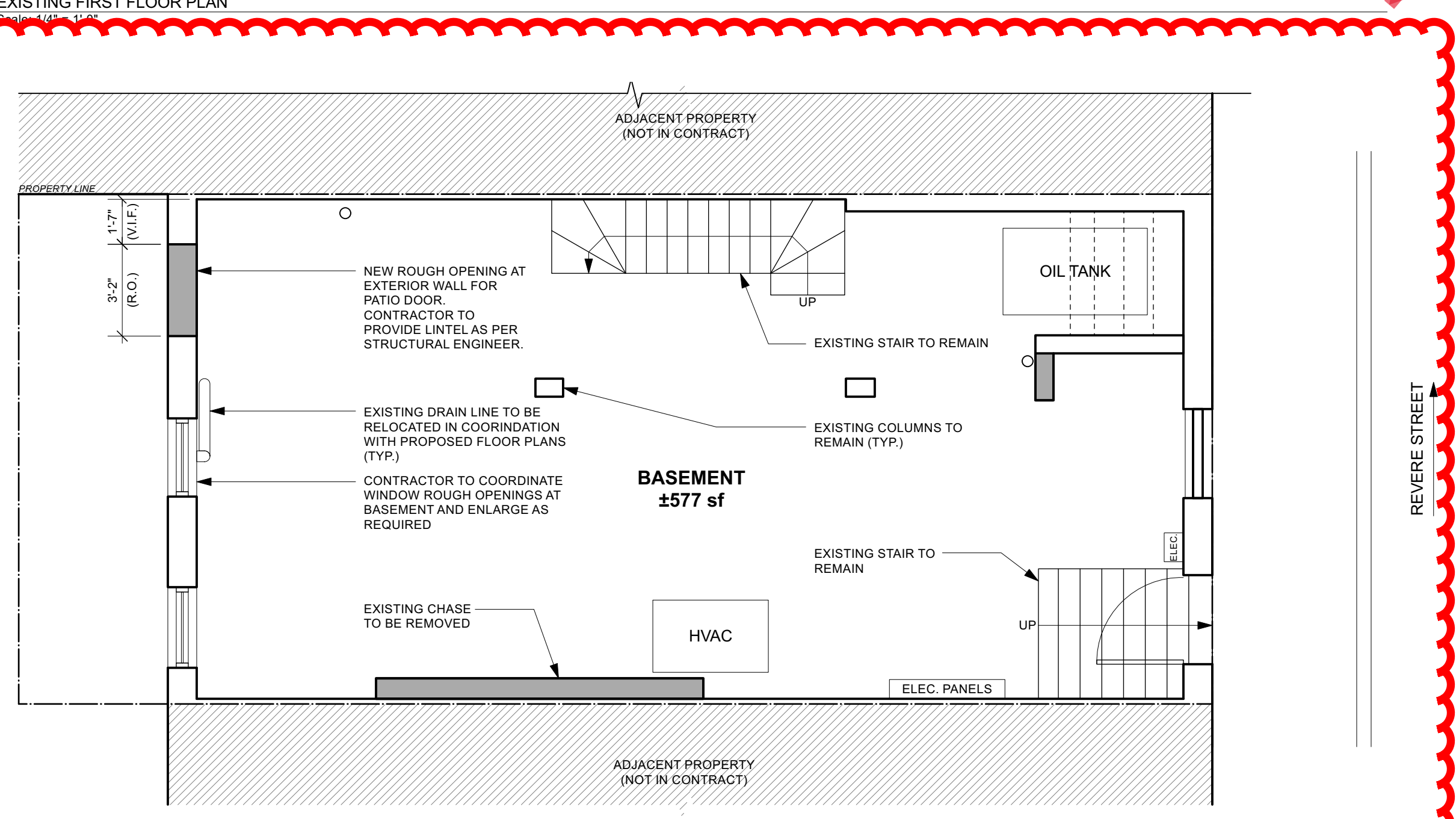
6 EXISTING FIFTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



5 EXISTING FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



1 EXISTING BASEMENT PLAN  
Scale: 1/4" = 1'-0"

**SCOPE OF WORK :** Finish an exiting basement for unit 1 to a one bedroom, a walk in closet and a full bath. ALT1286205 current renovation on going.

**\*Modify Alteration permit issued to now extend living space into the basement area.**

**KEY**  
[Hatched Box] INDICATES DEMOLITION OF WALLS  
[Dotted Box] INDICATES DEMOLITION OF FLOOR ASSEMBLY  
[Solid Box] INDICATES EXISTING TO REMAIN

**ISSUED FOR :**  
PERMIT  
REVISED 04.27.2022

PROJECT DIRECTORY	GENERAL NOTES	CODE	LOCUS MAP																																																																																																																																																																																																																																																																																																																																											
<p><b>OWNER:</b> <b>Dalfior Development Inc.</b> City Hall Mall, Suite 2 Medford, MA 02155</p> <p>Fernando Dalfior 617.661.2000</p> <p><b>ARCHITECT:</b> <b>SOUSA design Architects</b> 81 Boylston Street, 2nd Floor Brookline, MA 02445</p> <p>Attn: Stephen A. Sousa (617) 879-9100</p> <p><b>MECHANICAL ENGINEER:</b> <b>Davidson Engineering Associates</b> 377 Somerville Ave. Somerville, MA 02143</p> <p>Attn: Michael Davidson, P.E. President (617) 775-7250</p> <p><b>STRUCTURAL ENGINEER:</b> <b>Zade Associates LLC</b> 1 Billings Rd. Suite 306 Quincy, MA 02171 617-338-4406</p> <p>Attn: Samantha (617) 338-4406</p>	<ol style="list-style-type: none"> <li>THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECTS OF ALL DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.</li> <li>THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS THAT MAY APPLY TO THE CONSTRUCTION OF THE PROJECT.</li> <li>ALL WORK OF THIS PROJECT SHALL COMPLY WITH ACCEPTED BUILDING PRACTICES AND ALL CODES HAVING JURISDICTION OVER THIS PROJECT.</li> <li>REFER TO LIMITS OF WORK DRAWINGS FOR OVERALL DESCRIPTION OF WORK AREAS.</li> <li>THE GENERAL CONTRACTOR SHALL LEAVE THE PROJECT SITE AND ALL SURROUNDING AREAS IN FINAL CLEAR CONDITION INCLUDING THE REMOVAL OF ALL DEBRIS RESULTING FROM CONSTRUCTION.</li> <li>THE CONTRACTOR SHALL AT ALL TIMES DURING THE PROGRESS OF THE WORK REMOVE ALL CONSTRUCTION DEBRIS AND MAINTAIN A DUST FREE ENVIRONMENT FOR ALL ADJACENT AREAS.</li> <li>THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND VERIFY THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED.</li> <li>THE CONTRACTOR SHALL UTILIZE THE AREAS WITHIN THE SCOPE OF WORK FOR STORAGE OF MATERIALS AND TOOLS.</li> <li>ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER ALL OTHERS. DO NOT SCALE DRAWINGS. IF THERE IS A QUESTION OR CLARIFY IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.</li> <li>VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. THE CONTRACTOR DRAWINGS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK.</li> </ol>	<ol style="list-style-type: none"> <li>DIMENSIONS ARE TO CENTER LINES, EXISTING BUILDING GRID LINES OR TO FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED.</li> <li>ALL GYPSUM WALL BOARD CONSTRUCTION SHALL CONFORM TO RECOMMENDATIONS, PRACTICES, STANDARDS AND INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY IN THE GYPSUM CONSTRUCTION HANDBOOK.</li> <li>ALL FINISHED WORK SHALL BE FREE OF DEFECTS. THE OWNER RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORKMANSHIP WHICH ARE NOT CONSIDERED TO BE AT THE HIGHEST STANDARDS OF THE VARIOUS TRADES INVOLVED.</li> <li>NO CHANGES OR SUBSTITUTIONS ARE ALLOWED UNLESS APPROVED BY THE OWNER.</li> <li>ALL DATA OUTLETS MUST BE ON A DEDICATED, ISOLATED CIRCUIT.</li> <li>ANY MODIFICATION OF THESE CONSTRUCTION DOCUMENTS MUST BE APPROVED BY SOUSA DESIGN IN WRITING.</li> <li>ALL MECHANICAL &amp; PLUMBING SYSTEMS ISSUED AS DESIGN / BUILD CONTRACTS. THE CONTRACTOR IS TO COORDINATE THE SCOPE OF WORK DIRECTLY WITH THE OWNER.</li> <li>CONTRACTOR IS NOT TO MODIFY, REMOVE OR INSTALL ANY STRUCTURAL ELEMENTS WITHOUT THE EXPRESS WRITTEN REVIEW AND CONSENT OF A STRUCTURAL ENGINEER.</li> <li>SPRINKLER / FIRE PROTECTION SCOPE TO BE SUBMITTED FOR PERMIT BY CONTRACTOR.</li> </ol>	<p><b>ZONING SUMMARY: (SEE A-001 FOR MORE INFORMATION)</b></p> <p>ZONING DISTRICT: BOSTON PROPER H-2-65 (APARTMENT RESIDENTIAL SUBDISTRICT) RESTRICTED PARKING DISTRICT HISTORIC BEACON HILL DISTRICT</p> <p><b>NOTE: THERE IS NO CHANGE TO BUILDING FOOTPRINT, AREA OR HEIGHT</b></p> <p><b>USE CATEGORY:</b></p> <p>USE: R-3 (TWO FAMILY); FORMERLY R-2 MULTI-FAMILY RESIDENTIAL CONSTRUCTION TYPE: (3B) RESIDENTIAL</p> <p><b>FIRE RESISTANCE OF BUILDING ELEMENTS:</b></p> <table border="0"> <tr><td>PRIMARY STRUCTURE</td><td>0 HR</td></tr> <tr><td>EXTERIOR BEARING WALLS</td><td>2 HR</td></tr> <tr><td>INTERIOR BEARING WALLS</td><td>0 HR</td></tr> <tr><td>INTERIOR NONLOADING WALLS</td><td>0 HR</td></tr> <tr><td>FLOOR CONSTRUCTION</td><td>0 HR</td></tr> <tr><td>ROOF CONSTRUCTION</td><td>0 HR</td></tr> </table> <p><b>BUILDING CODE:</b></p> <p>WORK TO BE COMPLETED IN ACCORDANCE TO:</p> <p>IBC - International Building Code 2015 IRC - International Residential Code 2015 IEBC - International Existing Building Code 2015 IMC - International Mechanical Code 2015 IECC - International Energy Conservation Code 2015 IFC - International Fire Code 2015 NEC - National Electric Code 2020 780 CMR - MA Amendments to the IBC 527 CMR - MA fire prevention and electrical regulations 248 CMR - MA plumbing regulations</p> <p><b>*NOTE BUILDING TO BE FULLY SPRINKLERED*</b></p>	PRIMARY STRUCTURE	0 HR	EXTERIOR BEARING WALLS	2 HR	INTERIOR BEARING WALLS	0 HR	INTERIOR NONLOADING WALLS	0 HR	FLOOR CONSTRUCTION	0 HR	ROOF CONSTRUCTION	0 HR																																																																																																																																																																																																																																																																																																																															
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<p><b>ARCHITECTURAL:</b></p> <p>A-000 COVER PAGE A-001 ZONING SUMMARY</p> <p>D-100 EXISTING PLANS</p> <p>A-100 BASEMENT &amp; FIRST FLOOR CONSTRUCTION PLANS A-101 SECOND &amp; THIRD FLOOR CONSTRUCTION PLANS A-102 FOURTH &amp; FIFTH FLOOR CONSTRUCTION PLANS A-103 ROOF DECK &amp; ROOF PLAN</p> <p>AE-100 BASEMENT &amp; FIRST FLOOR ELECTRICAL PLANS AE-101 SECOND &amp; THIRD FLOOR ELECTRICAL PLANS AE-102 FOURTH, FIFTH &amp; ROOF DECK ELECTRICAL PLANS</p> <p>A-300 PROPOSED FRONT ELEVATION A-301 BUILDING SECTION</p> <p>A-400 DECK DETAILS A-500 DETAILS</p> <p>A-600 DOOR AND WINDOW SCHEDULES</p> <p>SP-100 PROPOSED SITE PLAN</p> <p><b>STRUCTURAL:</b></p> <p>S0.0 STRUCTURAL NOTES AND SPECS S1.0 STRUCTURAL FLOOR PLANS S2.0 STRUCTURAL SECTIONS AND DETAILS</p> <p><b>MECHANICAL:</b></p> <p>H-100 BASEMENT &amp; FIRST FLOOR HVAC PLANS H-101 BASEMENT &amp; FIRST FLOOR HVAC PLANS H-200 HVAC NOTES H-201 HVAC SCHEDULES H-202 HVAC DETAILS H-203 HVAC DETAILS</p> <p><b>ELECTRICAL:</b></p> <p>E-100 POWER FLOOR PLANS E-101 POWER FLOOR PLANS E-102 POWER FLOOR PLANS E-103 POWER FLOOR PLANS</p> <p>E-200 LIGHTING PLANS E-201 LIGHTING PLANS</p>	<p><b>ELECTRICAL (cont):</b></p> <p>E-202 LIGHTING PLANS E-203 LIGHTING PLANS</p> <p>E-300 ELECTRICAL NOTES E-301 ELECTRICAL NOTES AND RISER</p> <p><b>PLUMBING:</b></p> <p>P-100 BASEMENT &amp; FIRST FLOOR PLUMBING PLANS P-101 BASEMENT &amp; FIRST FLOOR PLUMBING PLANS P-200 PLUMBING NOTES P-201 PLUMBING NOTES AND SCHEDULES P-202 PLUMBING DETAILS P-203 PLUMBING DETAILS P-204 PLUMBING RISERS</p> <p><b>FIRE ALARM:</b></p> <p>FA-100 FIRE ALARM PLANS FA-101 FIRE ALARM PLANS FA-102 FIRE ALARM PLANS FA-200 FIRE ALARM NOTES</p> <p><b>FIRE PROTECTION:</b></p> <p>FP-100 BASEMENT &amp; FIRST FLOOR FIRE PROTECTION PLANS FA-101 BASEMENT &amp; FIRST FLOOR FIRE PROTECTION PLANS FA-200 FIRE PROTECTION NOTES FA-201 FIRE PROTECTION DETAILS</p> <p><b>PROJECT DESCRIPTION</b></p> <p>SCOPE OF WORK INCLUDES COMPLETE INTERIOR RENOVATIONS OF EXISTING 5-STORY MULTIFAMILY APARTMENT. AS PART OF THE RENOVATION, THE NUMBER OF UNITS WILL BE REDUCED FROM FOUR TO TWO RESIDENTIAL DWELLINGS (CHANGE OF USE FROM R-3 TO R-2). SCOPE OF WORK ALSO INCLUDES FINISHING THE EXISTING BASEMENT AND BUILDING A NEW DECK AT THE REAR OF THE FOURTH FLOOR ON THE EXISTING LOWER ROOF.</p> <p>NOTE: THERE IS NO CHANGE TO BUILDING EXTERIOR ON REVERE STREET AND NO PROPOSED CHANGES TO BUILDING AREA OR HEIGHT.</p>	<p><b>GRAPHIC &amp; MATERIAL SYMBOLS</b></p> <table border="0"> <tr><td></td><td>ELEVATION REFERENCE</td><td></td><td>CONCRETE</td></tr> <tr><td></td><td>BUILDING CROSS SECTION</td><td></td><td>EARTH</td></tr> <tr><td></td><td>DOOR NUMBER</td><td></td><td>BATT INSULATION</td></tr> <tr><td></td><td>ROOM NUMBER</td><td></td><td>GRAVEL</td></tr> <tr><td></td><td>WINDOW NUMBER</td><td></td><td>WOOD</td></tr> <tr><td></td><td>ELEVATION DESIGNATION</td><td></td><td>DRYWALL</td></tr> <tr><td></td><td>SECTION REFERENCE</td><td></td><td>TILE</td></tr> <tr><td></td><td>NEW DOOR TO BE INSTALLED</td><td></td><td>STEEL</td></tr> <tr><td></td><td>EXISTING DOOR TO REMAIN</td><td></td><td></td></tr> <tr><td></td><td>PARTITION TYPE</td><td></td><td></td></tr> <tr><td></td><td>EXISTING CONSTRUCTION</td><td></td><td></td></tr> <tr><td></td><td>NEW CONSTRUCTION</td><td></td><td></td></tr> <tr><td></td><td>BLOCKING</td><td></td><td></td></tr> </table>		ELEVATION REFERENCE		CONCRETE		BUILDING CROSS SECTION		EARTH		DOOR NUMBER		BATT INSULATION		ROOM NUMBER		GRAVEL		WINDOW NUMBER		WOOD		ELEVATION DESIGNATION		DRYWALL		SECTION REFERENCE		TILE		NEW DOOR TO BE INSTALLED		STEEL		EXISTING DOOR TO REMAIN				PARTITION TYPE				EXISTING CONSTRUCTION				NEW CONSTRUCTION				BLOCKING			<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr><td>@</td><td>AT</td><td>GC</td><td>GENERAL CONTRACTOR</td></tr> <tr><td>AFF</td><td>ABOVE FINISH FLOOR</td><td>GL</td><td>GLASS OR GLAZING</td></tr> <tr><td>ATTEN</td><td>ATTENUATING</td><td>GWB</td><td>GYPSUM WALL BOARD</td></tr> <tr><td>BLDG</td><td>BUILDING</td><td>HC</td><td>HOLLOW CORE</td></tr> <tr><td>CH</td><td>CEILING HEIGHT</td><td>HDWR</td><td>HARDWARE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>HM</td><td>HOLLOW METAL</td></tr> <tr><td>CLR</td><td>CLEAR</td><td>HOR</td><td>HORIZONTAL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>HT</td><td>HEIGHT</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>HVAC</td><td>HEATING, VENT, A/C</td></tr> <tr><td>CONT</td><td>CONTINUOUS</td><td>HWH</td><td>HOT WATER HEATER</td></tr> <tr><td>CPT</td><td>CARPET</td><td>INSUL</td><td>INSULATION</td></tr> <tr><td>CT</td><td>CERAMIC TILE</td><td>INT</td><td>INTERIOR</td></tr> <tr><td>DIM</td><td>DIMENSION</td><td>L</td><td>LENGTH</td></tr> <tr><td>DWG(S)</td><td>DRAWING(S)</td><td>LAV</td><td>LAVATORY</td></tr> <tr><td>EA</td><td>EACH</td><td>LH</td><td>LEFT HAND(ED)</td></tr> <tr><td>EIFS</td><td>EXT INSUL. FINISH SYSTEM</td><td>MAX</td><td>MAXIMUM</td></tr> <tr><td>ELEC</td><td>ELECTRICAL</td><td>MECH</td><td>MECHANICAL</td></tr> <tr><td>ELEV</td><td>ELEVATION</td><td>MFR</td><td>MANUFACTURER</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>MD</td><td>MEDIUM DENSITY</td></tr> <tr><td>EWC</td><td>ELECTRICAL WATER COOLER</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>EXT</td><td>EXTERIOR</td><td>MO</td><td>MASONRY OPENING</td></tr> <tr><td>FC</td><td>FIRE CODE / FIRE CORE</td><td>MTL</td><td>METAL</td></tr> <tr><td>FD</td><td>FLOOR DRAIN</td><td>NIC</td><td>NOT IN CONTRACT</td></tr> <tr><td>FEC</td><td>FIRE EXTINGUISHER CABINET</td><td>NL</td><td>NIGHT LIGHT</td></tr> <tr><td>FF</td><td>FINISHED FLOOR</td><td>NOM</td><td>NOMINAL</td></tr> <tr><td>FFE</td><td>FINISHED FLOOR ELEVATION</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>FIN</td><td>FINISH</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>FFL</td><td>FLUORESCENT LIGHTING</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>FOF</td><td>FACE OF FINISH</td><td>OH</td><td>OPPOSITE HANDED</td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FRT</td><td>FIRE RETARDANT TREATED</td><td></td><td></td></tr> <tr><td>P LAM</td><td>PLASTIC LAMINATE</td><td></td><td></td></tr> <tr><td>PLYWD</td><td>PLYWOOD</td><td></td><td></td></tr> <tr><td>PT</td><td>PRESSURE TREATED</td><td></td><td></td></tr> <tr><td>PR</td><td>PAIR</td><td></td><td></td></tr> <tr><td>PT</td><td>PAINTED</td><td></td><td></td></tr> <tr><td>QT</td><td>QUARRY TILE</td><td></td><td></td></tr> <tr><td>R</td><td>RISER</td><td></td><td></td></tr> <tr><td>RAD</td><td>RADIUS</td><td></td><td></td></tr> <tr><td>REQ</td><td>REQUIRED</td><td></td><td></td></tr> <tr><td>REF</td><td>REFERENCE</td><td></td><td></td></tr> <tr><td>REV</td><td>REVISION(S)</td><td></td><td></td></tr> <tr><td>RH</td><td>RIGHT HAND(ED)</td><td></td><td></td></tr> <tr><td>RO</td><td>ROUGH OPENING</td><td></td><td></td></tr> <tr><td>RTU</td><td>ROOF TOP UNIT</td><td></td><td></td></tr> <tr><td>SA</td><td>SOUND ATTENTION BATTS</td><td></td><td></td></tr> <tr><td>SD</td><td>SMOKE DETECTORS</td><td></td><td></td></tr> <tr><td>SIM</td><td>SIMILAR</td><td></td><td></td></tr> <tr><td>SPEC</td><td>SPECIFICATION</td><td></td><td></td></tr> <tr><td>SQ</td><td>SQUARE</td><td></td><td></td></tr> <tr><td>SQ FT</td><td>SQUARE FEET</td><td></td><td></td></tr> <tr><td>SS</td><td>STAINLESS STEEL</td><td></td><td></td></tr> <tr><td>STL</td><td>STEEL</td><td></td><td></td></tr> <tr><td>STN</td><td>STAIN</td><td></td><td></td></tr> <tr><td>SV</td><td>SHEET VINYL</td><td></td><td></td></tr> <tr><td>T</td><td>TREAD</td><td></td><td></td></tr> <tr><td>THK</td><td>THICKNESS</td><td></td><td></td></tr> <tr><td>TP</td><td>TOILET PAPER DISPENSER</td><td></td><td></td></tr> <tr><td>TYP</td><td>TYPICAL</td><td></td><td></td></tr> <tr><td>UNO</td><td>UNLESS NOTED OTHERWISE</td><td></td><td></td></tr> <tr><td>VCT</td><td>VINYL COMPOSITION TILE</td><td></td><td></td></tr> <tr><td>VIF</td><td>VERIFY IN FIELD</td><td></td><td></td></tr> <tr><td>VTR</td><td>VENT THROUGH ROOF</td><td></td><td></td></tr> <tr><td>W/</td><td>WITH</td><td></td><td></td></tr> <tr><td>WC</td><td>WATER CLOSET</td><td></td><td></td></tr> <tr><td>WD</td><td>WOOD</td><td></td><td></td></tr> <tr><td>X-REF</td><td>CROSS REFERENCE</td><td></td><td></td></tr> </table>	@	AT	GC	GENERAL CONTRACTOR	AFF	ABOVE FINISH FLOOR	GL	GLASS OR GLAZING	ATTEN	ATTENUATING	GWB	GYPSUM WALL BOARD	BLDG	BUILDING	HC	HOLLOW CORE	CH	CEILING HEIGHT	HDWR	HARDWARE	CL	CENTER LINE	HM	HOLLOW METAL	CLR	CLEAR	HOR	HORIZONTAL	COL	COLUMN	HT	HEIGHT	CONC	CONCRETE	HVAC	HEATING, VENT, A/C	CONT	CONTINUOUS	HWH	HOT WATER HEATER	CPT	CARPET	INSUL	INSULATION	CT	CERAMIC TILE	INT	INTERIOR	DIM	DIMENSION	L	LENGTH	DWG(S)	DRAWING(S)	LAV	LAVATORY	EA	EACH	LH	LEFT HAND(ED)	EIFS	EXT INSUL. 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INDICATES GROSS AREA

67 REVERE STREET

67 Revere Street  
Boston, MA 02114

**UNIT / BUILDING SUMMARY**

	GROSS AREA
BASEMENT	± 444 sf
1ST FLOOR	± 613 sf
2ND FLOOR	± 636 sf
3RD FLOOR	± 636 sf
4TH FLOOR	± 446 sf
5TH FLOOR	± 465 sf

**TOTAL ± 3,240 sf**

**ZONING SUMMARY**

PARCEL ID:	0502014000
LOT SIZE:	±732 (per assessors)
ZONING DISTRICT:	BOSTON PROPER
ZONING SUBDISTRICT:	H-2-65
ALLOWABLE FAR:	2.0

EXISTING FLOOR AREA	± 3,240 sf (gross)
EXISTING FAR	4.4
PROPOSED FLOOR AREA	± 3,240 sf (gross)
EXISTING FAR	4.4

ALLOWABLE HEIGHT:	65'
PROPOSED HEIGHT:	±59'-10"

**NOTE: THERE IS NO CHANGE IN GROSS SQUARE FOOTAGE FROM THE EXISTING TO PROPOSED PLANS.**

**NOTE: THERE IS NO CHANGE TO THE EXISTING BUILDING FOOTPRINT, ALL EXISTING SETBACKS TO REMAIN.**

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**ISSUED FOR:**  
PERMIT  
REVISED 04.27.2022

**SOUSA design**  
Architects

81 Baylston Street, 2nd Floor  
Brookline, MA 02445  
617-879-9100



Job # 202114

Drawn by TB Ckd by DMG

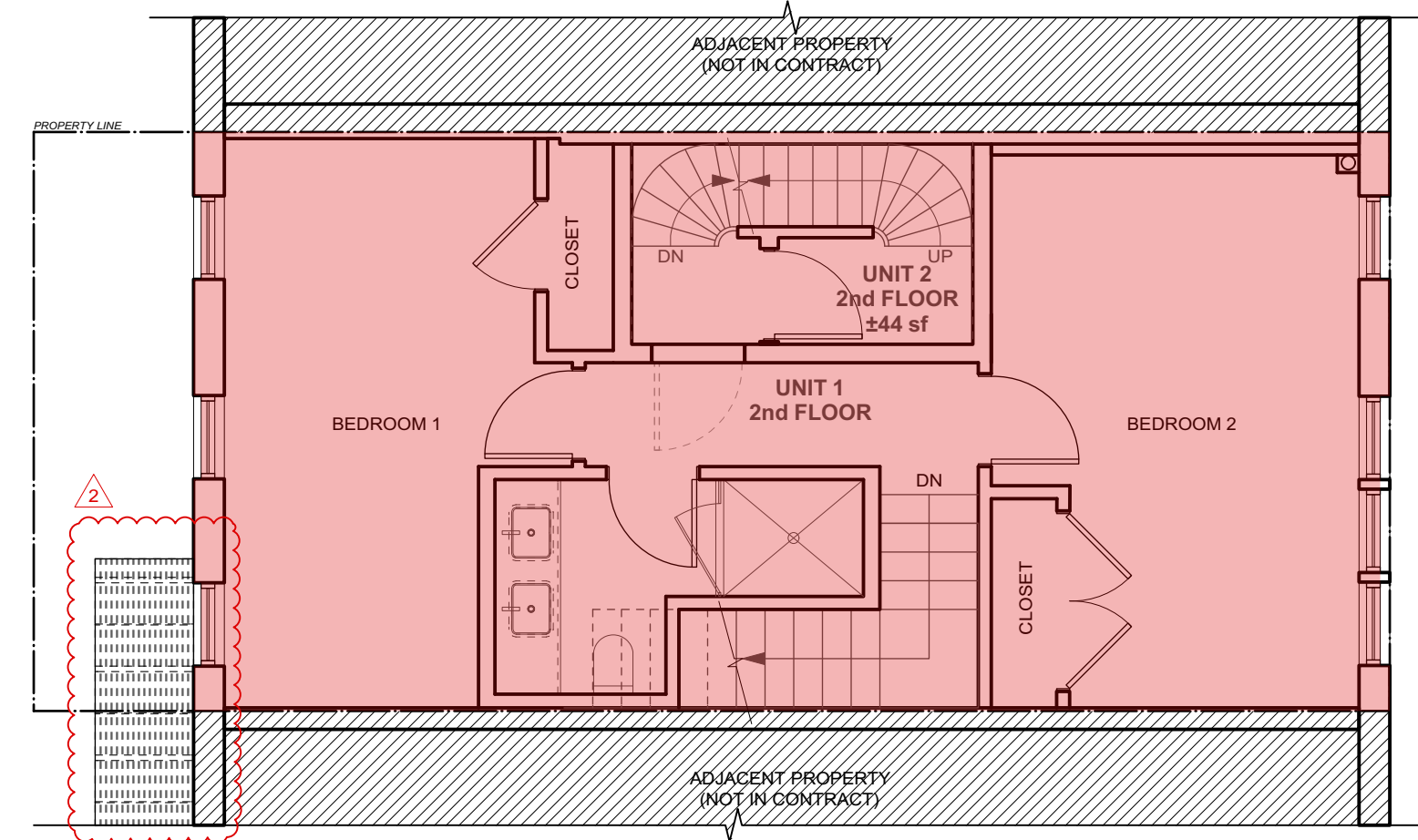
Date 04.27.2022

**Revisions**

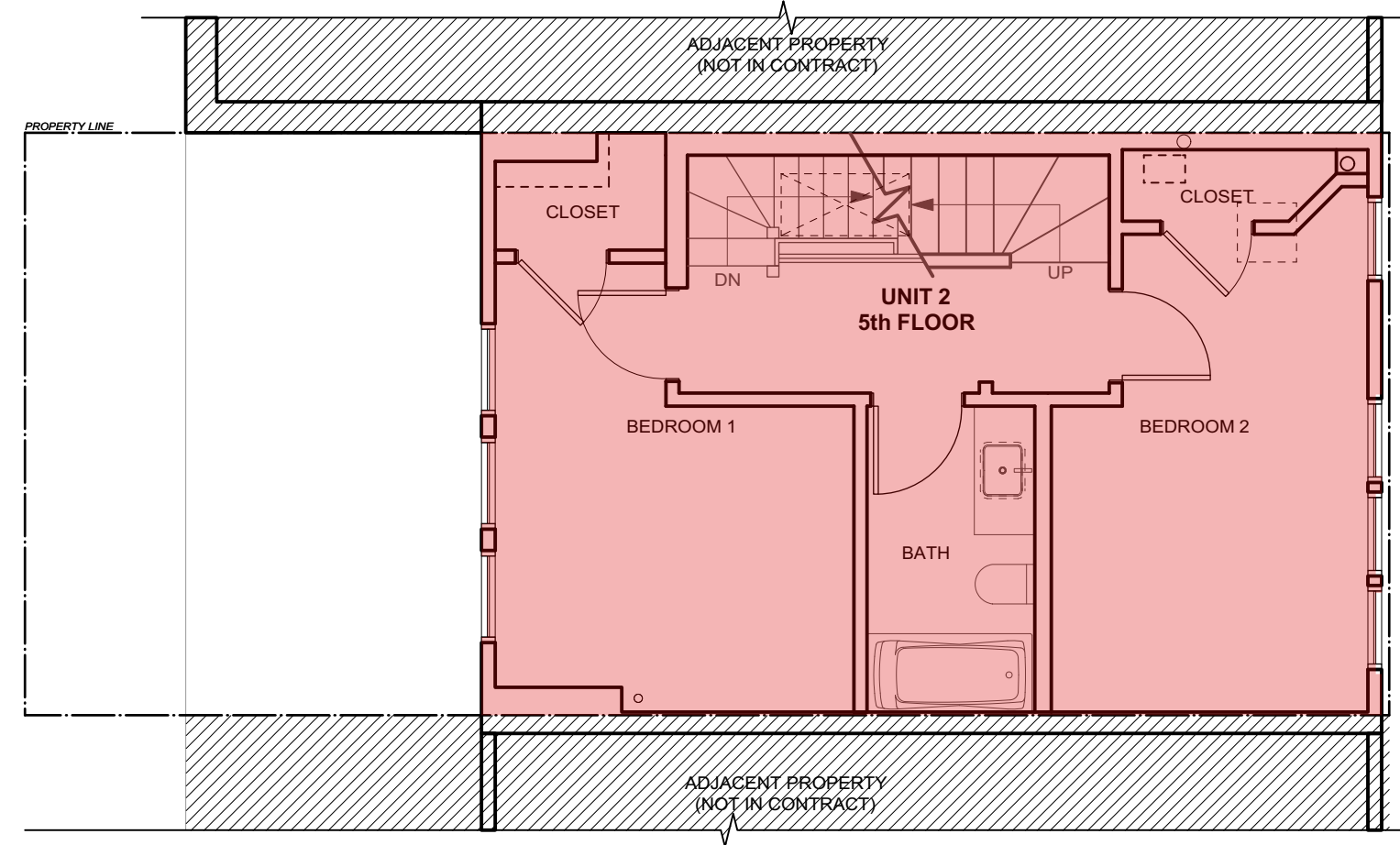
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02	PLAN REVIEW	04.27.2022

**ZONING SUMMARY**

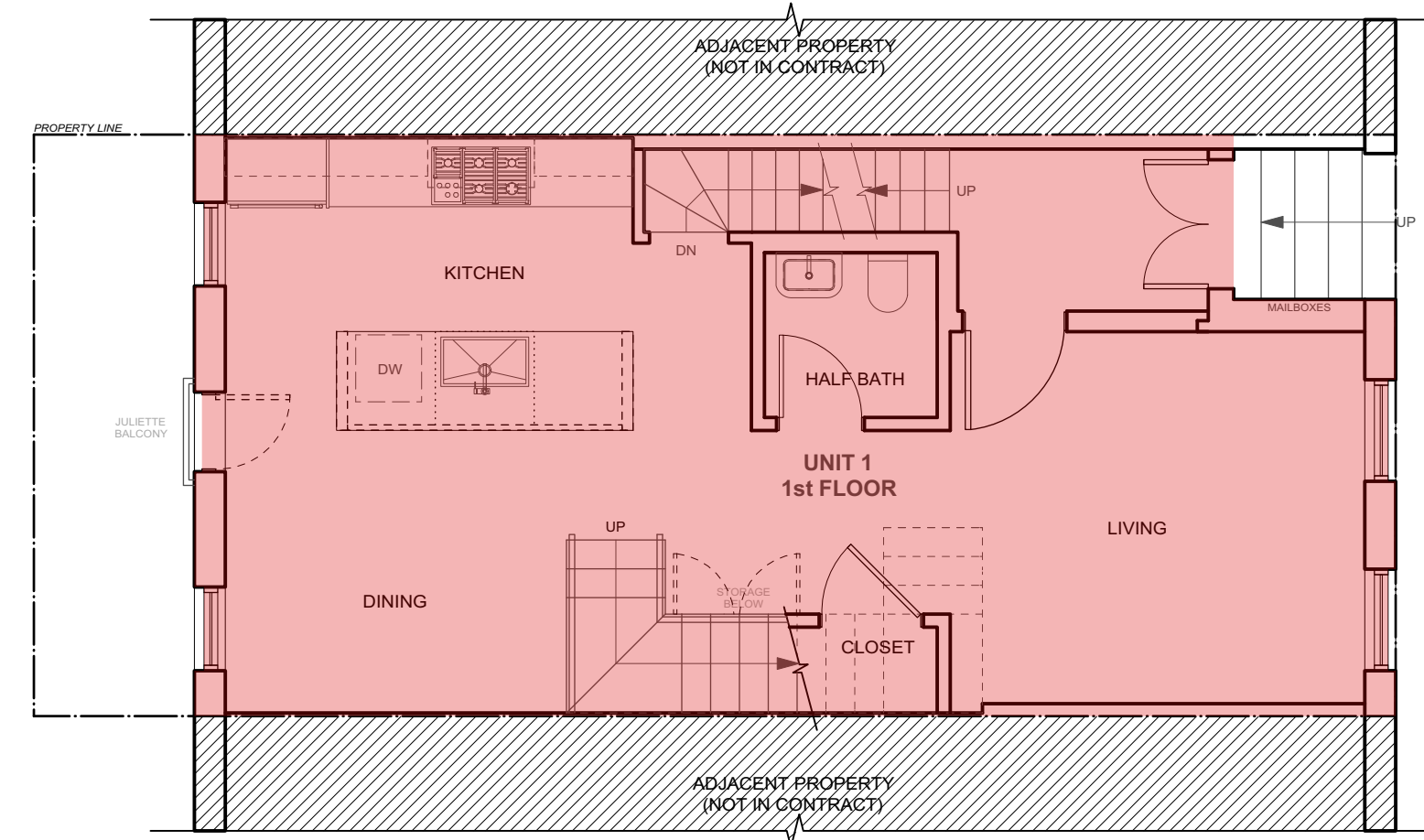
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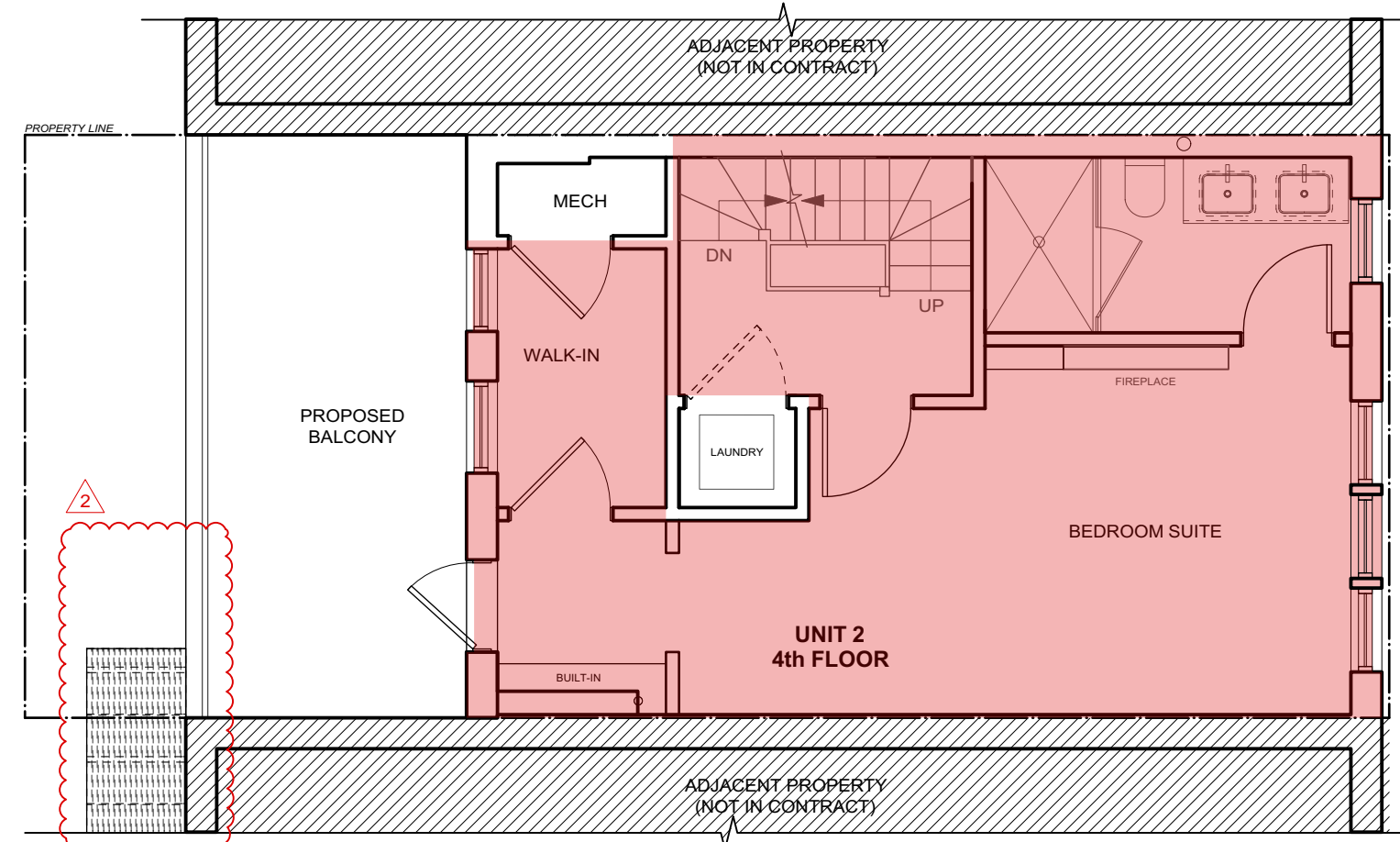
2 SECOND FLOOR PLAN  
Scale: 3/16" = 1'-0" **636 SF**



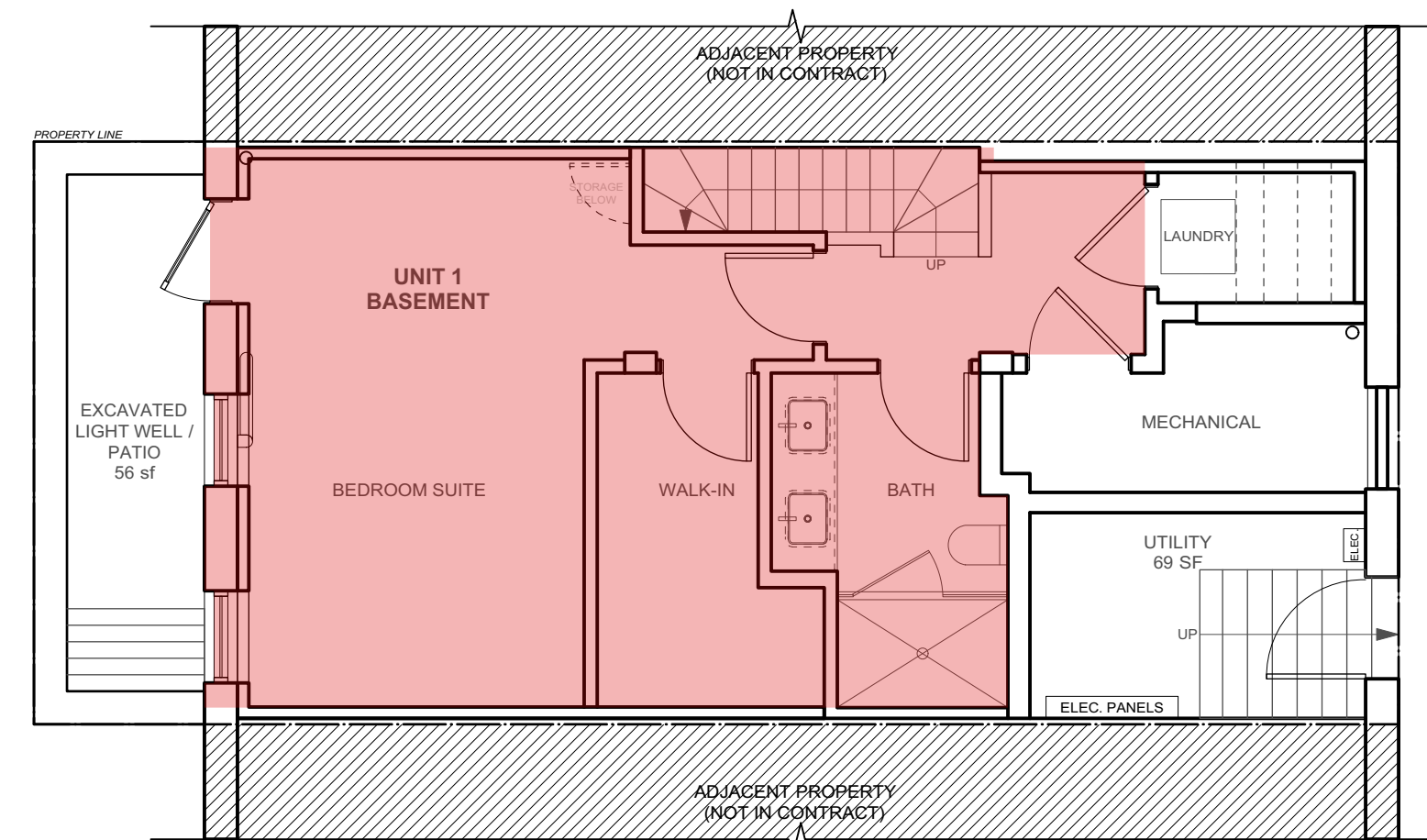
5 FIFTH FLOOR PLAN  
Scale: 3/16" = 1'-0" **465 SF**



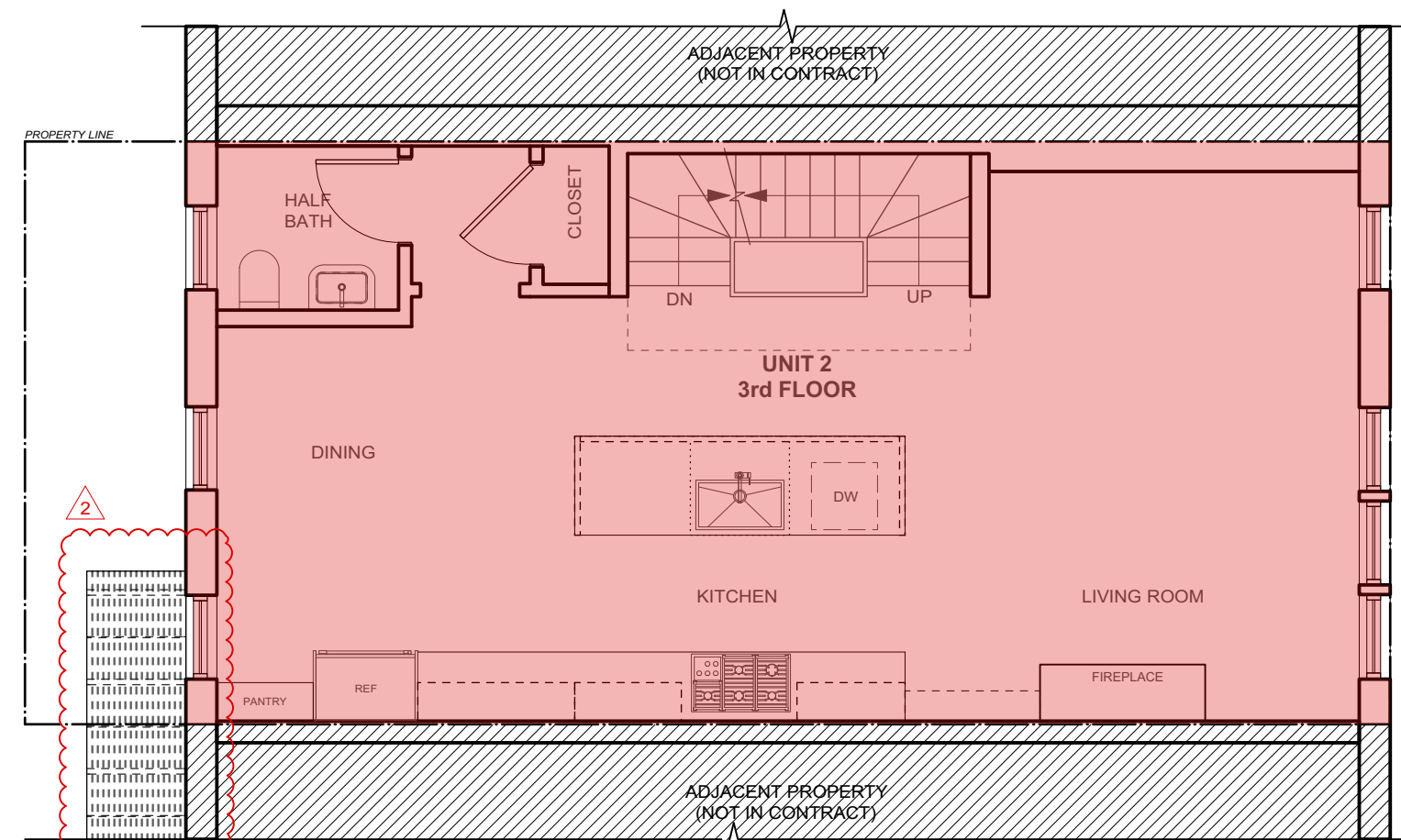
1 FIRST FLOOR PLAN  
Scale: 3/16" = 1'-0" **613 SF**



4 FOURTH FLOOR PLAN  
Scale: 3/16" = 1'-0" **446 SF**



0 BASEMENT PLAN  
Scale: 3/16" = 1'-0" **444 SF**



3 THIRD FLOOR PLAN  
Scale: 3/16" = 1'-0" **636 SF**



**NOTE:** EXISTING PLANS ARE PROVIDED FOR REFERENCE ONLY. SCOPE OF WORK INCLUDES ENTIRE GUT RENOVATION INCLUDING REMOVABLE OF INTERIOR NON-LOAD BEARING WALLS IN COORDINATION WITH PROPOSED FLOOR PLANS. AS SUCH, NOT ALL EXISTING NON-LOADBEARING INTERIOR PARTITIONS ARE SHOWN. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS NOT TO PERFORM ANY EXISTING STRUCTURAL ELEMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF STRUCTURAL ENGINEER.

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PERMIT  
REVISED 04.27.2022

**SOUSA design**  
Architects

81 Boylston Street, 2nd Floor  
Brookline, MA 02445  
617. 679. 9100



Job # 202114

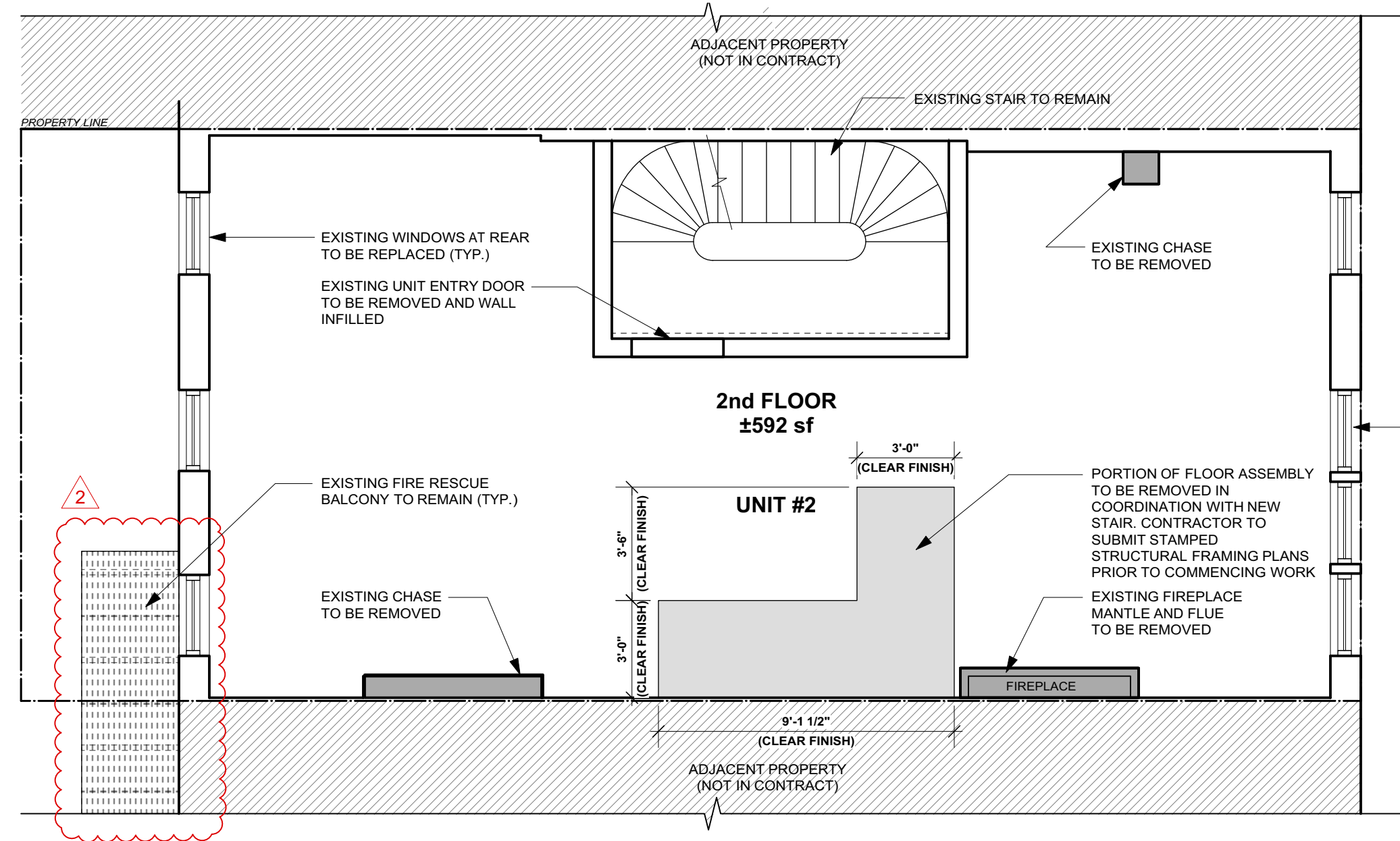
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Date 04.27.2022

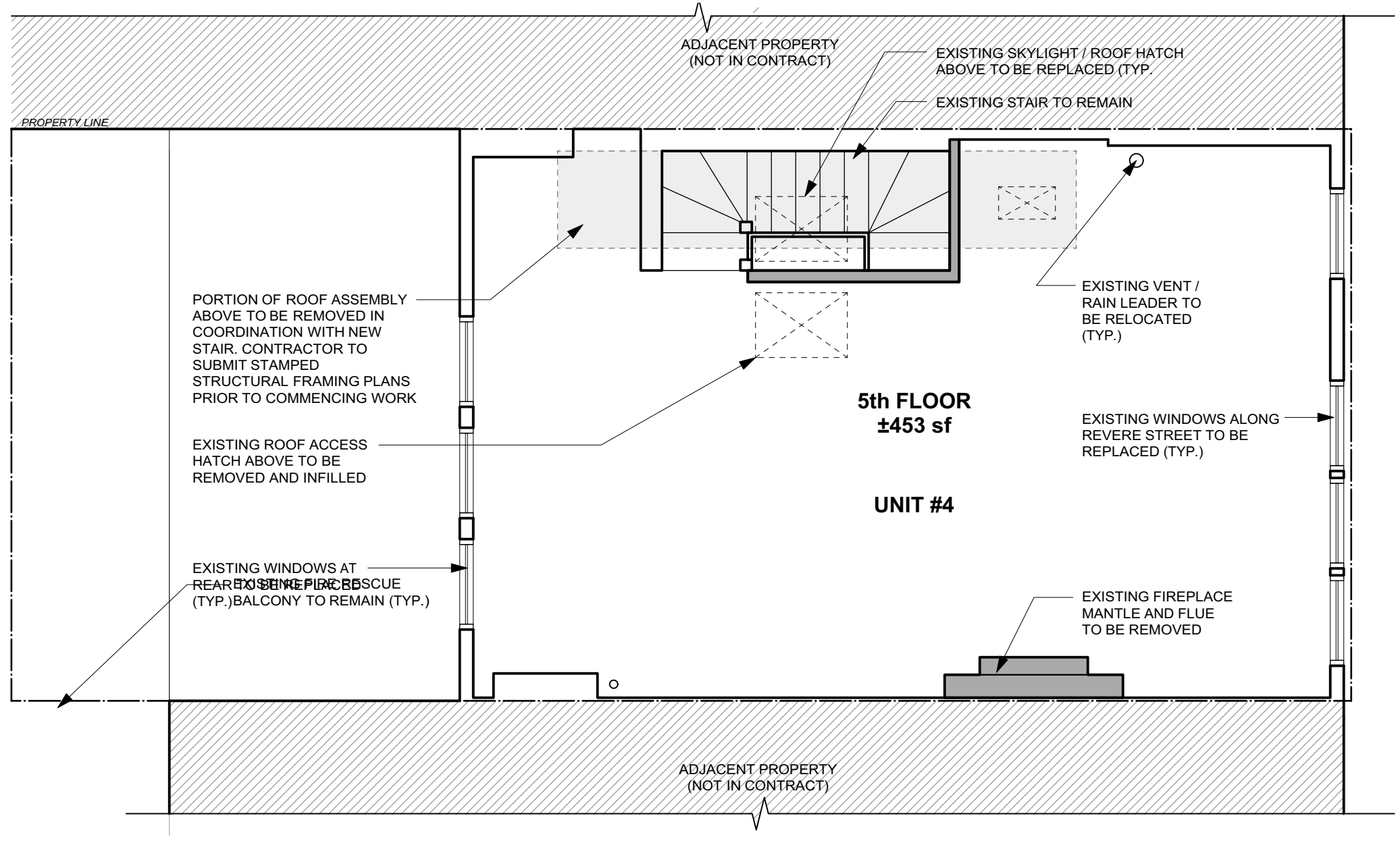
Revisions	
01	FRONT WINDOWS 12.15.2021
02	PLAN REVIEW 04.27.2022

**EXISTING PLANS**

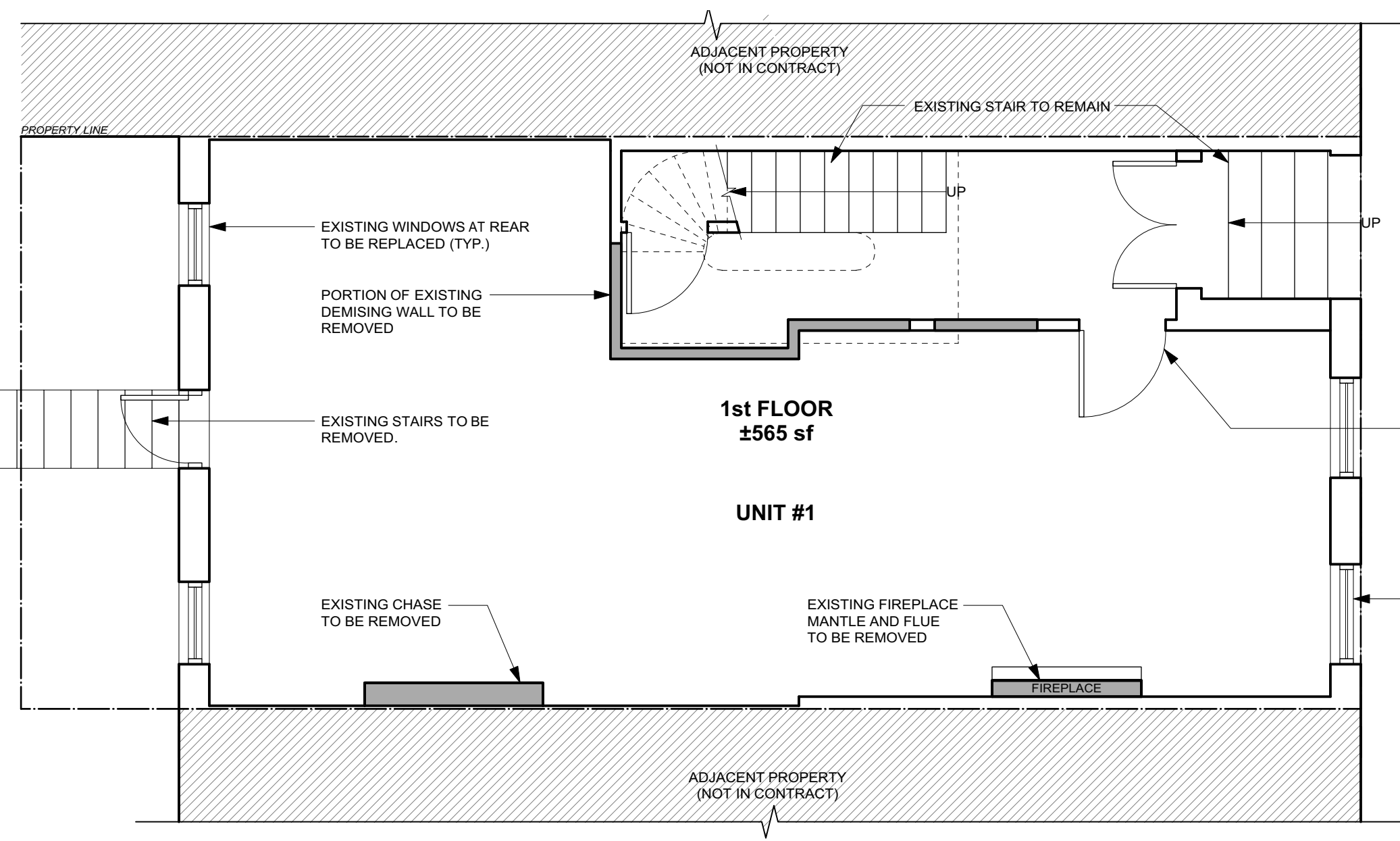
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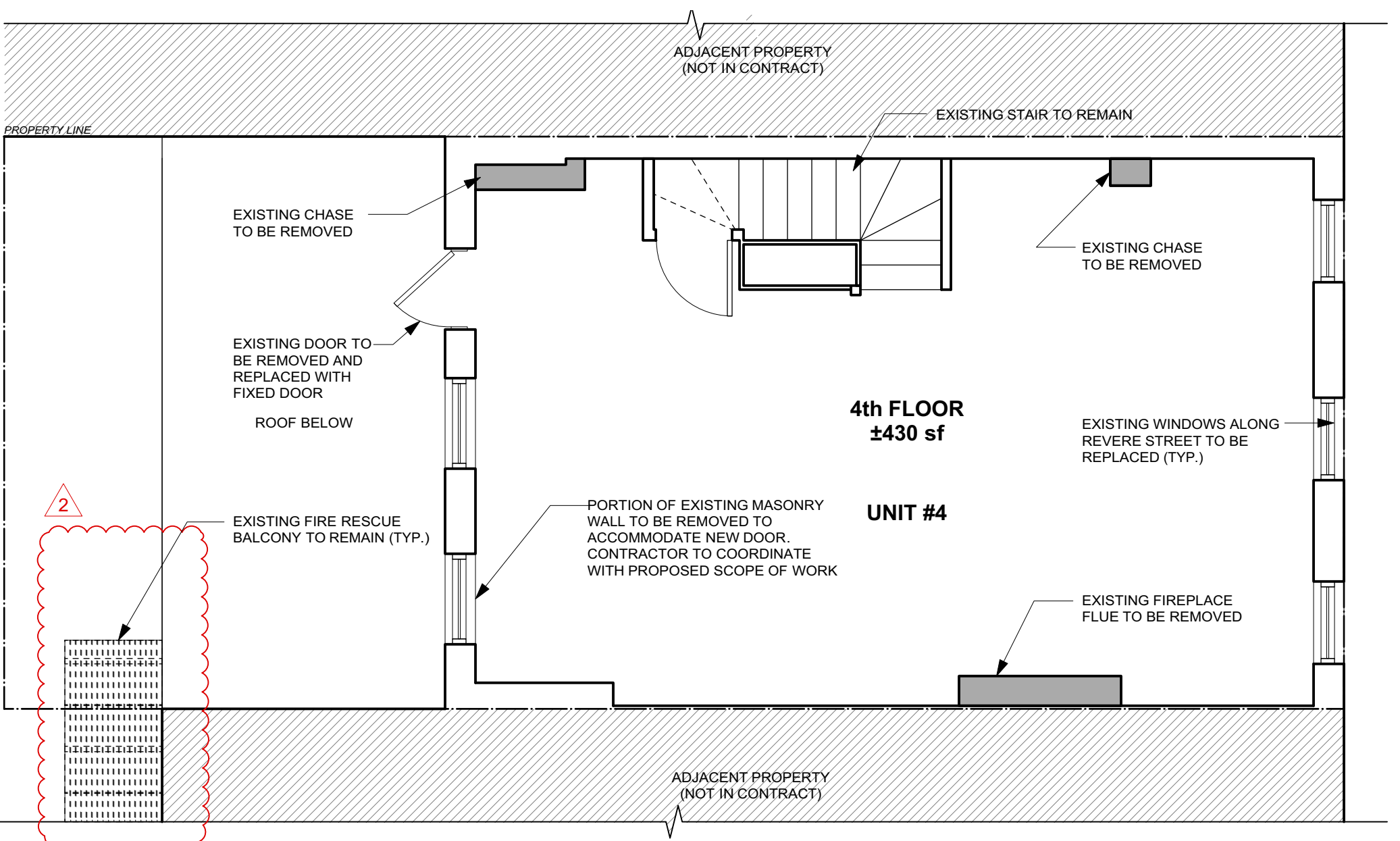
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Scale: 1/4" = 1'-0"



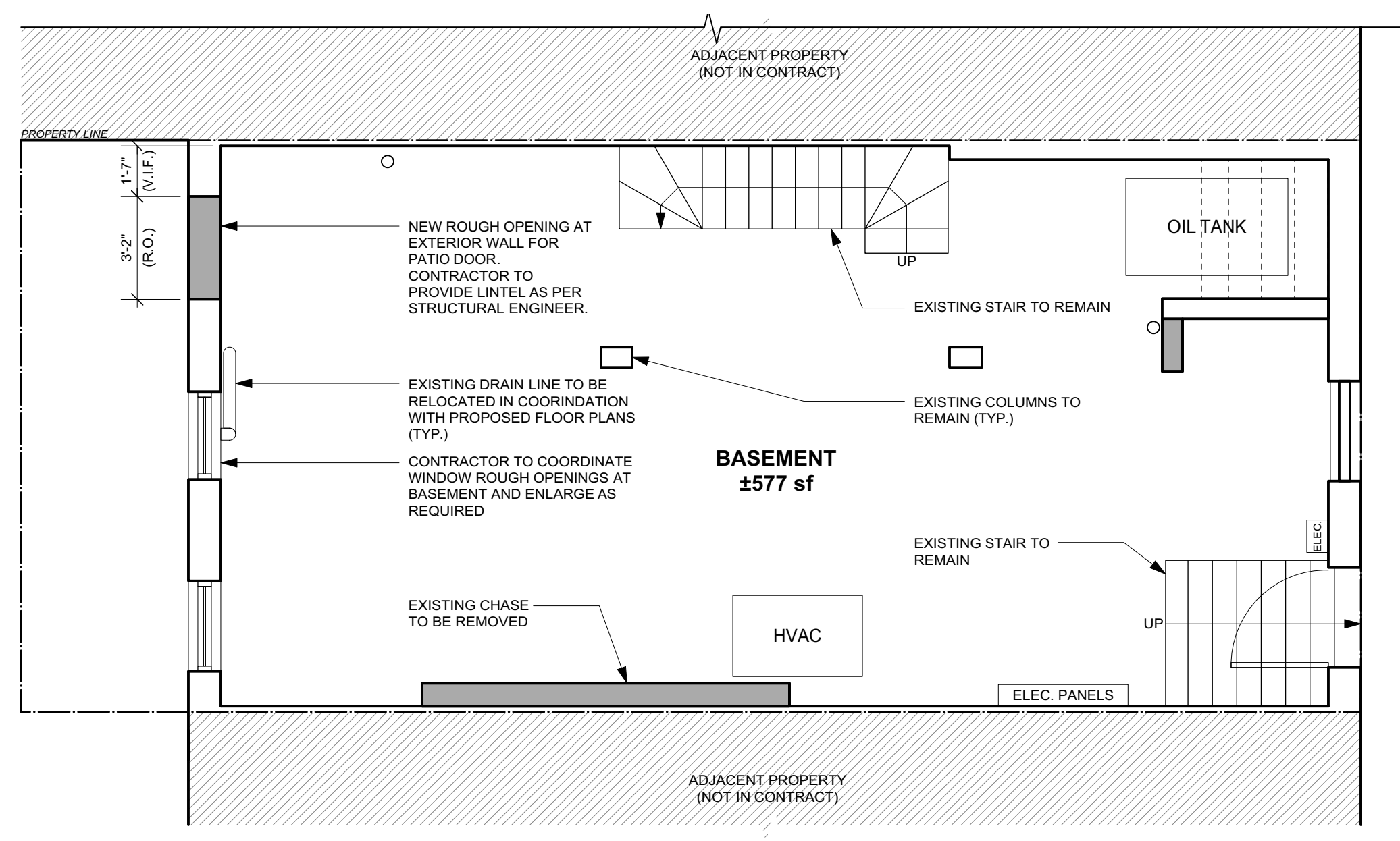
6 EXISTING FIFTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



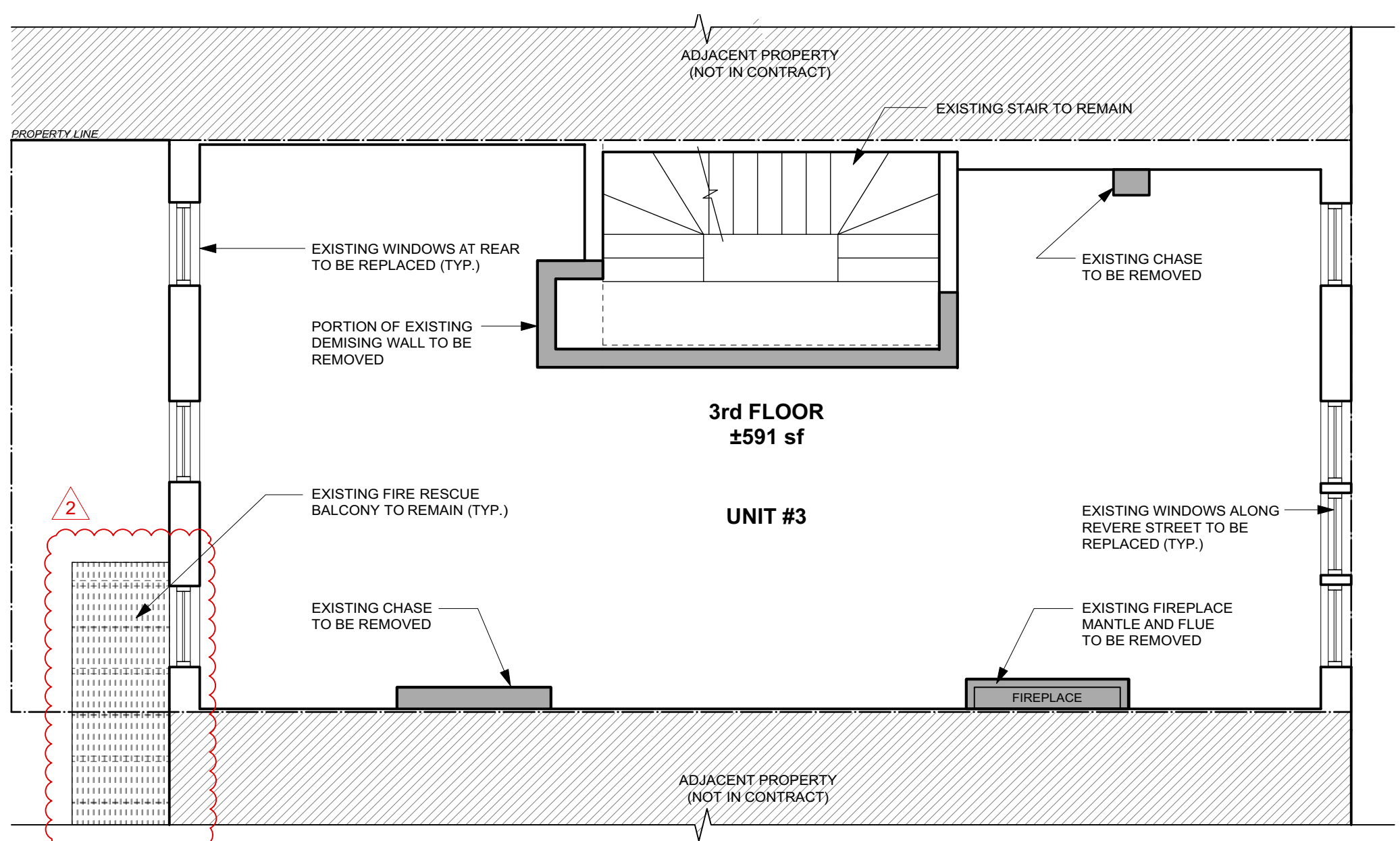
2 EXISTING FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



5 EXISTING FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



1 EXISTING BASEMENT PLAN  
Scale: 1/4" = 1'-0"



4 EXISTING THIRD FLOOR PLAN  
Scale: 1/4" = 1'-0"

**KEY**

- INDICATES NEW WALL CONSTRUCTION
- INDICATES EXISTING TO REMAIN

**NOTES:**

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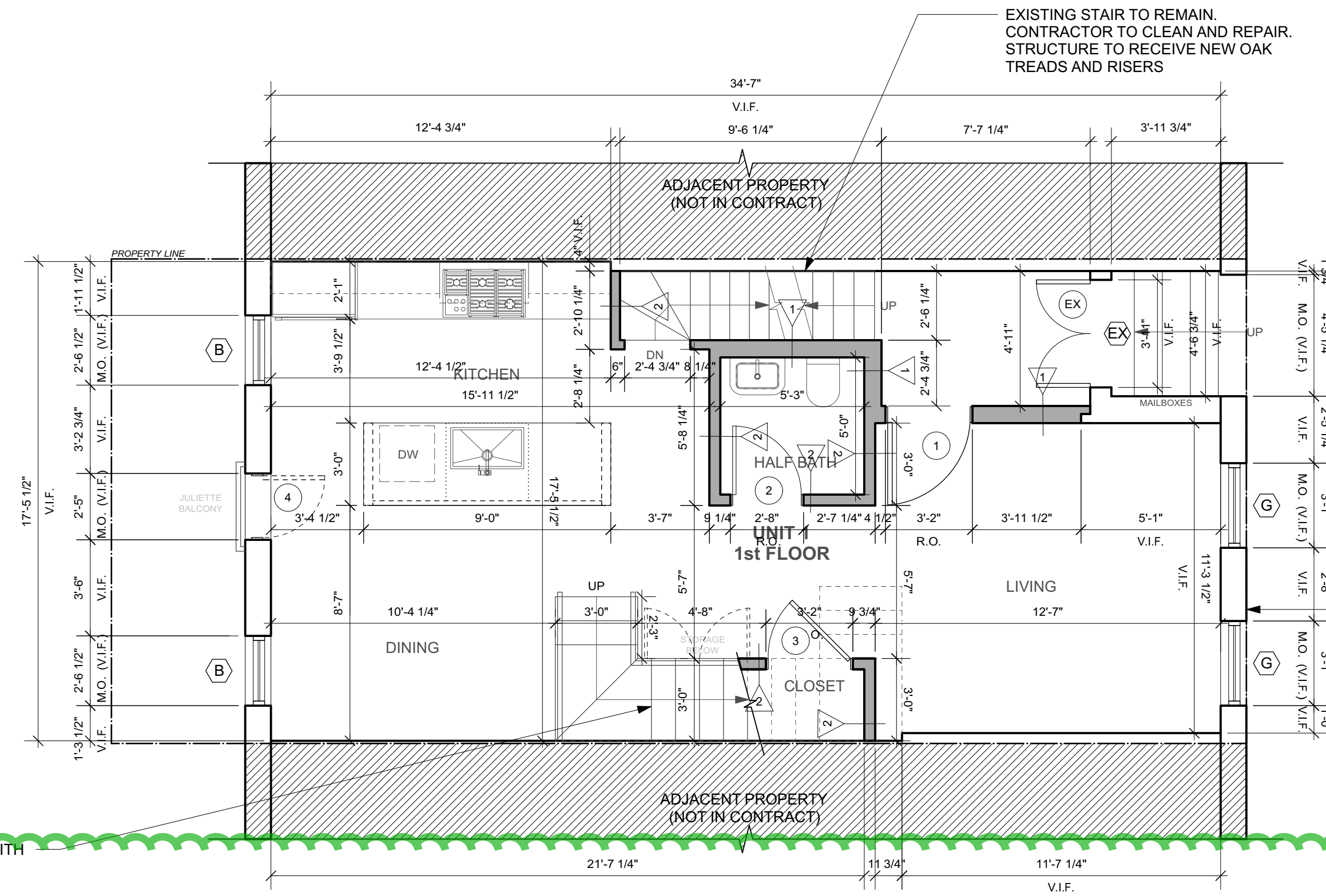
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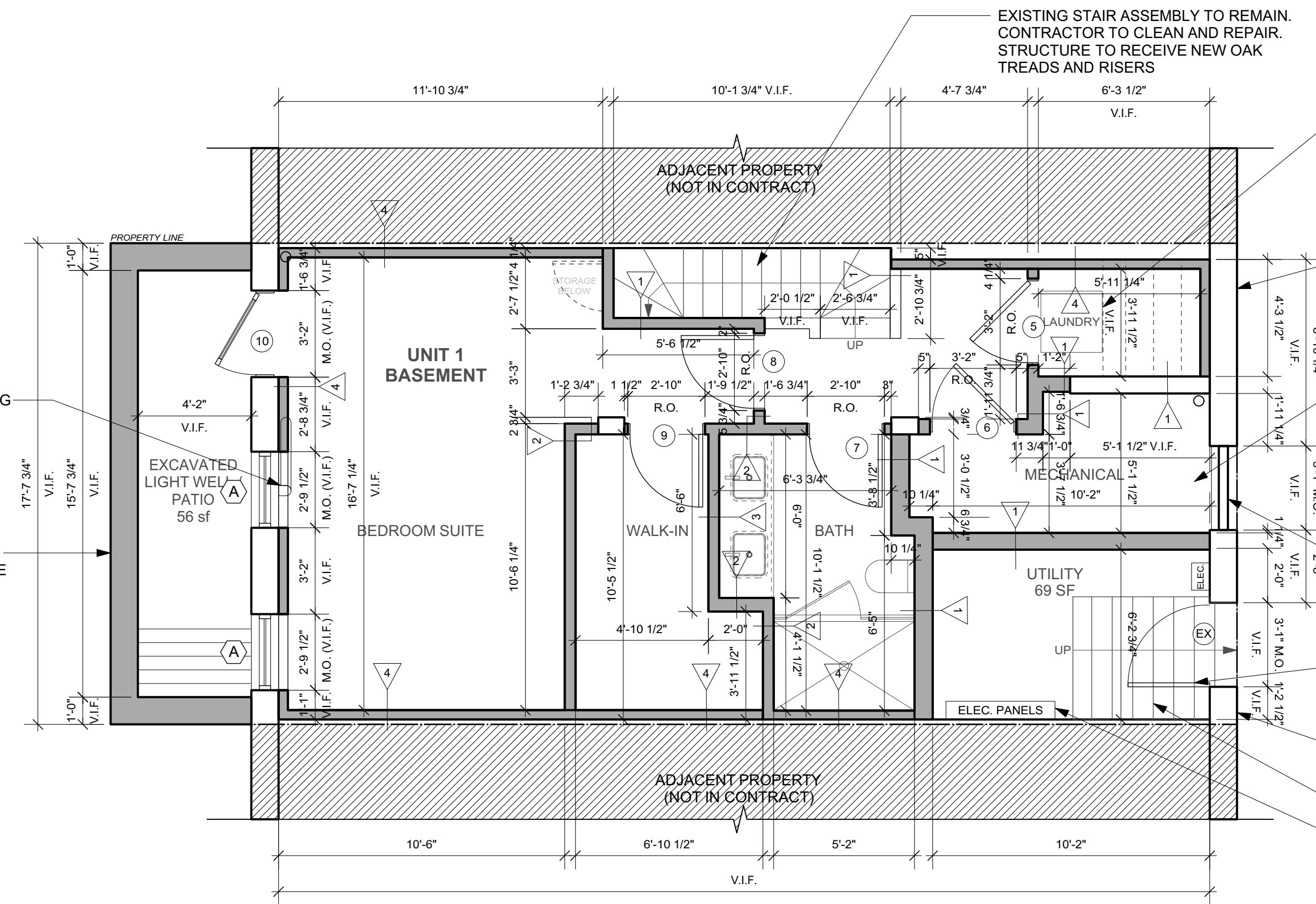
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**PARTITION SCHEDULE**

1	CORRIDOR/MECHANICAL UNIT	<p><b>1 HOUR - PARTITION (DESIGN NO. UL 327) STC 50</b></p> <ul style="list-style-type: none"> <li>-1 LAYER 5/8" FIRECODE GYPSUM</li> <li>-2X6 WOOD FRAMING @ 16" O.C. W/FIRESTOP BLOCKING</li> <li>-FULL DEPTH ACOUSTIC INSULATION</li> <li>-5/8" RESILIENT CHANNEL INSTALLED HORIZONTALLY AT 24" O.C.</li> <li>-1 LAYER 5/8" FIRECODE GYPSUM</li> </ul> <p>*NOTE - 5/8" MR GWB AT BATHROOM LOCATIONS; 5/8" DENSSHIELD TILE BACKER AT ALL TILE LOCATIONS (TYP.)</p>
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NEW WOOD FRAMED STAIRS WITH OAK TREADS AND RISERS (1ST TO 2ND FLOOR)  
16 RISERS @ 7.21" = 9'-7 1/2"  
15" TREADS @ 11" CA.



CONTRACTOR TO RELOCATE EXISTING DRAIN PIPES AS NECESSARY (TYP.)

NEW RETAINING WALL AT EXCAVATED PATIO. CONTRACTOR TO COORDINATE WITH STRUCTURAL ENGINEER FOR DETAILS

**67 REVERE STREET**

67 Revere Street  
Boston, MA 02114

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**ISSUED FOR:**  
PERMIT  
REVISED 04.27.2022

**SOUSA design**  
Architects

81 Baylston Street, 2nd Floor  
Brookline, MA 02445  
617-879-9100



Job # 202114

Drawn by TB Ckd by DMG

Date 04.27.2022

**Revisions**



01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022

**BASEMENT & FIRST FLOOR CONSTRUCTION PLANS**

**A-100**




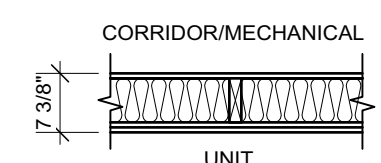

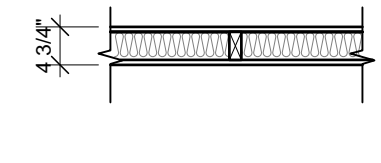

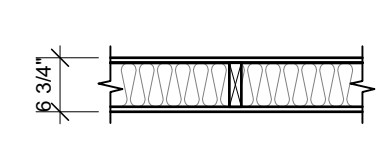
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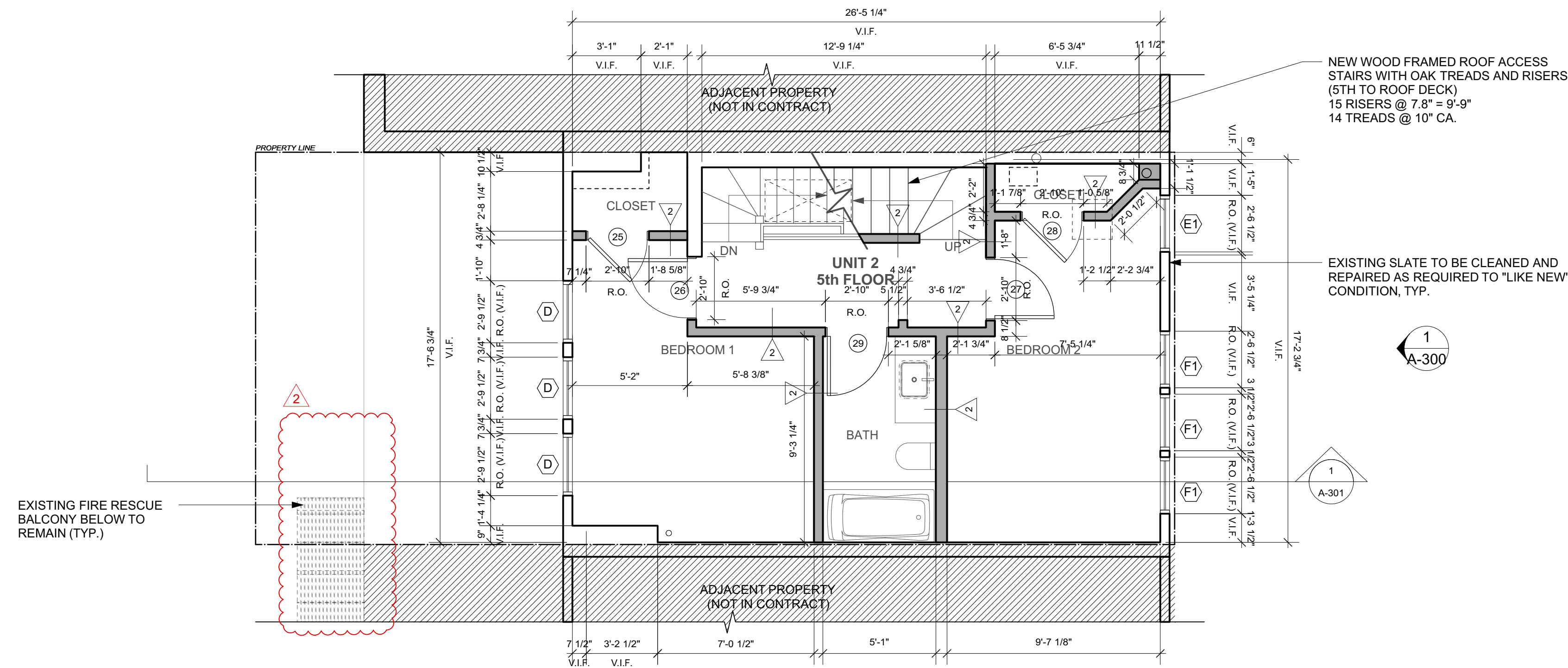
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-  INDICATES EXISTING TO REMAIN

**NOTES:**

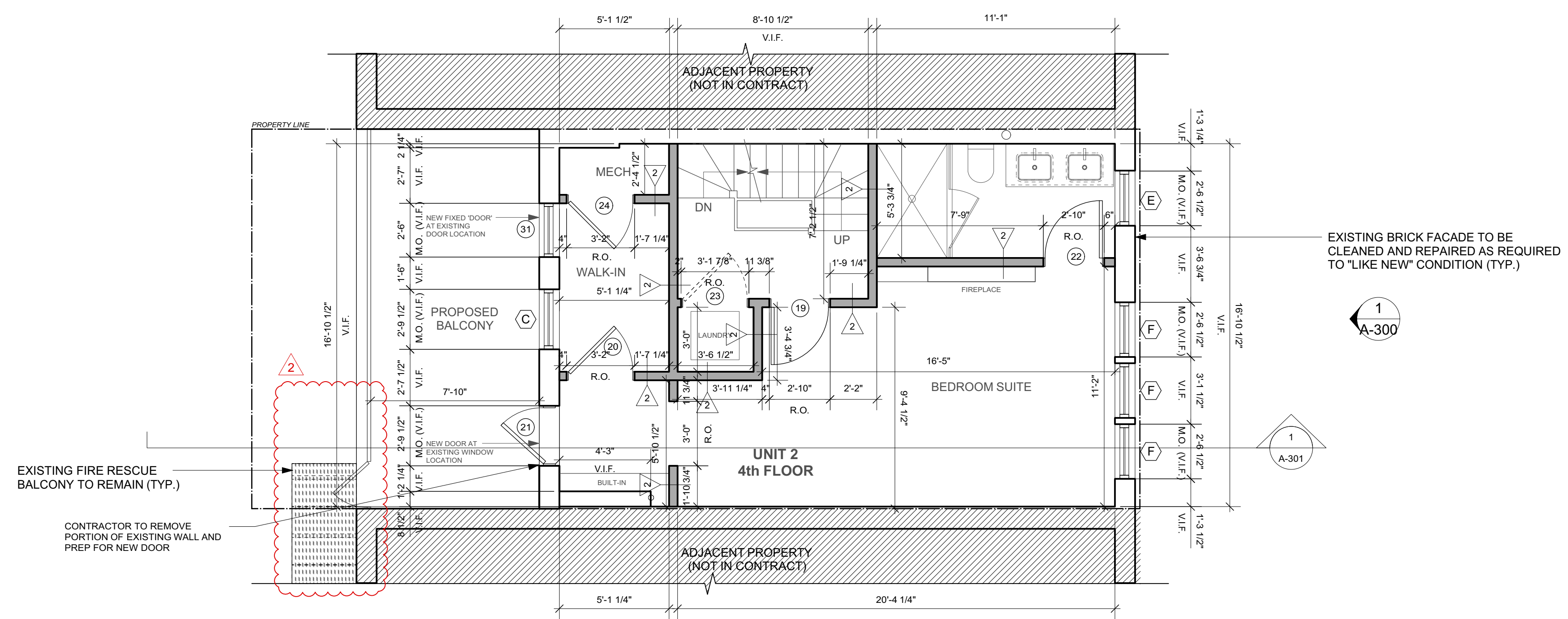
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PARTITION SCHEDULE		
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**6 FIFTH FLOOR CONSTRUCTION PLAN**  
Scale: 1/4" = 1'-0"



**5 FOURTH FLOOR CONSTRUCTION PLAN**  
Scale: 1/4" = 1'-0"

**67 REVERE STREET**  
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**ISSUED FOR:**  
PERMIT  
REVISED 04.27.2022

**SOUSA design**  
Architects  
81 Baylston Street, 2nd Floor  
Brookline, MA 02445  
617-879-1910



Job # 202114

Drawn by TB Ckd by DMG



Date 04.27.2022

Revisions	
01	FRONT WINDOWS 12.15.2021
02	PLAN REVIEW 04.27.2022

**FOURTH & FIFTH FLOOR CONSTRUCTION PLANS**

**A-102**

**KEY**

-  INDICATES NEW WALL CONSTRUCTION
-  INDICATES EXISTING TO REMAIN

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**67 REVERE STREET**

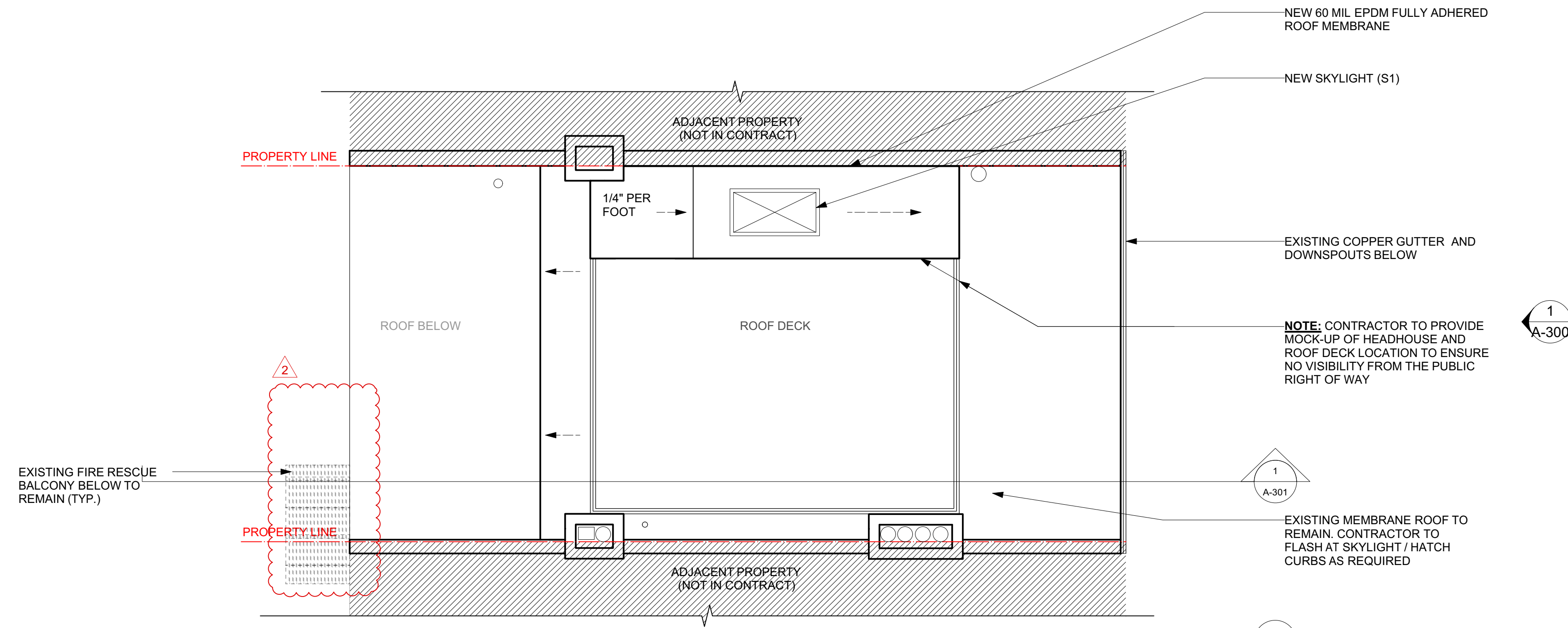
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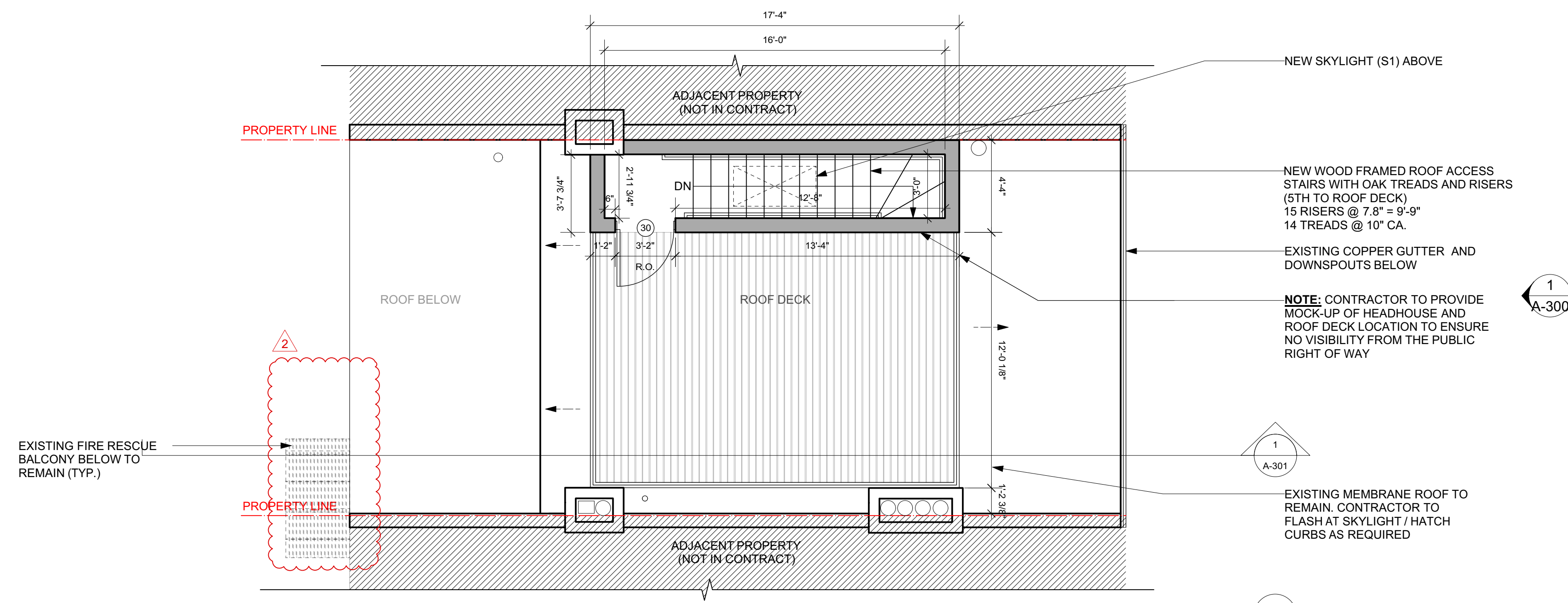
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**8 ROOF PLAN**  
Scale: 1/4" = 1'-0"

**NOTE:**

ALL ROOF WORK TO BE PERFORMED AS PER MANUFACTURER'S RECOMMENDATIONS TO MAINTAIN EXISTING ROOF WARRANTY



**7 ROOF DECK PLAN**  
Scale: 1/4" = 1'-0"

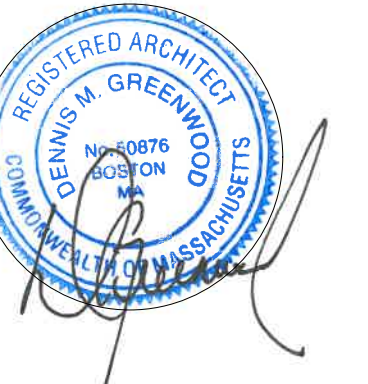
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**ISSUED FOR:**  
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REVISED 04.27.2022

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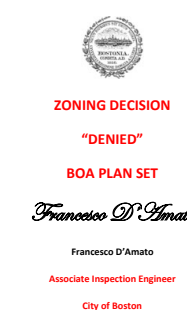
Job # 202114

Drawn by TB Ckd by DMG

Date 04.27.2022

**Revisions**

NO.	DESCRIPTION	DATE
01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022



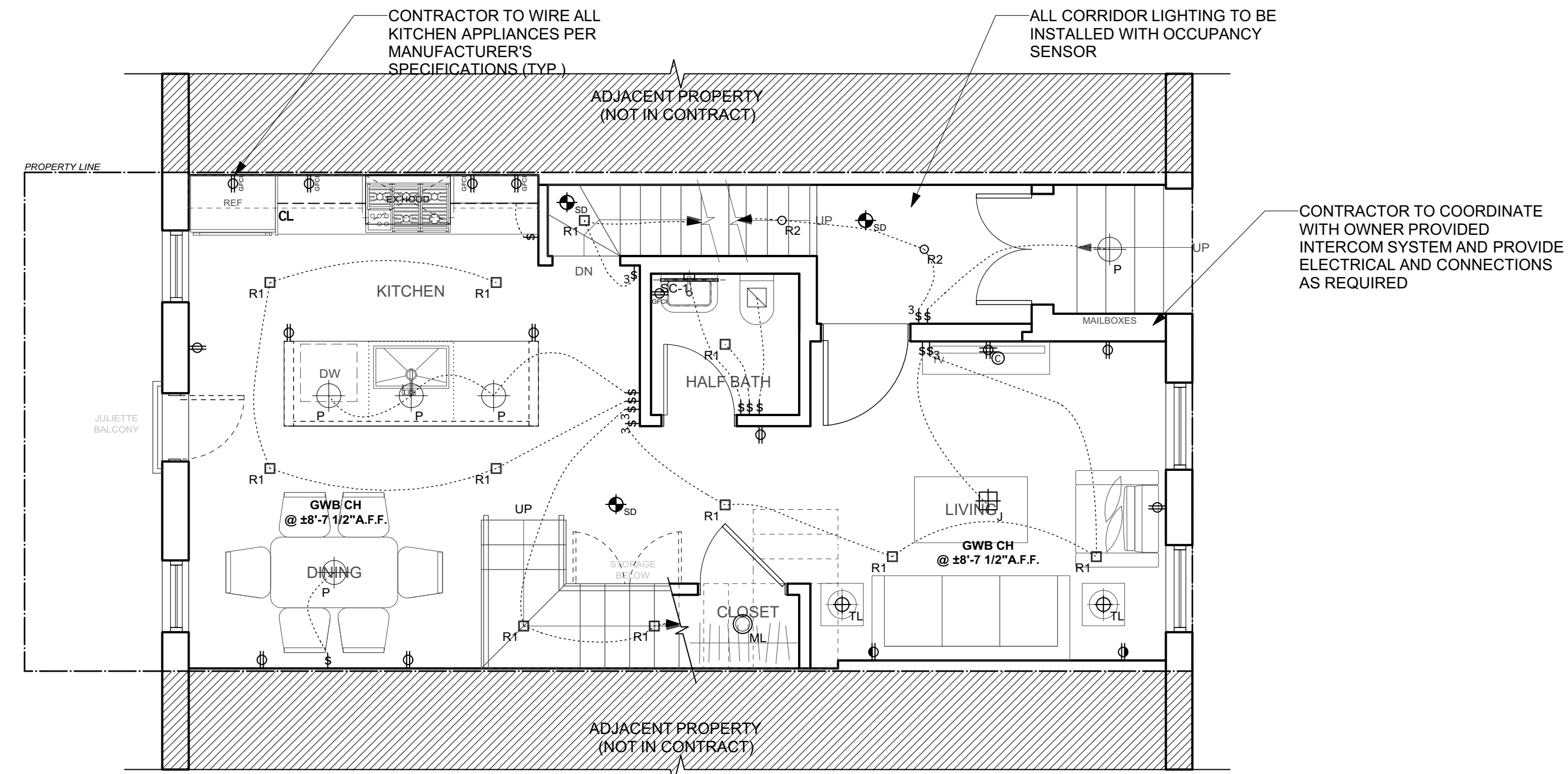
**ROOF DECK & ROOF PLAN**

**A-103**

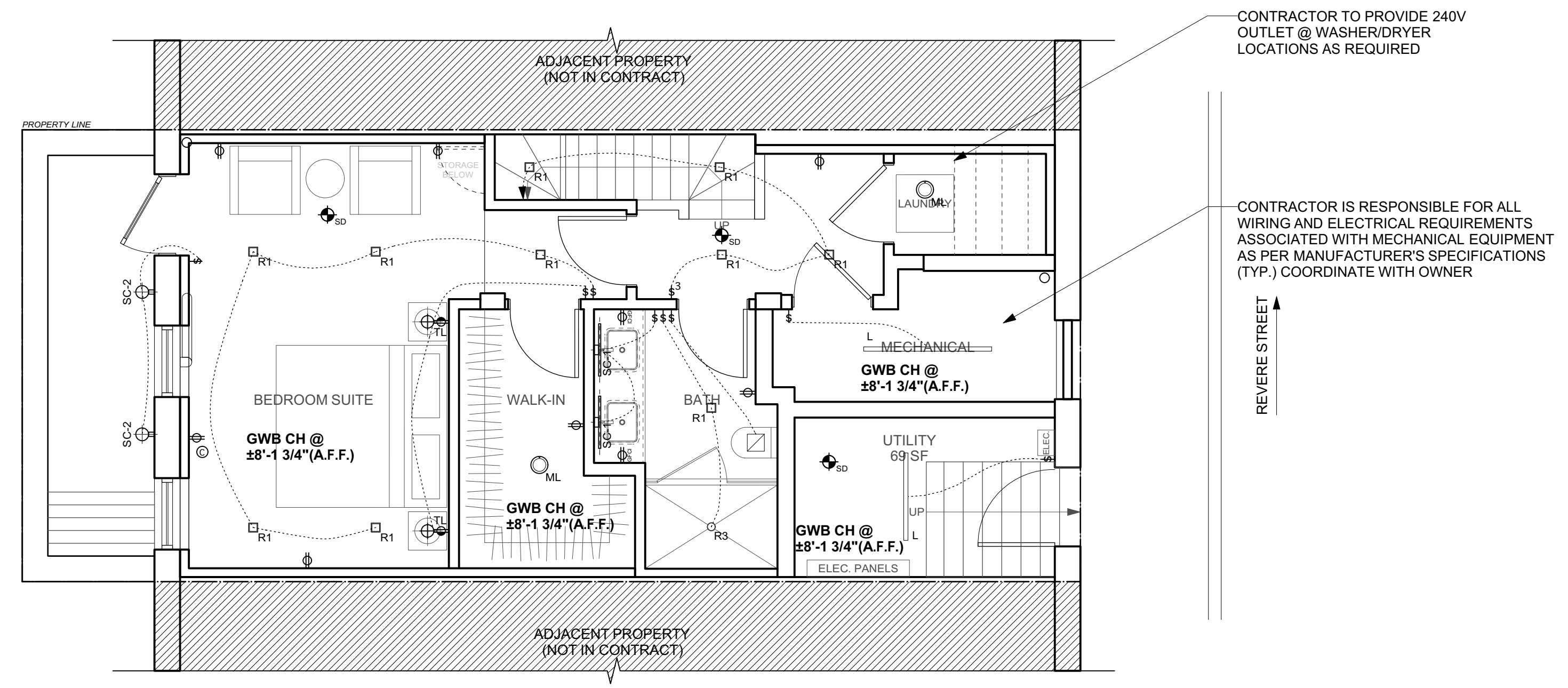


ELECTRICAL LEGEND	
*ALL FIXTURES ARE TO BE COORDINATED WITH THE OWNER.	
	Recessed Can Light
	Recessed Can Wet Location
	Recessed Can Outdoor
	LED Strip
	Wall Sconce
	Exterior Wall Sconce
	Vent Fan
	Vent Fan / Light
	Large Pendant
	Linear Ceiling Pendant
	Flush Mount Light
	Table Lamp
	Recessed Step Light
	Recessed Motion Sensor Light
	Junction Box with Cover Plate
	Duplex Receptacle
	Quadruplex Receptacle
	Switch Top Outlet Of Duplex Receptacle
	Duplex Floor Receptacle
	Switch
	Threeway Switch
	Telephone
	Cable
	Ground Fault Circuit Interrupt
	Hinge Switch
	Cove Light
	Low Voltage Heat Detector
	Recessed Auxiliary Heater
	Baseboard Auxiliary Heater
	Perimeter Lit Medicine Cabinet
	Smoke and Carbon Monoxide Detector

- GENERAL NOTES:**
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  2. ALL ELECTRIC DEVICES SHALL BE DIRECTLY COORDINATED WITH THE OWNER. NO WORK SHALL COMMENCE WITHOUT THE WRITTEN APPROVAL FROM OWNER ON ALL DEVICE LOCATIONS.
  3. ALL RESIDENTIAL UNITS TO BE PROVIDED WITH CONNECTIONS FOR SOUND SYSTEM AS SPECIFIED BY OWNER.
  4. CONTRACTOR TO WIRE ALL WASHER/ DRYER UNITS PER MANUFACTURER SPECIFICATIONS (TYP).
  5. ANY REQUIRED SPRINKLER LINES TO BE INSTALLED ABOVE FINISH CEILING (TYP).
  6. CONTRACTOR IS RESPONSIBLE FOR ALL ACCESS PANELS REQUIRED. ALL ACCESS TO BE FIRE RATED AS REQUIRED AS PER THE ASSEMBLY IN WHICH THEY ARE LOCATED (TYP.). CONTRACTOR TO COORDINATE QUANTITY AND LOCATIONS WITH PROPOSED SCOPE OF WORK.
  7. SEE FIRE ALARM PLANS FOR SMOKE DETECTOR LAYOUT AND SPECIFICATIONS.
  8. MECHANICAL SYSTEMS ARE DESIGN/BUILD. CONTRACTOR TO COORDINATE SOFFIT LOCATIONS AS REQUIRED.



2 FIRST FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



1 BASEMENT ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"

67 REVERE STREET

67 Revere Street  
Boston, MA 02114

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Architects

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Drawn by TB Ckd by DMG

Date 04.27.2022

Revisions	
01	FRONT WINDOWS 12.15.2021
02	PLAN REVIEW 04.27.2022

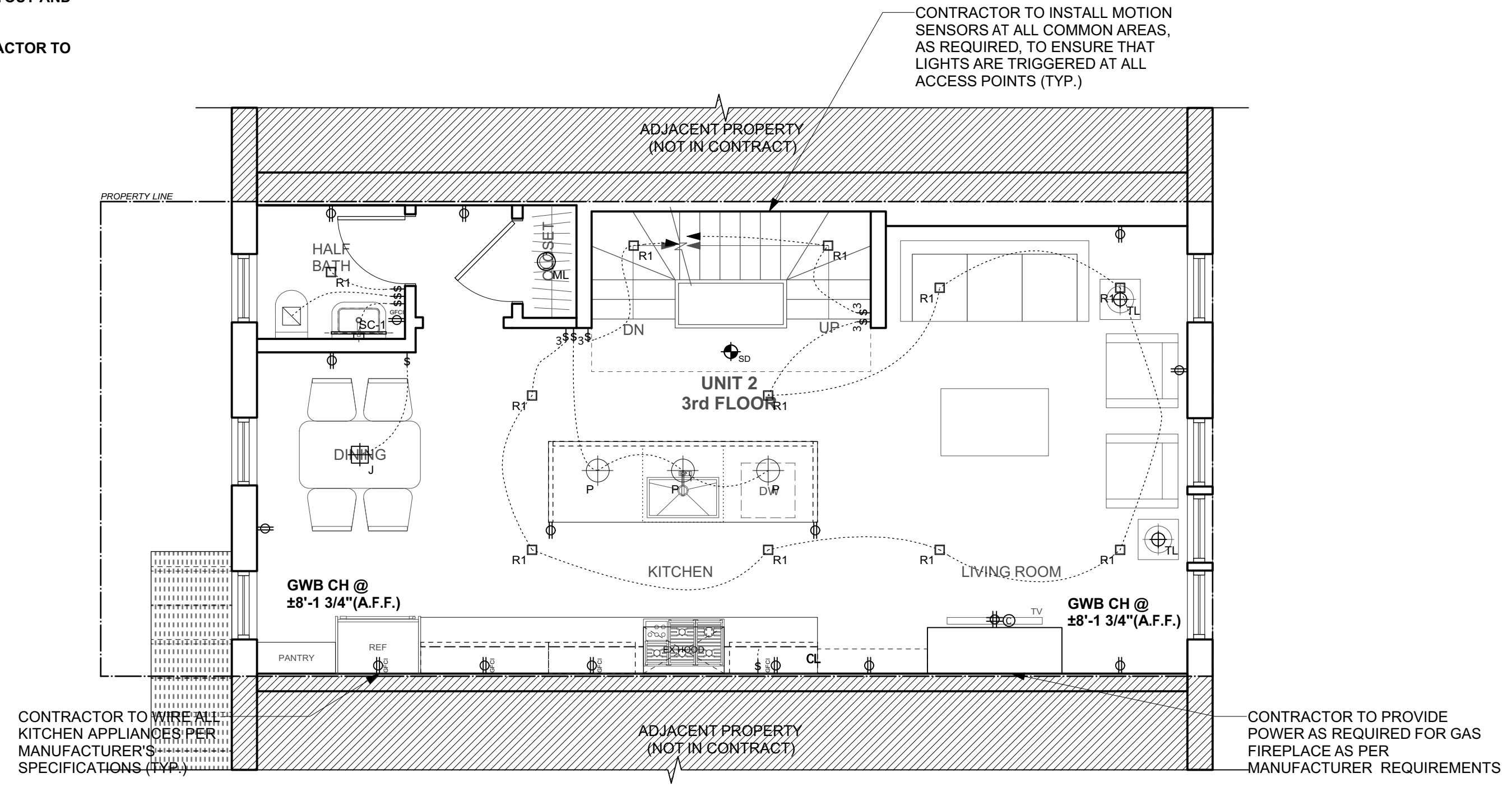


**BASEMENT & FIRST FLOOR ELECTRICAL PLANS**

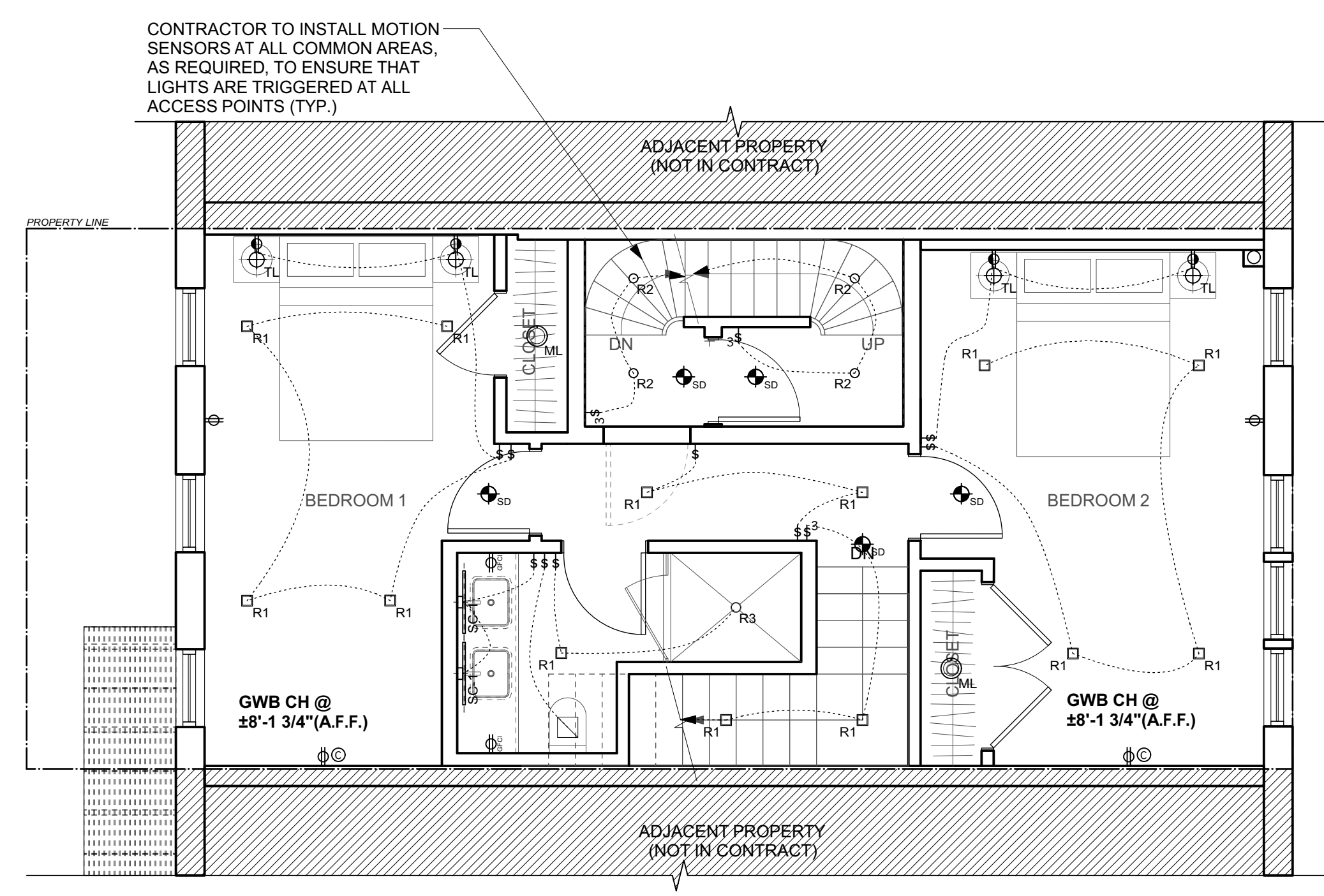
**AE-100**

ELECTRICAL LEGEND	
*ALL FIXTURES ARE TO BE COORDINATED WITH THE OWNER.	
	Recessed Can Light
	Recessed Can Wet Location
	Recessed Can Outdoor
	LED Strip
	Wall Sconce
	Exterior Wall Sconce
	Vent Fan
	Vent Fan / Light
	Large Pendant
	Linear Ceiling Pendant
	Flush Mount Light
	Table Lamp
	Recessed Step Light
	Recessed Motion Sensor Light
	Junction Box with Cover Plate
	Duplex Receptacle
	Quadruplex Receptacle
	Switch Top Outlet Of Duplex Receptacle
	Duplex Floor Receptacle
	Switch
	Threeway Switch
	Telephone
	Cable
	Ground Fault Circuit Interrupt
	Hinge Switch
	Cove Light
	Low Voltage Heat Detector
	Recessed Auxiliary Heater
	Baseboard Auxiliary Heater
	Perimeter Lit Medicine Cabinet
	Smoke and Carbon Monoxide Detector

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  7. SEE FIRE ALARM PLANS FOR SMOKE DETECTOR LAYOUT AND SPECIFICATIONS.
  8. MECHANICAL SYSTEMS ARE DESIGN/BUILD. CONTRACTOR TO COORDINATE SOFFIT LOCATIONS AS REQUIRED.



2 THIRD FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



1 SECOND FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"

67 REVERE STREET  
93 Revere Street  
Boston, MA 02114

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617-879-9100



Job # 202114

Drawn by TB Ckd by DMG

Date 04.27.2022

Revisions		
01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022



**SECOND & THIRD FLOOR ELECTRICAL PLANS**

**AE-101**



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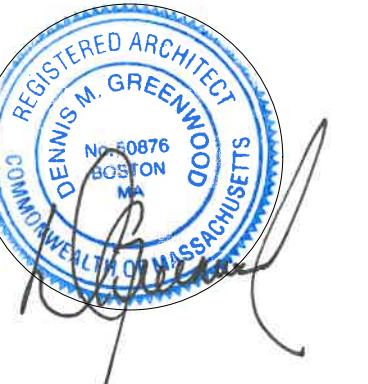
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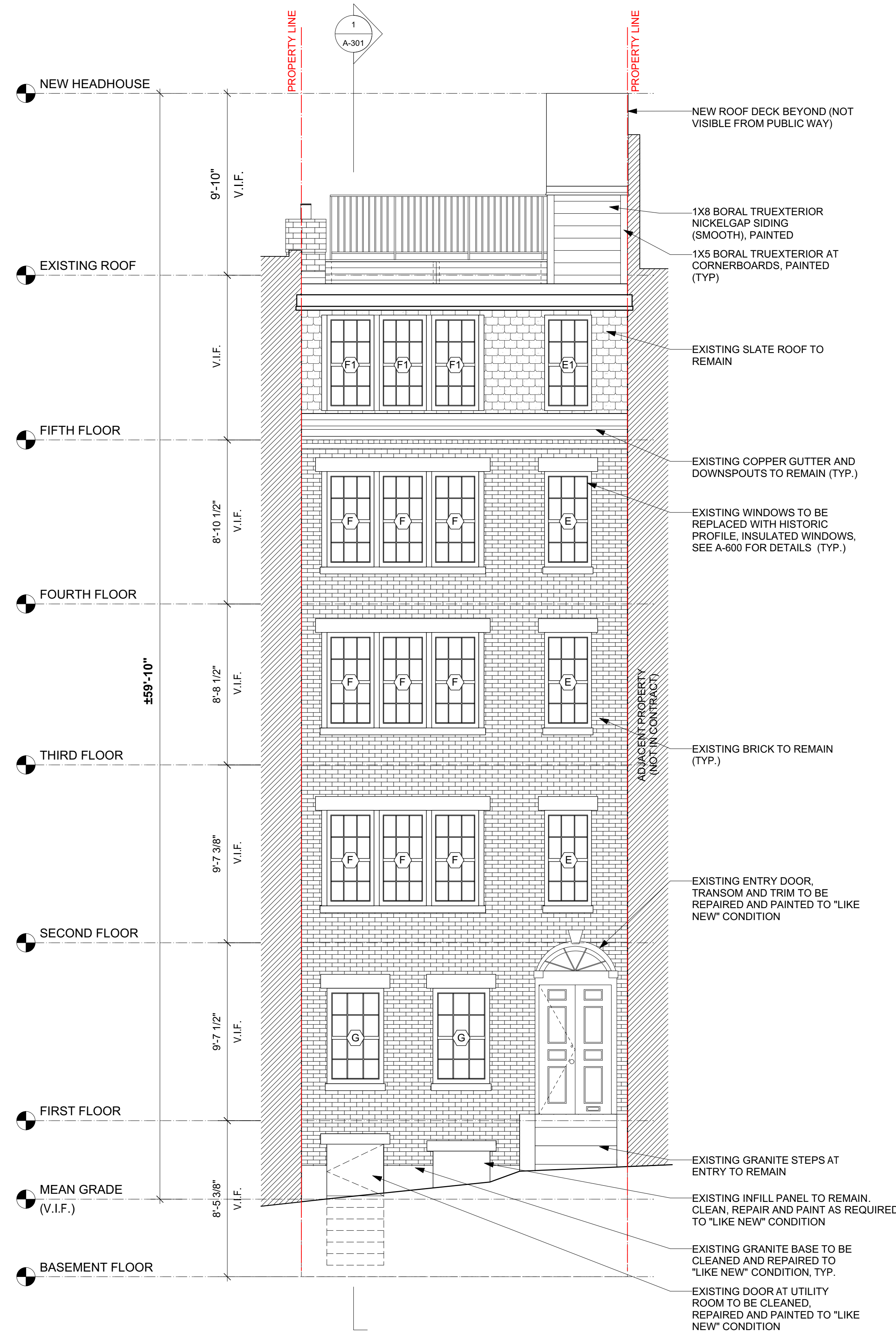
Date 04.27.2022

Revisions

01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022

**PROPOSED FRONT AND REAR ELEVATIONS**

**A-300**



1 PROPOSED FRONT ELEVATION  
Scale: 1/4" = 1'-0"



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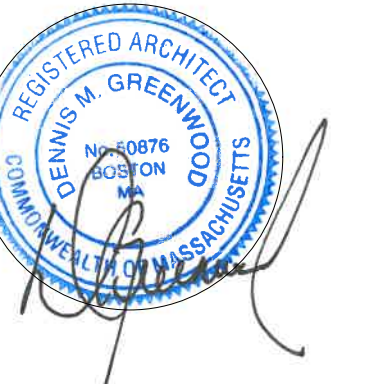
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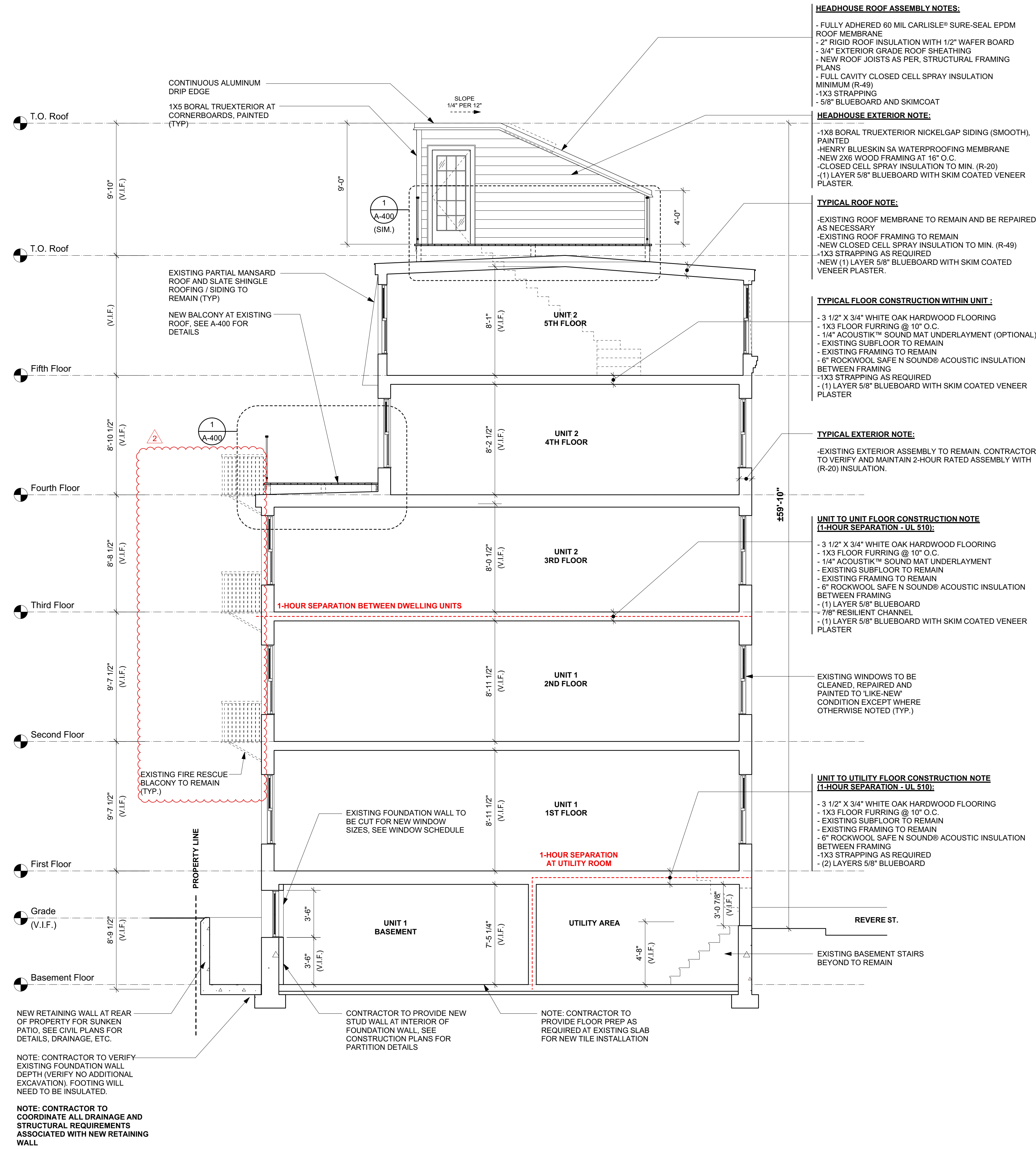
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Date 04.27.2022

Revisions	
01	FRONT WINDOWS 12.15.2021
02	PLAN REVIEW 04.27.2022

**BUILDING SECTION**

**A-301**



**HEADHOUSE ROOF ASSEMBLY NOTES:**

- FULLY ADHERED 60 MIL CARLISLE® SURE-SEAL EPDM ROOF MEMBRANE
- 2" RIGID ROOF INSULATION WITH 1/2" WAFER BOARD
- 3/4" EXTERIOR GRADE ROOF SHEATHING
- NEW ROOF JOISTS AS PER STRUCTURAL FRAMING PLANS
- FULL CAVITY CLOSED CELL SPRAY INSULATION MINIMUM (R-49)
- 1X3 STRAPPING
- 5/8" BLUEBOARD AND SKIMCOAT

**HEADHOUSE EXTERIOR NOTE:**

- 1X8 BORAL TRU EXTERIOR NICKEL GAP SIDING (SMOOTH), PAINTED
- HENRY BLUESKIN SA WATERPROOFING MEMBRANE
- NEW 2X6 WOOD FRAMING AT 16" O.C.
- CLOSED CELL SPRAY INSULATION TO MIN. (R-20)
- (1) LAYER 5/8" BLUEBOARD WITH SKIM COATED VENEER PLASTER

**TYPICAL ROOF NOTE:**

- EXISTING ROOF MEMBRANE TO REMAIN AND BE REPAIRED AS NECESSARY
- EXISTING ROOF FRAMING TO REMAIN
- NEW CLOSED CELL SPRAY INSULATION TO MIN. (R-49)
- 1X3 STRAPPING AS REQUIRED
- NEW (1) LAYER 5/8" BLUEBOARD WITH SKIM COATED VENEER PLASTER

**TYPICAL FLOOR CONSTRUCTION WITHIN UNIT:**

- 3 1/2" X 3/4" WHITE OAK HARDWOOD FLOORING
- 1X3 FLOOR FURRING @ 10" O.C.
- 1/4" ACOUSTIK™ SOUND MAT UNDERLAYMENT (OPTIONAL)
- EXISTING SUBFLOOR TO REMAIN
- EXISTING FRAMING TO REMAIN
- 6" ROCKWOOL SAFE N SOUND® ACOUSTIC INSULATION BETWEEN FRAMING
- 1X3 STRAPPING AS REQUIRED
- (1) LAYER 5/8" BLUEBOARD WITH SKIM COATED VENEER PLASTER

**TYPICAL EXTERIOR NOTE:**

- EXISTING EXTERIOR ASSEMBLY TO REMAIN. CONTRACTOR TO VERIFY AND MAINTAIN 2-HOUR RATED ASSEMBLY WITH (R-20) INSULATION.

**UNIT TO UNIT FLOOR CONSTRUCTION NOTE (1-HOUR SEPARATION - UL 510):**

- 3 1/2" X 3/4" WHITE OAK HARDWOOD FLOORING
- 1X3 FLOOR FURRING @ 10" O.C.
- 1/4" ACOUSTIK™ SOUND MAT UNDERLAYMENT
- EXISTING SUBFLOOR TO REMAIN
- EXISTING FRAMING TO REMAIN
- 6" ROCKWOOL SAFE N SOUND® ACOUSTIC INSULATION BETWEEN FRAMING
- (1) LAYER 5/8" BLUEBOARD
- 7/8" RESILIENT CHANNEL
- (1) LAYER 5/8" BLUEBOARD WITH SKIM COATED VENEER PLASTER

**UNIT TO UTILITY FLOOR CONSTRUCTION NOTE (1-HOUR SEPARATION - UL 510):**

- 3 1/2" X 3/4" WHITE OAK HARDWOOD FLOORING
- 1X3 FLOOR FURRING @ 10" O.C.
- EXISTING SUBFLOOR TO REMAIN
- EXISTING FRAMING TO REMAIN
- 6" ROCKWOOL SAFE N SOUND® ACOUSTIC INSULATION BETWEEN FRAMING
- 1X3 STRAPPING AS REQUIRED
- (2) LAYERS 5/8" BLUEBOARD

NOTE: CONTRACTOR TO VERIFY EXISTING FOUNDATION WALL DEPTH (VERIFY NO ADDITIONAL EXCAVATION). FOOTING WILL NEED TO BE INSULATED.

NOTE: CONTRACTOR TO COORDINATE ALL DRAINAGE AND STRUCTURAL REQUIREMENTS ASSOCIATED WITH NEW RETAINING WALL

1 BUILDING SECTION  
Scale: 1/4" = 1'-0"

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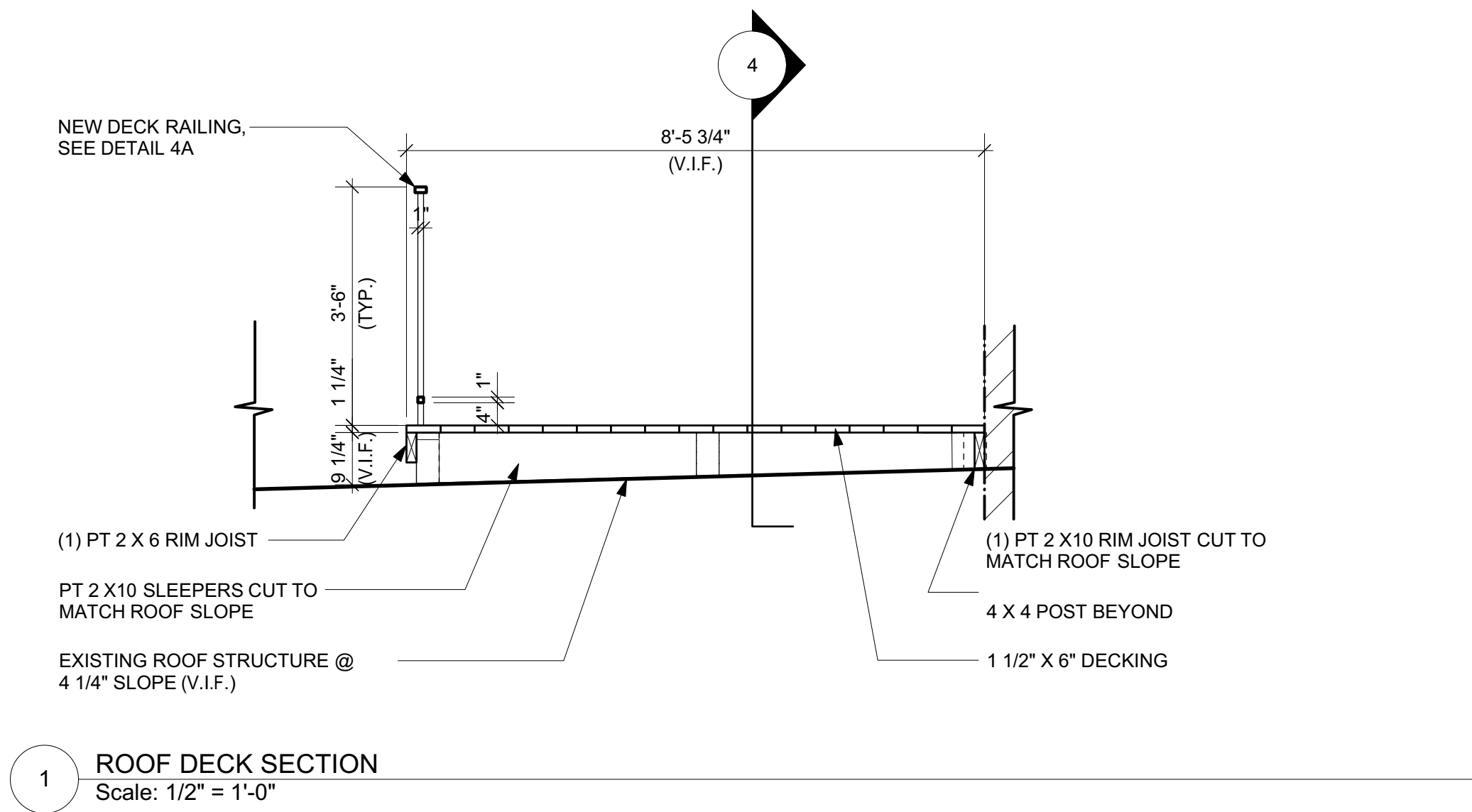
Date 04.27.2022

Revisions

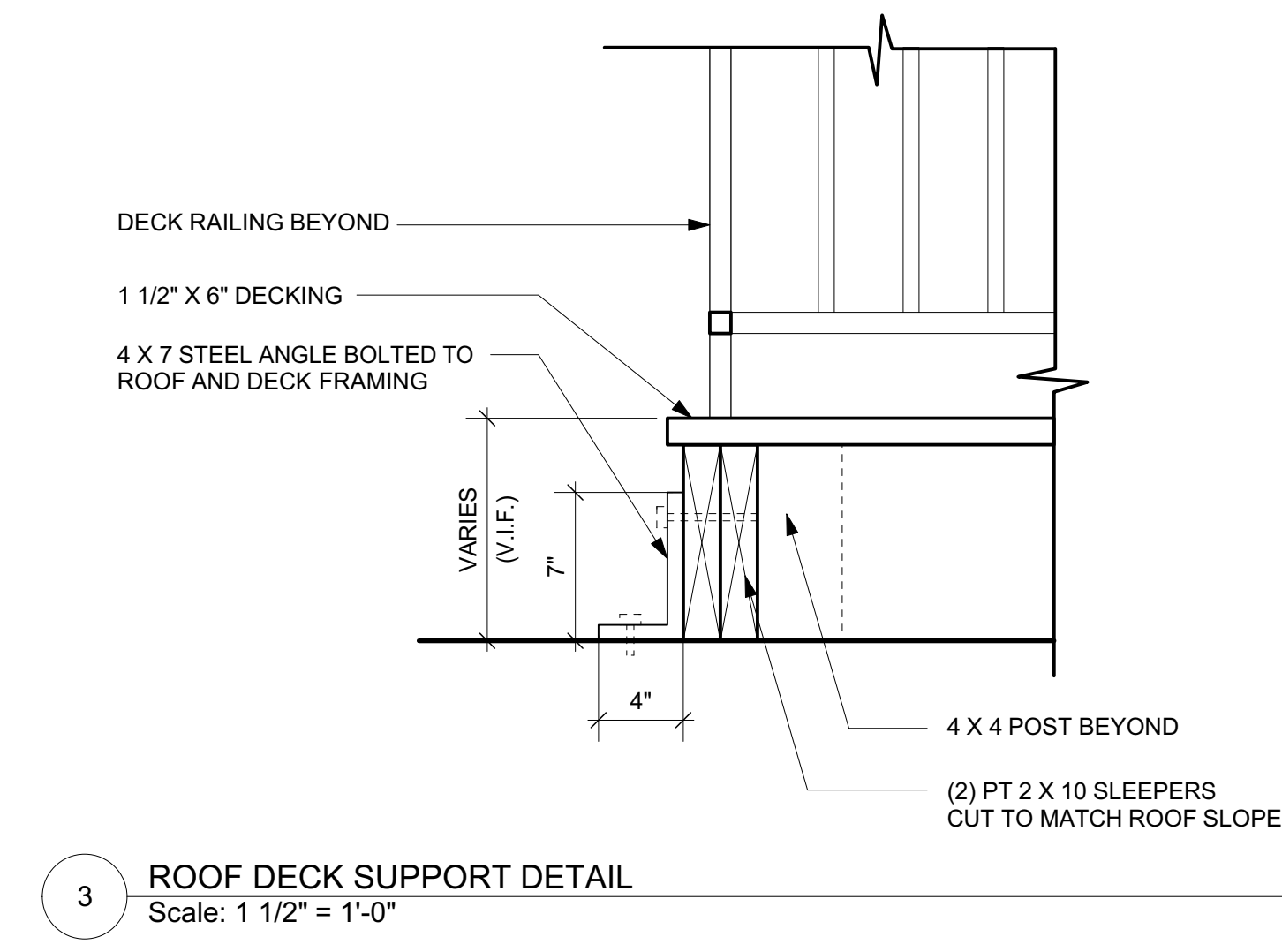
01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022

DECK DETAILS

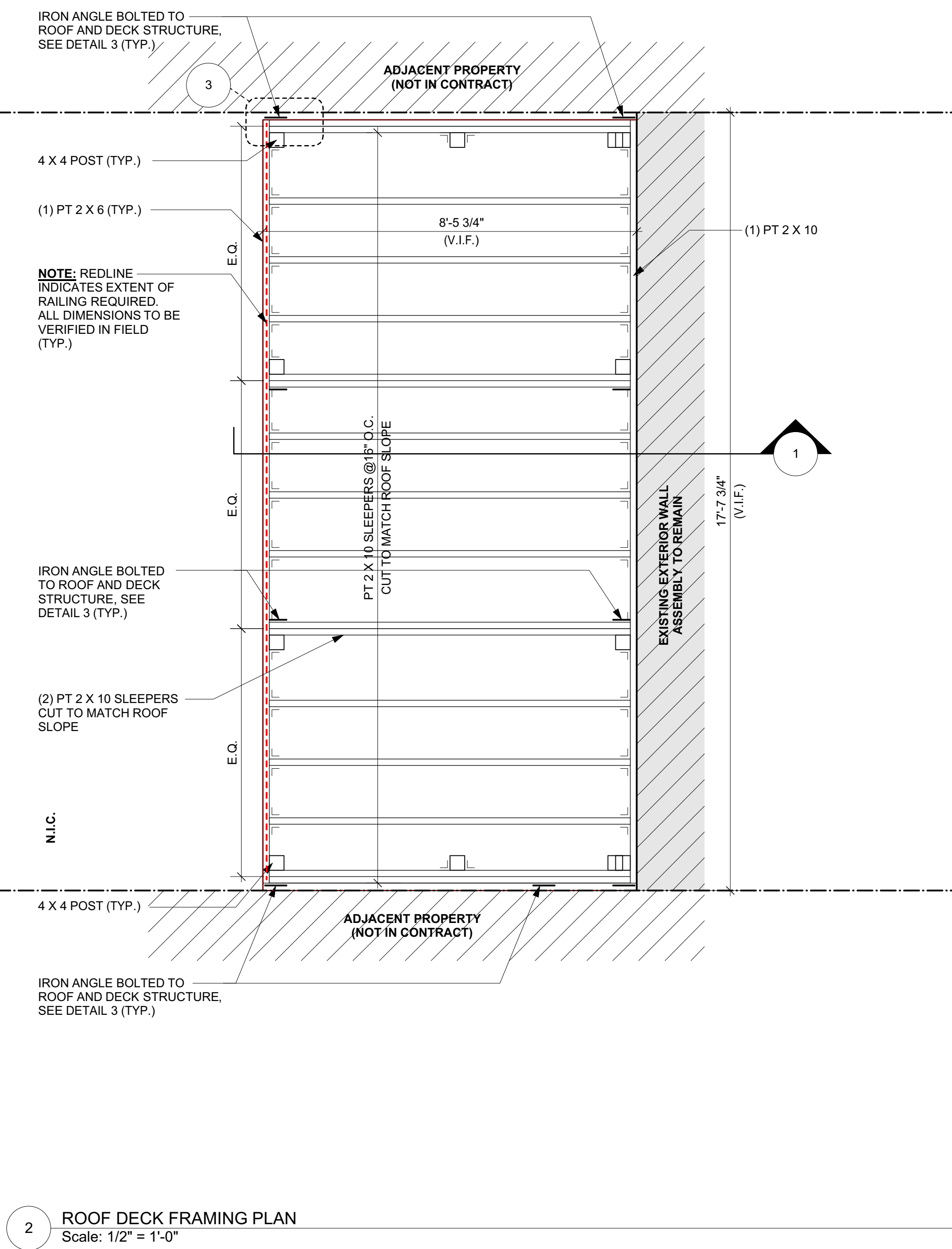
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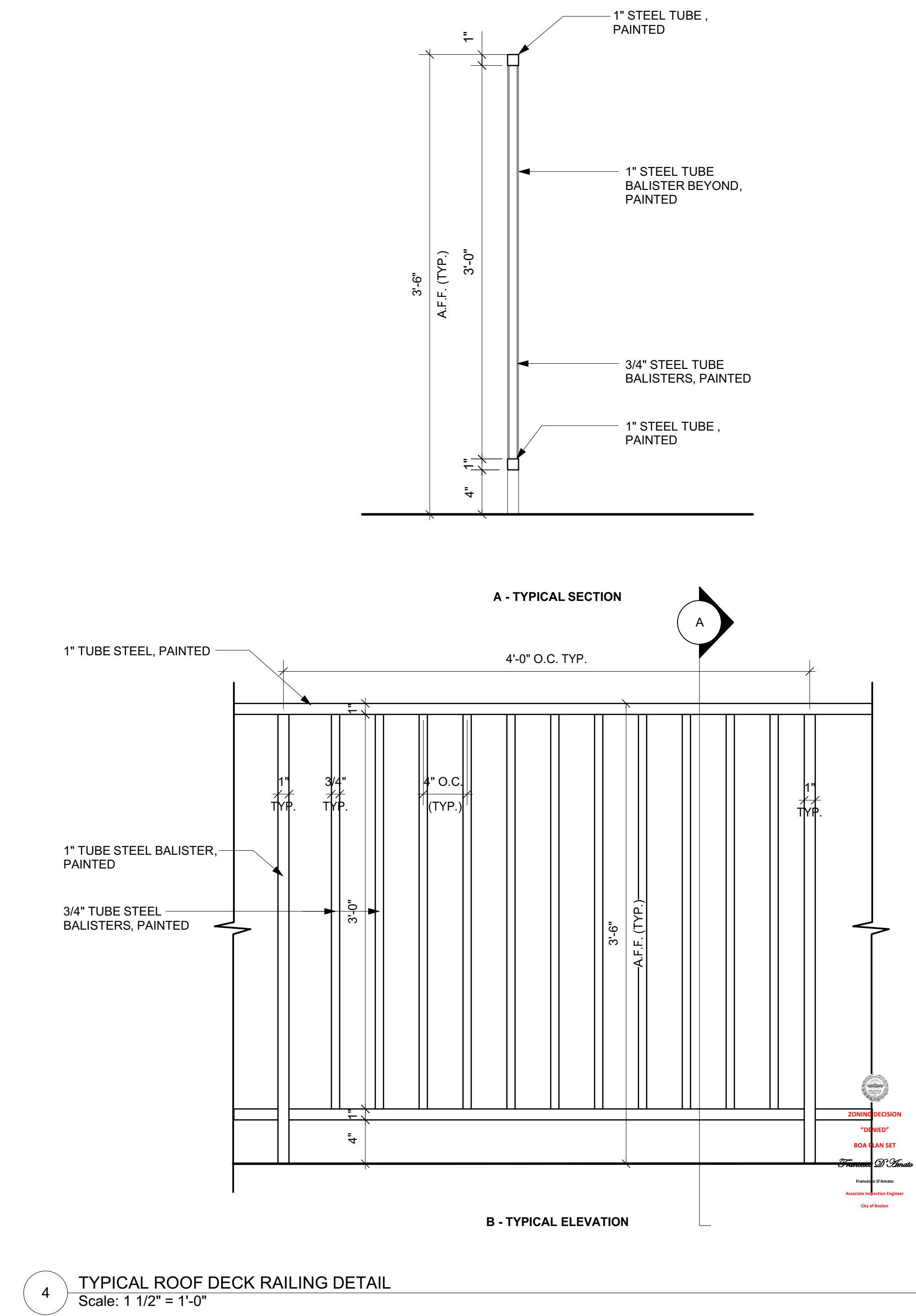
1 ROOF DECK SECTION  
Scale: 1/2" = 1'-0"



3 ROOF DECK SUPPORT DETAIL  
Scale: 1 1/2" = 1'-0"

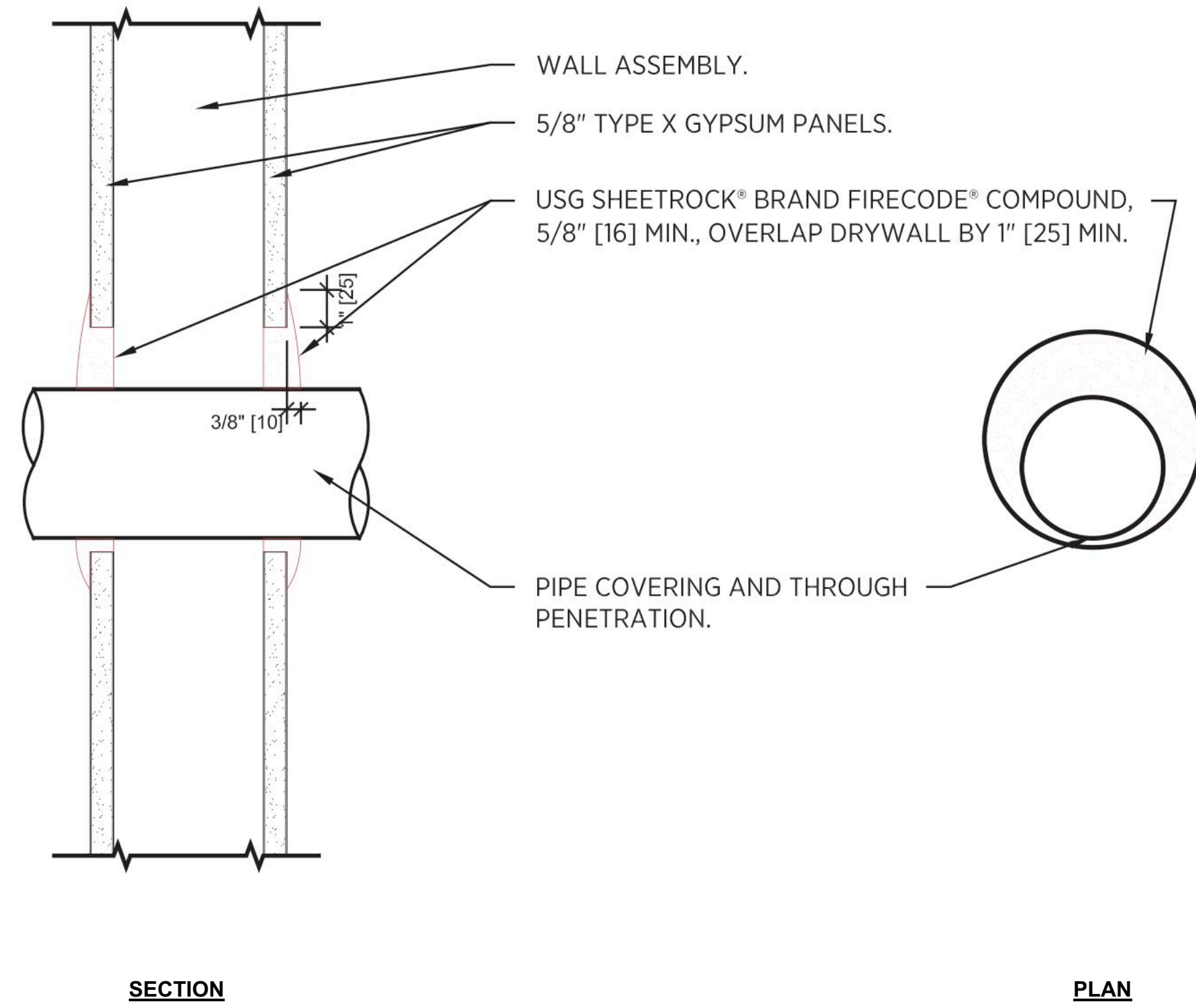


2 ROOF DECK FRAMING PLAN  
Scale: 1/2" = 1'-0"



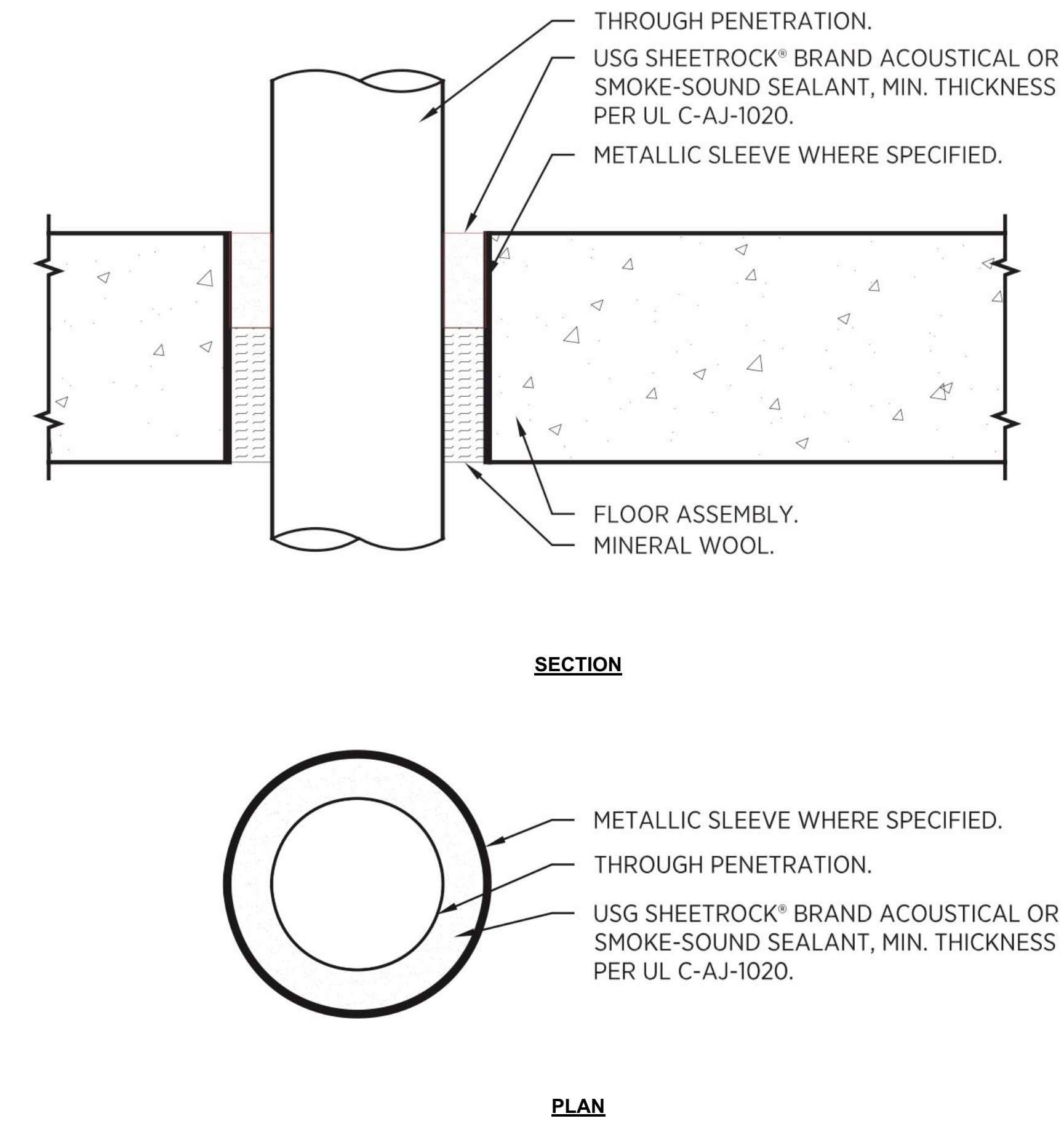
4 TYPICAL ROOF DECK RAILING DETAIL  
Scale: 1 1/2" = 1'-0"

SYSTEM NO. W-L-1087 F-RATING 1-HR/T-RATING 0- AND 1-HR

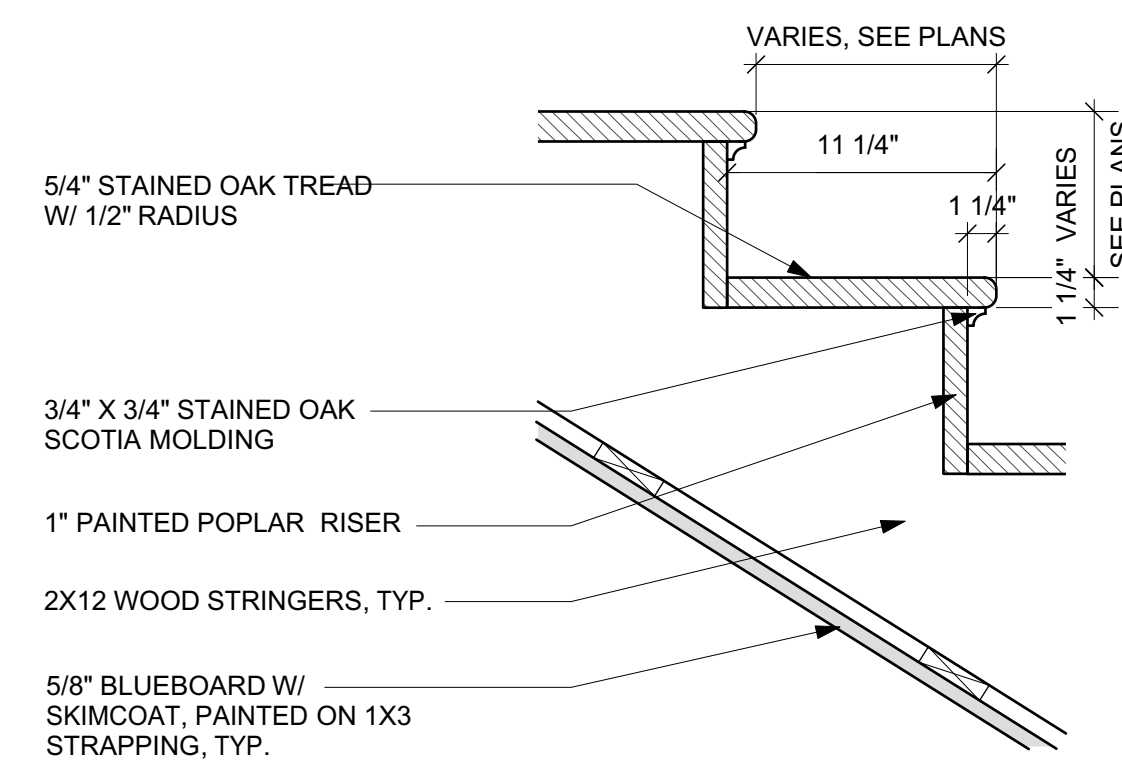


A TYPICAL WALL PENETRATION AT 1-HOUR RATED ASSEMBLY  
Scale: 1 1/2" = 1'-0"

SYSTEM NO. C-AJ-1020 F-RATING 3-HR/T-RATING 1-HR

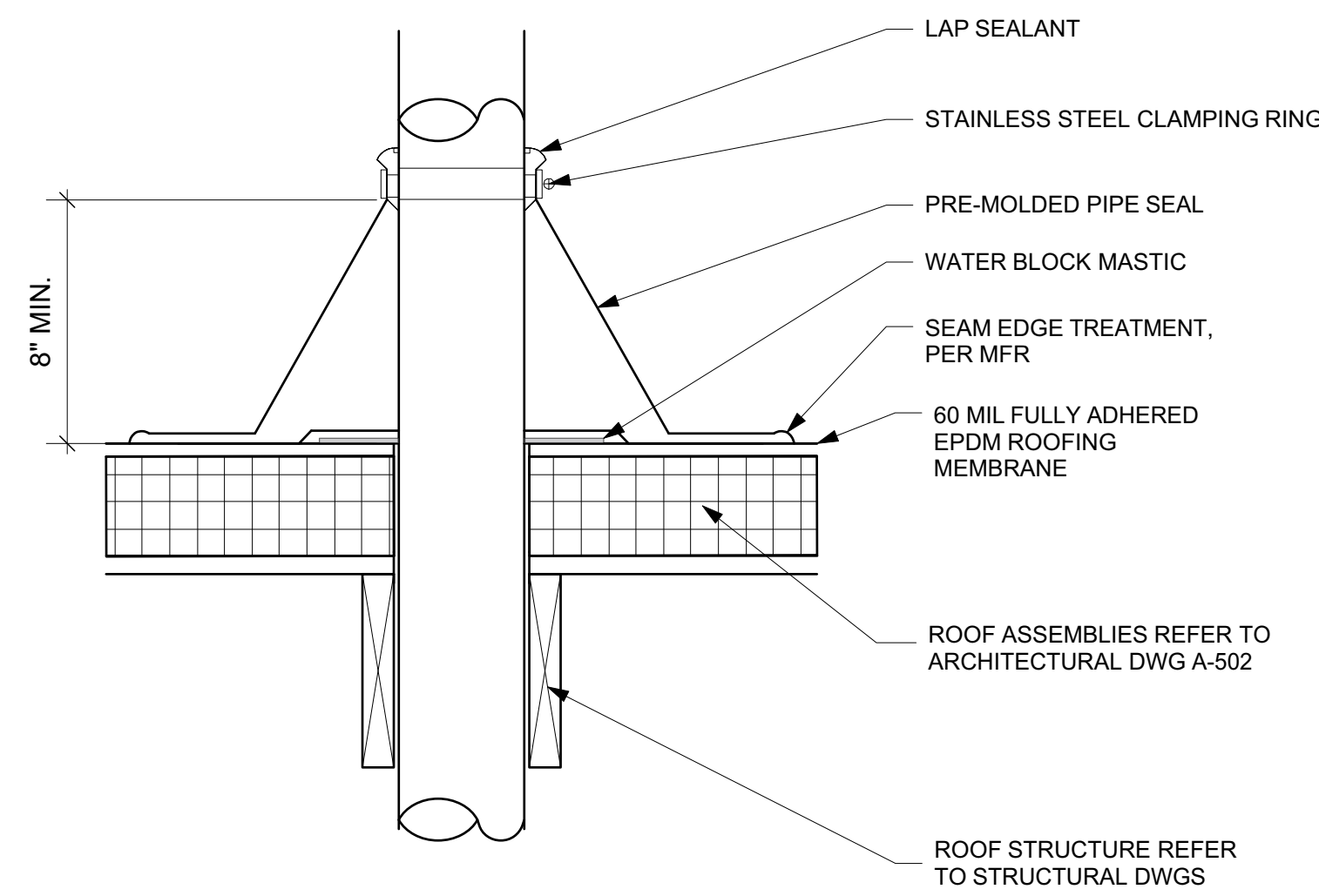


B TYPICAL FLOOR / CEILING PENETRATION AT 1-HOUR RATED ASSEMBLY  
Scale: 1 1/2" = 1'-0"



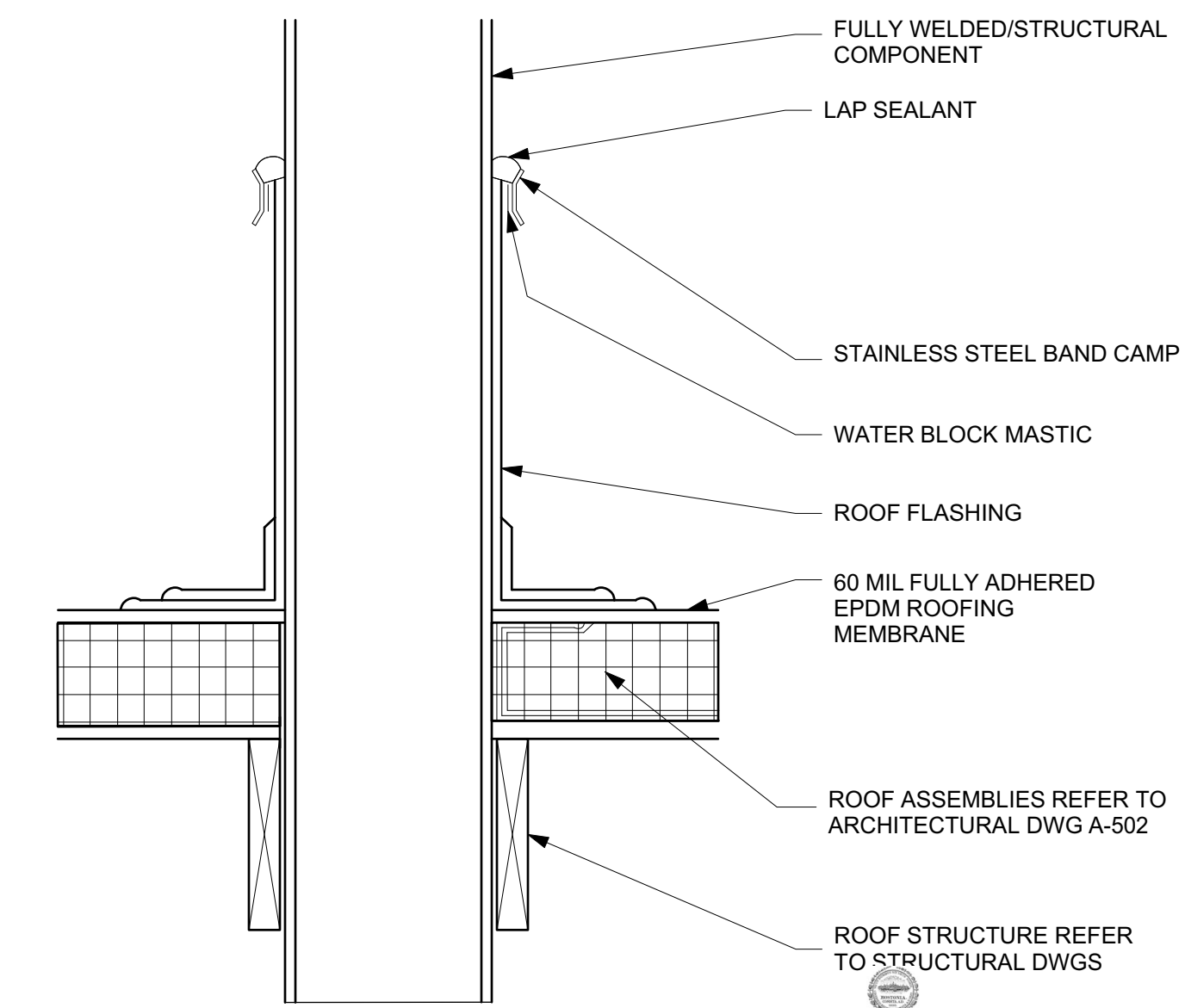
NOTE: DETAIL PROVIDED FOR NEW COMMUNICATING STAIR WITHIN UNIT 1 ONLY. EXISTING COMMON STAIR / UNIT 2 STAIR TO REMAIN AND BE REFINISHED.

1 TYPICAL STAIR TREAD DETAIL  
Scale: 1 1/2" = 1'-0"



NOTE: DETAIL PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO PERFORM ALL ROOF WORK ASSOCIATED WITH PROPOSED SCOPE AS PER MANUFACTURER RECOMMENDATIONS TO MAINTAIN EXISTING ROOF WARRANTY.

2 ROOF PENETRATION DETAIL - VENT PIPE  
Scale: 1 1/2" = 1'-0"



NOTE: DETAIL PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO PERFORM ALL ROOF WORK ASSOCIATED WITH PROPOSED SCOPE AS PER MANUFACTURER RECOMMENDATIONS TO MAINTAIN EXISTING ROOF WARRANTY.

3 ROOF PENETRATION DETAIL - ROOF TO WALL / CURB FLASHING  
Scale: 1 1/2" = 1'-0"

67 REVERE STREET

67 Revere Street  
Boston, MA 02114

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THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK, AND SHALL ACCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

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ISSUED FOR:  
PERMIT  
REVISED 04.27.2022

**SOUSA design**  
Architects

81 Baylston Street, 2nd Floor  
Brookline, MA 02445  
617.879.9100



Job # 202114

Drawn by TB ckd by DMG

Date 04.27.2022

Revisions

NO.	DESCRIPTION	DATE
01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022

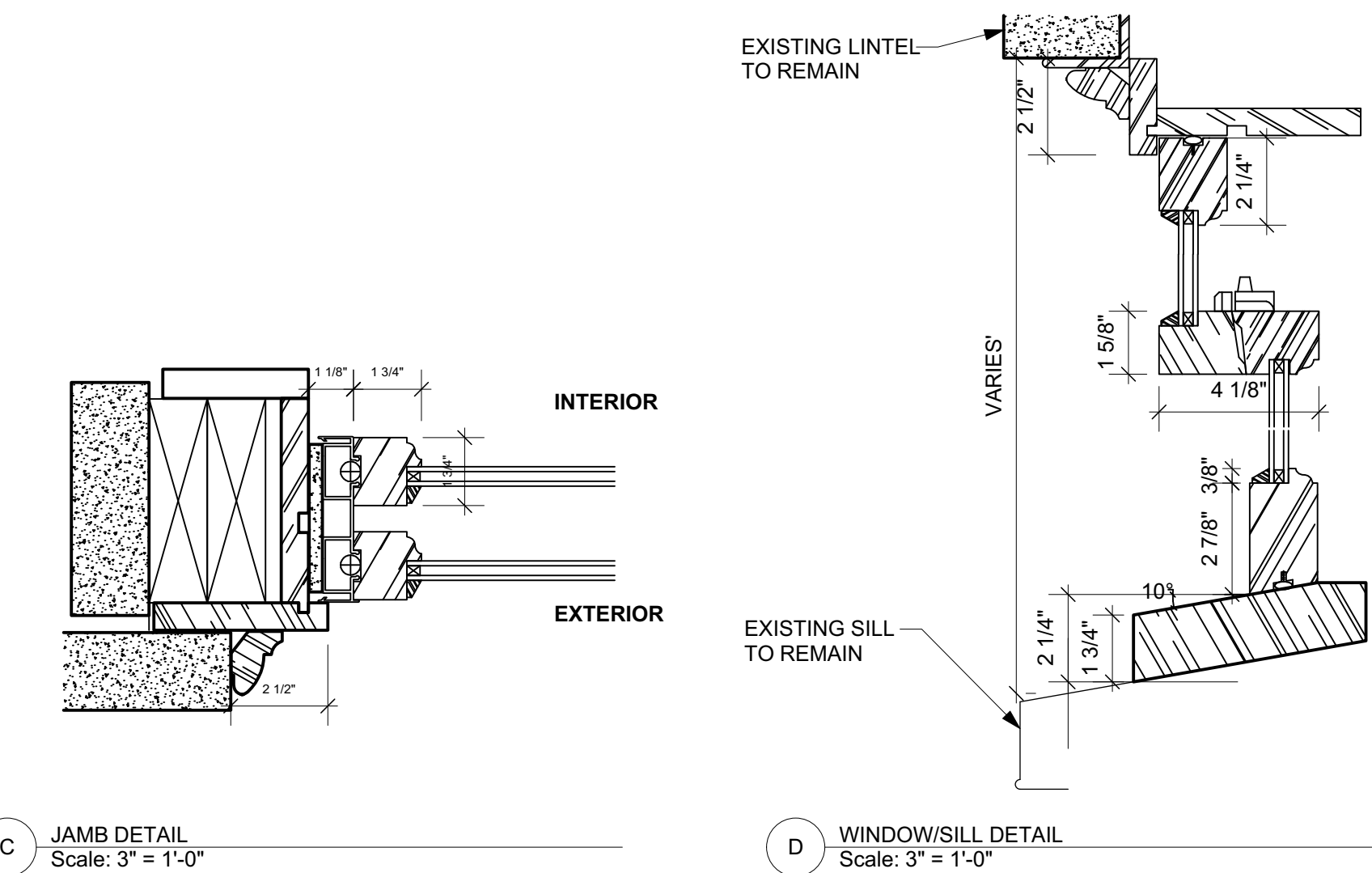
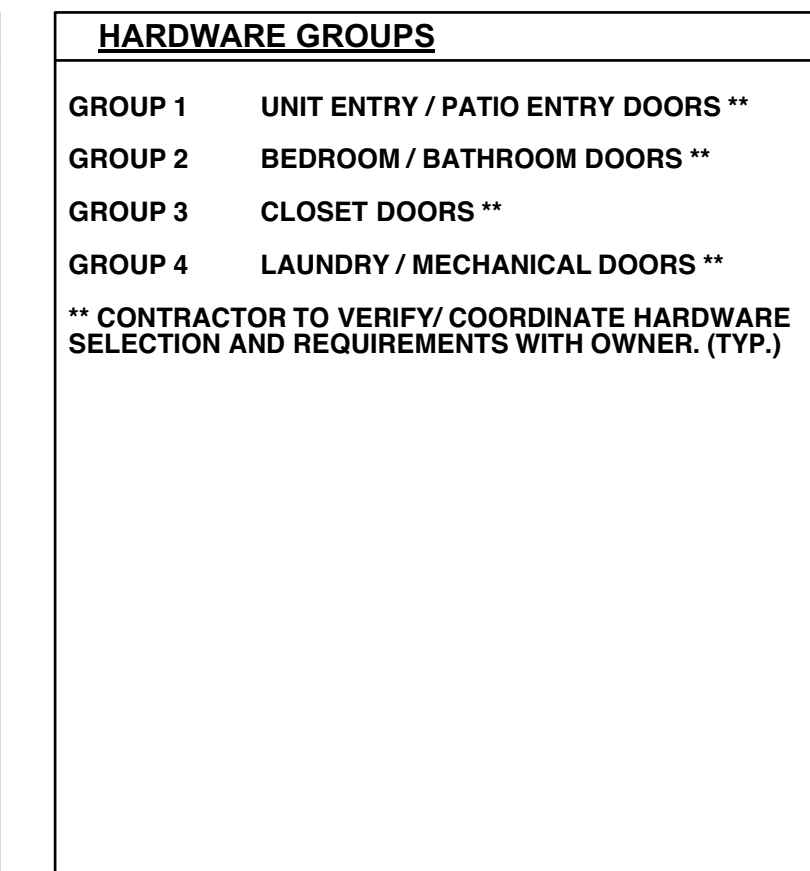
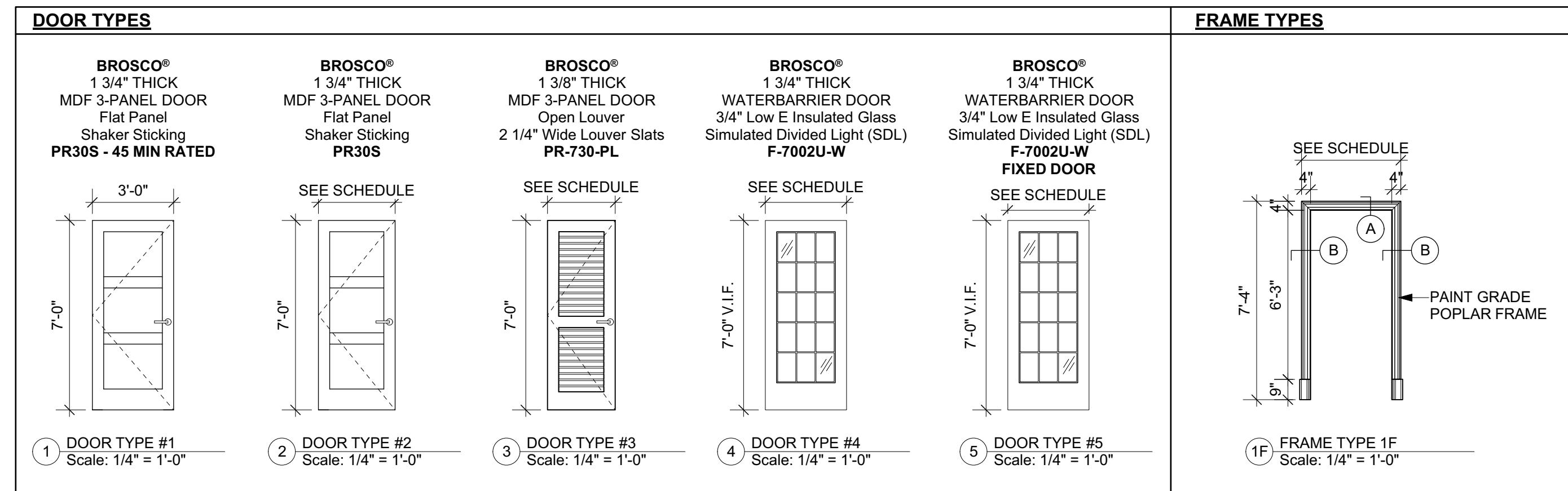
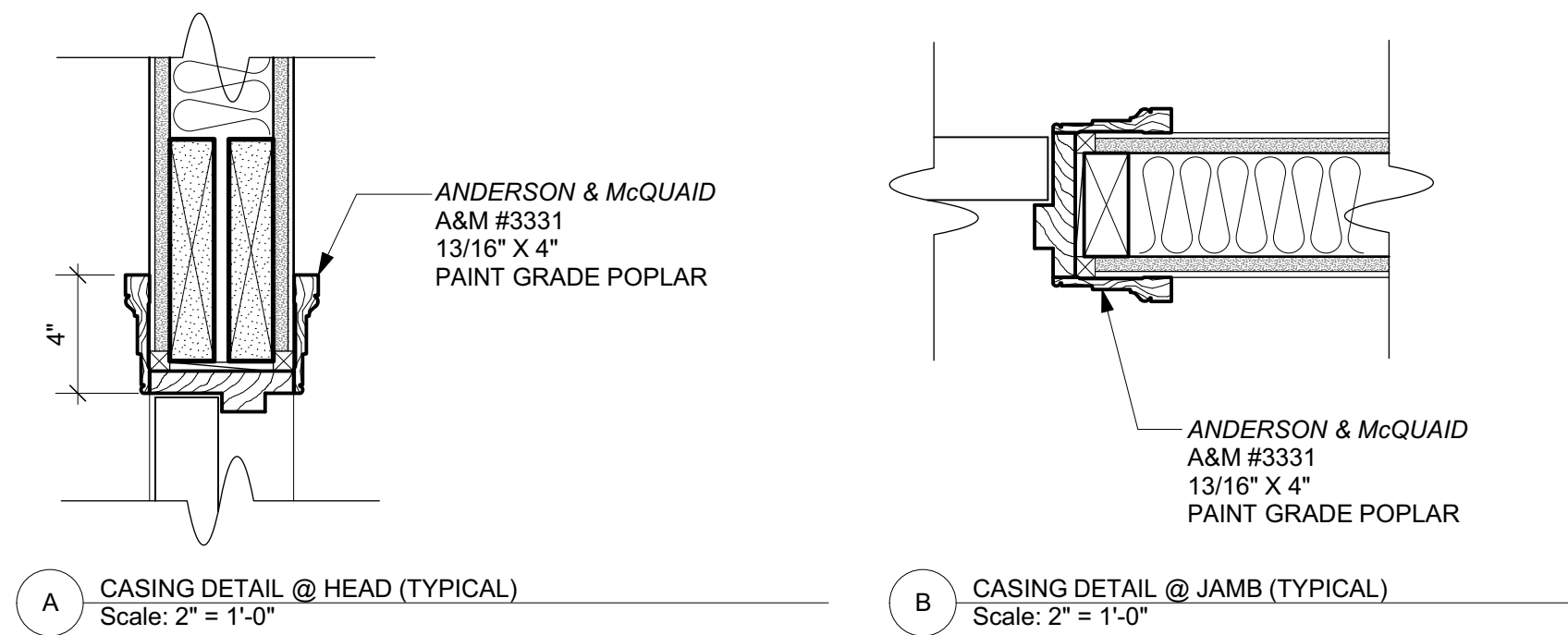
DETAILS

**A-500**

DOOR NUMBER	LOCATION	DOOR SCHEDULE										REMARKS		
		DOOR					FRAME							
		SIZE	MATERIAL	FINISH	TYPE	HWDR. GROUP	MATERIAL	FINISH	TYPE	DETAIL	JAMB			
1	1ST FLOOR UNIT 1 ENTRY	3'-0"	7'-0"	1 3/4"	WD	PNT	1	1	WD	PNT	1F	A	B	45 MIN. FIRE RATED AND LABELED
2	1ST FLOOR HALF BATH	2'-6"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
3	1ST FLOOR CLOSET	3'-0"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
4	1ST FLOOR JULIET BALCONY	2'-3"	7'-0"	1 3/4"	WD/GL	PNT	4	1	--	--	MATCH EX	MATCH EX		CUSTOM SIZE TO FIT EXISTING OPENING (V.I.F.), TEMPERED GLASS
5	BASEMENT LAUNDRY	3'-0"	7'-0"	1 3/8"	WD	PNT	3	4	WD	PNT	1F	A	B	--
6	BASEMENT MECHANICAL ROOM	3'-0"	7'-0"	1 3/4"	WD	PNT	3	4	WD	PNT	1F	A	B	--
7	BASEMENT BATHROOM	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
8	BASEMENT BEDROOM SUITE	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
9	BASEMENT WALK-IN CLOSET	2'-8"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
10	BASEMENT PATIO	3'-0"	7'-0"	1 3/4"	WD	PNT	4	1	--	--	MATCH EX	MATCH EX		TEMPERED GLASS
11	2ND FLOOR UNIT 2 ENTRY	3'-0"	7'-0"	1 3/4"	WD	PNT	1	1	WD	PNT	1F	A	B	45 MIN. FIRE RATED AND LABELED
12	2ND FLOOR BEDROOM 2	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
13	2ND FLOOR BEDROOM 2 CLOSET	(2) 2'-8"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
14	2ND FLOOR BATHROOM	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
15	2ND FLOOR BEDROOM 1	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
16	2ND FLOOR BEDROOM 1 CLOSET	2'-8"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
17	3RD FLOOR HALF BATH	2'-6"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
18	3RD FLOOR CLOSET	3'-0"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
19	4TH FLOOR BEDROOM SUITE	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
20	4TH FLOOR WALK-IN CLOSET	2'-8"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
21	4TH FLOOR BALCONY	2'-4"	7'-0"	1 3/4"	WD/GL	PNT	4	1	--	--	MATCH EX	MATCH EX		CUSTOM SIZE TO FIT EXISTING OPENING (V.I.F.), TEMPERED GLASS
22	4TH FLOOR BATHROOM	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
23	4TH FLOOR LAUNDRY	3'-0"	7'-0"	1 3/8"	WD	PNT	3	4	WD	PNT	1F	A	B	--
24	4TH FLOOR MECHANICAL ROOM	3'-0"	7'-0"	1 3/8"	WD	PNT	3	4	WD	PNT	1F	A	B	--
25	5TH FLOOR BEDROOM 1 CLOSET	2'-8"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
26	5TH FLOOR BEDROOM 1	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
27	5TH FLOOR BEDROOM 2	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
28	5TH FLOOR BEDROOM 2 CLOSET	2'-8"	7'-0"	1 3/4"	WD	PNT	2	3	WD	PNT	1F	A	B	--
29	5TH FLOOR BATHROOM	2'-8"	7'-0"	1 3/4"	WD	PNT	2	2	WD	PNT	1F	A	B	--
30	ROOF DECK ENTRY	3'-0"	7'-0"	1 3/4"	WD/GL	PNT	4	1	WD	PNT	1F	A	B	--
31	4TH FLOOR BALCONY FIXED	2'-4"	7'-0"	1 3/4"	WD/GL	PNT	5	1	WD	PNT	1F	MATCH EX	MATCH EX	CUSTOM SIZE TO FIT EXISTING OPENING (V.I.F.), TEMPERED GLASS

**GENERAL NOTES:**

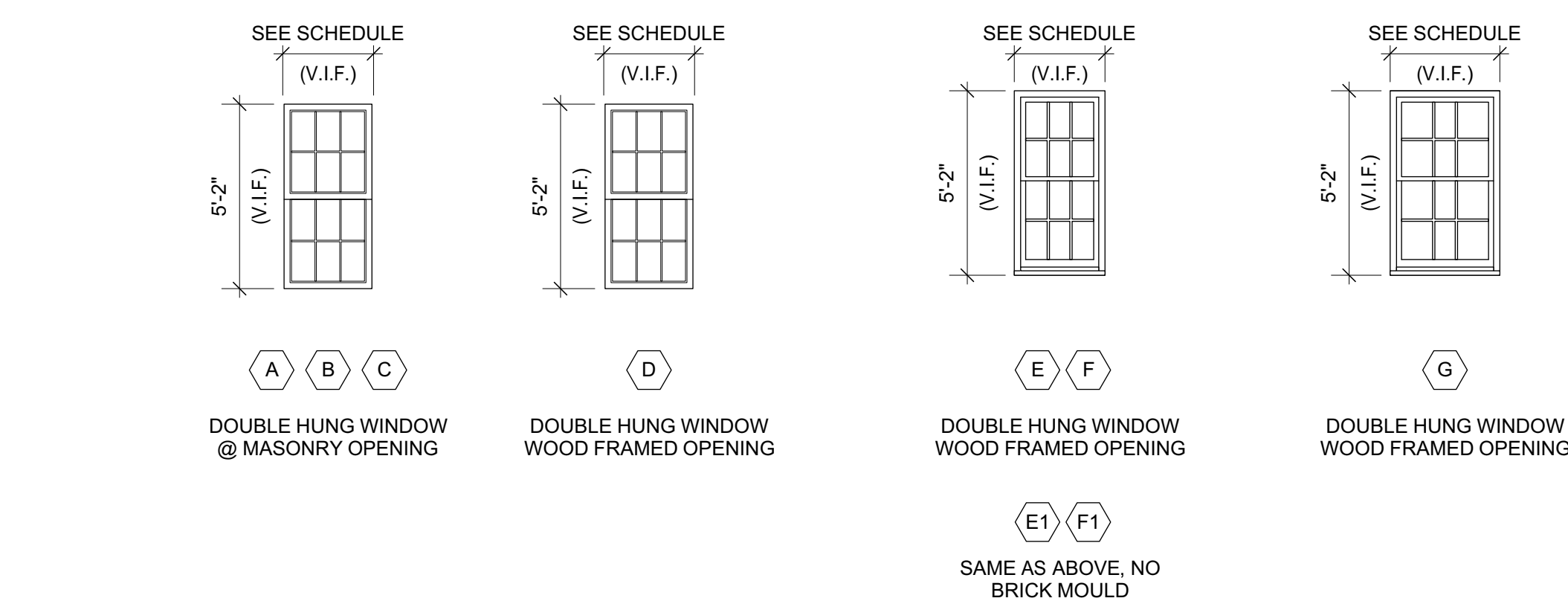
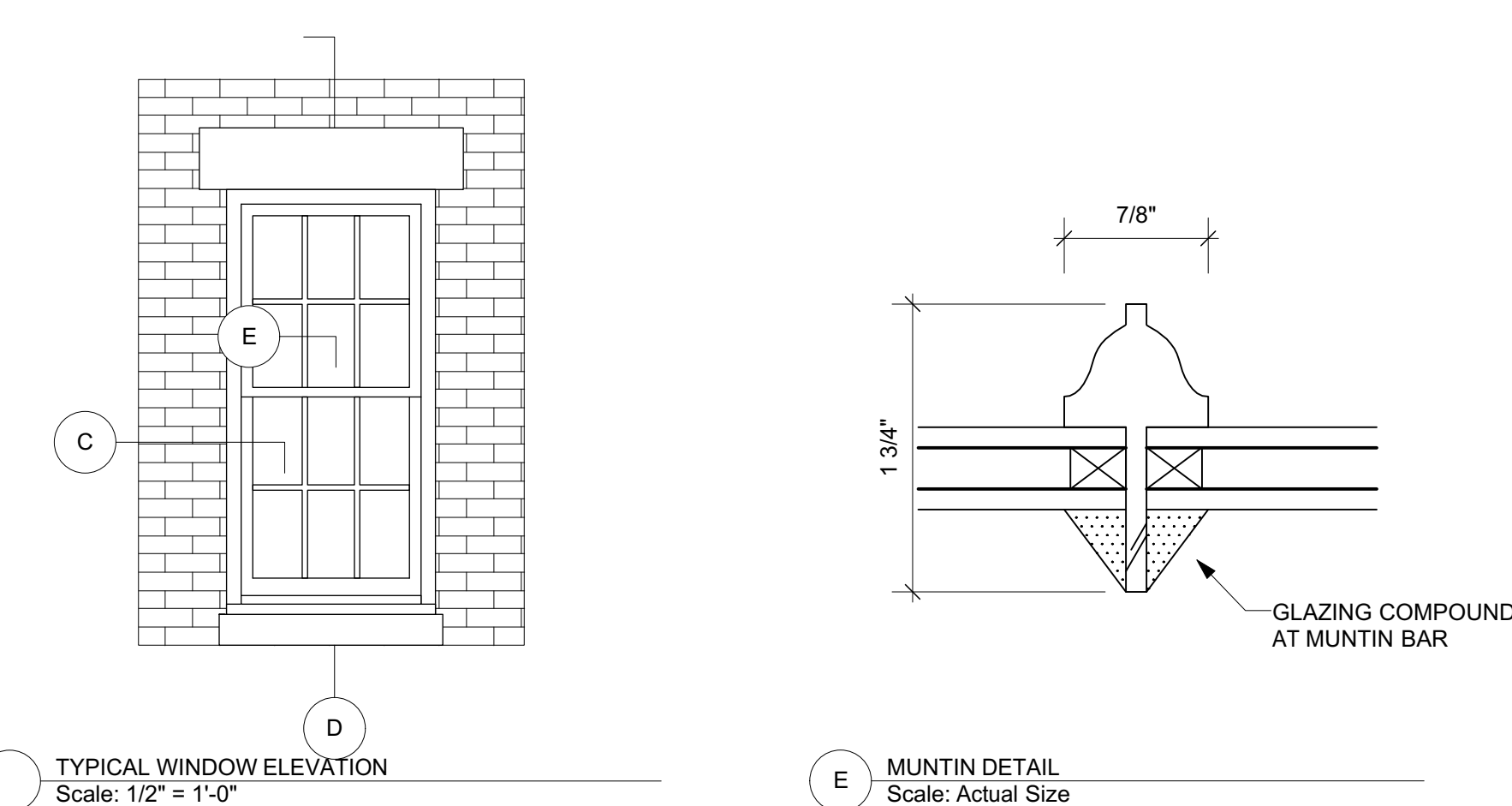
- ALL GLAZING AT EXTERIOR DOORS TO BE INSULATED, LOW-E GLASS (WHERE APPLICABLE).
- CONTRACTOR IS RESPONSIBLE FOR FULL FLASHING AND SEALANT AT ALL A DOOR JAMBS, HEADERS AND THRESHOLDS TO MAINTAIN BUILDING ENVELOPE AND PREVENT WATER INFILTRATION.
- CONTRACTOR TO INSTALL DOOR SWEEPS AT ALL EXTERIOR DOORS INCLUDING EXISTING TO REMAIN.
- ALL SPECIFICATIONS TO BE COORDINATE WITH OWNER AND SUBJECT TO CHANGE.
- CONTRACTOR TO VERIFY/COORDINATE HARDWARE SELECTION AND REQUIREMENTS WITH OWNER (TYP.).
- CONTRACTOR TO COORDINATE LOCKING AND HARDWARE REQUIREMENTS/SPECIFICATIONS WITH OWNER.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS OF ALL DOORS FOR OWNER/ARCHITECT APPROVAL.
- CONTRACTOR MUST VERIFY QUANTITIES, WINDOW DIMENSIONS, ROUGH OPENINGS AND/OR MASONRY OPENINGS PRIOR TO ORDERING



KEY	TYPE	UNIT SIZE	ROUGH OPENING	MAKE/ MODEL	FINISH	REMARKS
(A)	DOUBLE HUNG	± 2'-9 1/2"W x 5'-2"H (V.I.F.)	VERIFY IN FIELD	ANDERSON 400 (OR APPROVED EQUAL)	BLACK	SILL HEIGHT, T.O. WINDOW, FINISH AND DETAILING TO MATCH EXISTING WINDOWS (V.I.F.)
(B)	DOUBLE HUNG	± 2'-6 1/2"W x 5'-2"H (V.I.F.)	VERIFY IN FIELD	ANDERSON 400 (OR APPROVED EQUAL)	BLACK	SILL HEIGHT, T.O. WINDOW, FINISH AND DETAILING TO MATCH EXISTING WINDOWS (V.I.F.)
(C)	DOUBLE HUNG	± 2'-9 1/2"W x 5'-2"H (V.I.F.)	VERIFY IN FIELD	ANDERSON 400 (OR APPROVED EQUAL)	BLACK	SILL HEIGHT, T.O. WINDOW, FINISH AND DETAILING TO MATCH EXISTING WINDOWS (V.I.F.)
(D)	DOUBLE HUNG	± 2'-9 1/2"W x 5'-2"H (V.I.F.)	VERIFY IN FIELD	ANDERSON 400 (OR APPROVED EQUAL)	BLACK	SILL HEIGHT, T.O. WINDOW, FINISH AND DETAILING TO MATCH EXISTING WINDOWS (V.I.F.)
(E)	DOUBLE HUNG	± 2'-6 1/2"W x 5'-2"H (V.I.F.)	VERIFY IN FIELD	JB SASH - PROPER BOSTONIAN	BLACK	SILL HEIGHT, T.O. WINDOW, FINISH AND DETAILING TO MATCH EXISTING WINDOWS (V.I.F.)
(F)	DOUBLE HUNG	± 2'-6 1/2"W x 5'-2"H (V.I.F.)	VERIFY IN FIELD	JB SASH - PROPER BOSTONIAN	BLACK	SILL HEIGHT, T.O. WINDOW, FINISH AND DETAILING TO MATCH EXISTING WINDOWS (V.I.F.)
(G)	DOUBLE HUNG	± 3'- 7/8"W x 5'-2"H (V.I.F.)	VERIFY IN FIELD	JB SASH - PROPER BOSTONIAN	BLACK	SILL HEIGHT, T.O. WINDOW, FINISH AND DETAILING TO MATCH EXISTING WINDOWS (V.I.F.)
S1	FIXED SKYLIGHT	22 1/2" x 46 1/2" (INSIDE CURB)	VERIFY IN FIELD	VELUX® FCM MODEL 2246	BLACK	VERIFY EXISTING FRAMING; INSTALL WITH FULLY FLASHED CURB
S2	-NOT USED-					
S3	-NOT USED-					
S4	-NOT USED-					

**GENERAL NOTES:**

- ALL BATHROOM WINDOWS IN SHOWER OR TUB LOCATIONS SHALL BE TEMPERED GLASS
- ALL WINDOWS TO MATCH EXISTING SIZE, FINISH, DETAILING AND ALIGNMENT. DETAILS TO BE COORDINATED WITH WINDOW MANUFACTURER TO REPLICATE EXISTING MUNTINS, HEAD, SILL, JAMB AND BRICK MOLD AT MASONRY OPENINGS.
- CONTRACTOR MUST VERIFY QUANTITIES, WINDOW DIMENSIONS, ROUGH OPENINGS AND/OR MASONRY OPENINGS PRIOR TO ORDERING
- ALL WINDOWS TO BE BY ANDERSON 400 ARCHITECT SERIES TRADITIONAL UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY OPERATION OF EXISTING DOUBLE HUNG WINDOWS AND NEW WINDOWS A, B AND D PROVIDE MA APPROVED EMERGENCY ESCAPE AT BEDROOM UNITS



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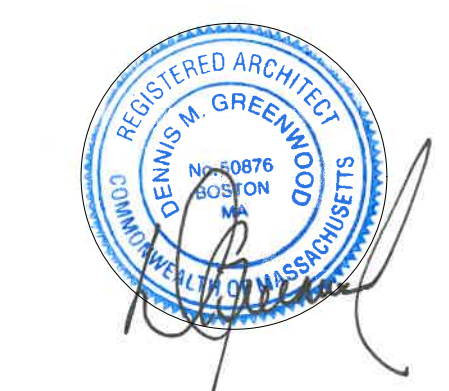
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ISSUED FOR:  
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REVISED 04.27.2022

**SOUSA design**  
Architects

81 Baylison Street, 2nd Floor  
Brookline, MA 02445  
617 - 879 - 9100



Job # 202114

Drawn by TB Ckd by DMG

Date 04.27.2022

**Revisions**

NO.	DESCRIPTION	DATE
01	FRONT WINDOWS	12.15.2021
02	PLAN REVIEW	04.27.2022

**DOOR SCHEDULE**

**A-600**



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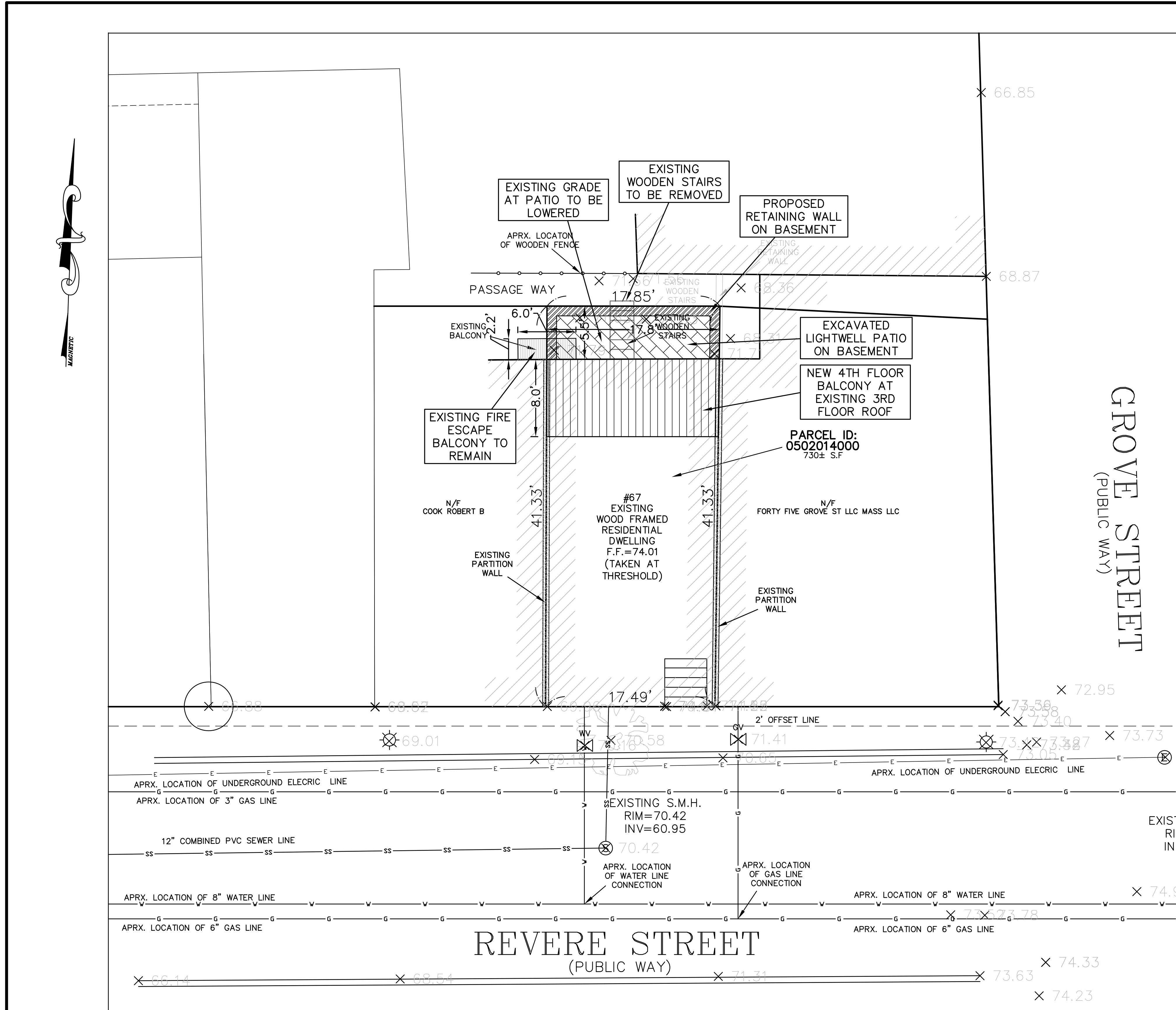
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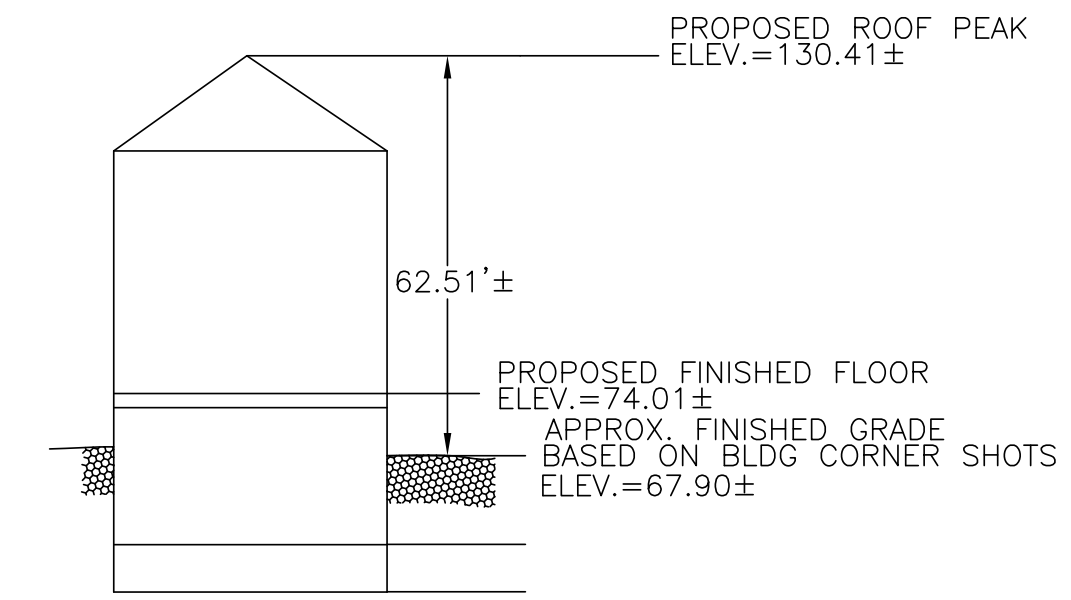
PROPOSED SITE PLAN

SP-100

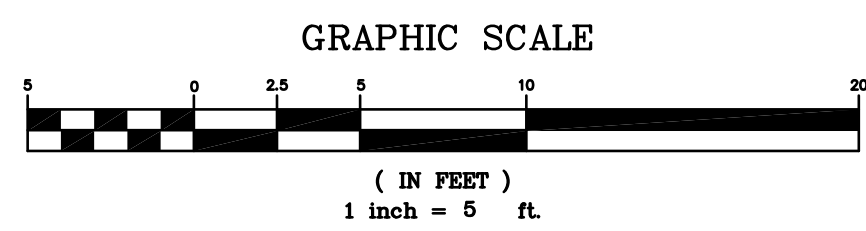


NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 9/15/2021.
2. DEED REFERENCE: BOOK 65617, PAGE 240  
PLAN REFERENCE: PLAN BOOK 8448, PLAN 717 OF 1971,  
SUFFOLK COUNTY REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0077J, IN COMMUNITY NUMBER: 250286, DATED 3/16/2016.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM.



PROPOSED PROFILE  
NOT TO SCALE



SCALE 1"=5'			
DATE 3/2/2022	REV	DATE	REVISION
SHEET 1	67 REVERE STREET BOSTON MASSACHUSETTS		BY
PLAN NO. 1 OF 1	PROPOSED PLOT PLAN		SHEET NO. <b>1</b>
CLIENT:			
DRAWN BY CS	<b>PETER NOLAN &amp; ASSOCIATES, LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02459 PHONE: 857 891 7478/617 782 1533 FAX: 617 202-5691 EMAIL: pnolan@pnasurveyors.com		

**GENERAL CONDITIONS**

- G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON STRUCTURAL DRAWINGS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
- FOR RENOVATION WORK STRUCTURAL DRAWINGS PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED CONTACT ENGINEER IMMEDIATELY. REVISIONS TO THE STRUCTURAL FRAMING MAY BE REQUIRED.
- FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

**FOUNDATIONS**

- WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS AND UNDERLYING SOILS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION AND/OR ADDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING, OR HIRING A THIRD PARTY TO VERIFY, THAT THE EXISTING FOUNDATION AND UNDERLYING SOILS CONFORMS TO BUILDING CODE REQUIREMENTS AND PERFORMANCE SPECS IN THESE PLANS. IF FOUNDATIONS ARE FOUND BY CONTRACTOR TO NOT BE SUITABLE, CONTRACTOR TO CONTACT DAVIDSON ENGINEERING ASSOCIATES IMMEDIATELY AS REDESIGN OF THESE PLANS WILL LIKELY BE REQUIRED.
- SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 POUNDS PER SQUARE FOOT.
- EXISTING FOUNDATION WALLS MUST BE BEARING ON SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 POUNDS PER SQUARE FOOT.
- EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
- EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
- BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557.
- BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
- PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

**CONCRETE**

- ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS: FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
- SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
- REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60. FIELD BENT - ASTM A615, GRADE 40 WELDED WIRE FABRIC - ASTM A185.

**ROUGH CARPENTRY**

- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE (MBC) AND THE INTERNATIONAL BUILDING CODE (IBC).
- REFER THE MBC AND IBC FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE MBC AND IBC OR IN THESE DRAWINGS.
- REFER TO IBC FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 2304.9.1 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS.
- ENGINEER MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fv = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
- WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
- LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3100 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- WOOD "I" BEAMS SHALL BE BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
- ENGINEERED WOOD POSTS (VERSA COLUMNS), AS NOTED ON PLANS, SHALL BE VERSA-LAM 1.7 2650.
- PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 1/2" THICK AND WALL SHEATHING SHALL BE 1/2" THICK.
- ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED.
- ALL METAL CONNECTORS INCLUDING JOIST AND BEAM HANGERS AND COLUMN CAP AND BASES SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING.
- UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ONE JACK STUD AND ONE KING STUD.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED OR NOTCHED IN FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
- SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
- BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2"Ø BOLTS AT 16" ON CENTER OR 3-1/4"Ø DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES, FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
- IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITIONS WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING.
- MINIMUM BEAM BEARING TO BE 3 INCHES UNLESS NOTED OTHERWISE ON PLAN.
- BEARING WALL SCHEDULE  
-ALL EXTERIOR WALLS:  
2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/3 POINTS  
-1ST FLOOR INTERIOR BEARING WALLS:  
2x4@16 OR 2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/3 POINTS  
-2ND & 3RD FLOOR INTERIOR BEARING WALLS:  
2x4@16 OR 2x6@16"OC WITH 1 ROW OF HORIZ. BLOCKING AT MID-HEIGHT OF WALL

**DESIGN LOADS PER MASSACHUSETTS STATE BUILDING CODE**

**LIVE LOADS**

GROUND SNOW LOAD:	40 PSF
UNINHABITABLE ATTICS WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE:	20 PSF
HABITABLE ATTICS AND SLEEPING AREAS:	30 PSF
ALL OTHER AREAS	40 PSF

**WIND LOADS**

MASSACHUSETTS STATE BUILDING CODE 128 MPH, EXPOSURE B

**DEAD LOAD**

WEIGHTS OF MATERIALS AND CONSTRUCTION

HANGER SELECTION TABLE			
MEMBER	QT	1	2
2X8	LUS2B	LUS2B-2	LUS2B-3
2X10	LUS210	LUS210-2	LUS210-3
2X12	LUS210	LUS210-2	LUS210-3
5/8"LVL	HU9	HHUS410	HHUS610
1 1/8"LVL	HU11	HHUS410	HHUS610
1 1/4"LVL	HU14	HHUS410	HHUS610
2 3/8" FLG I-JOIST	IUS 2.37		
2 1/2" FLG I-JOIST	IUS 2.56		
3 1/2" FLG I-JOIST	IUS 3.56		

NOTE:  
1. USE HANGERS ABOVE FOR PROPOSED STRUCTURE UNLESS OTHERWISE NOTED ON FRAMING PLANS.  
2. INSTALL ALL HANGERS WITH MAXIMUM NUMBER OF FASTENERS.

Rev: Date:

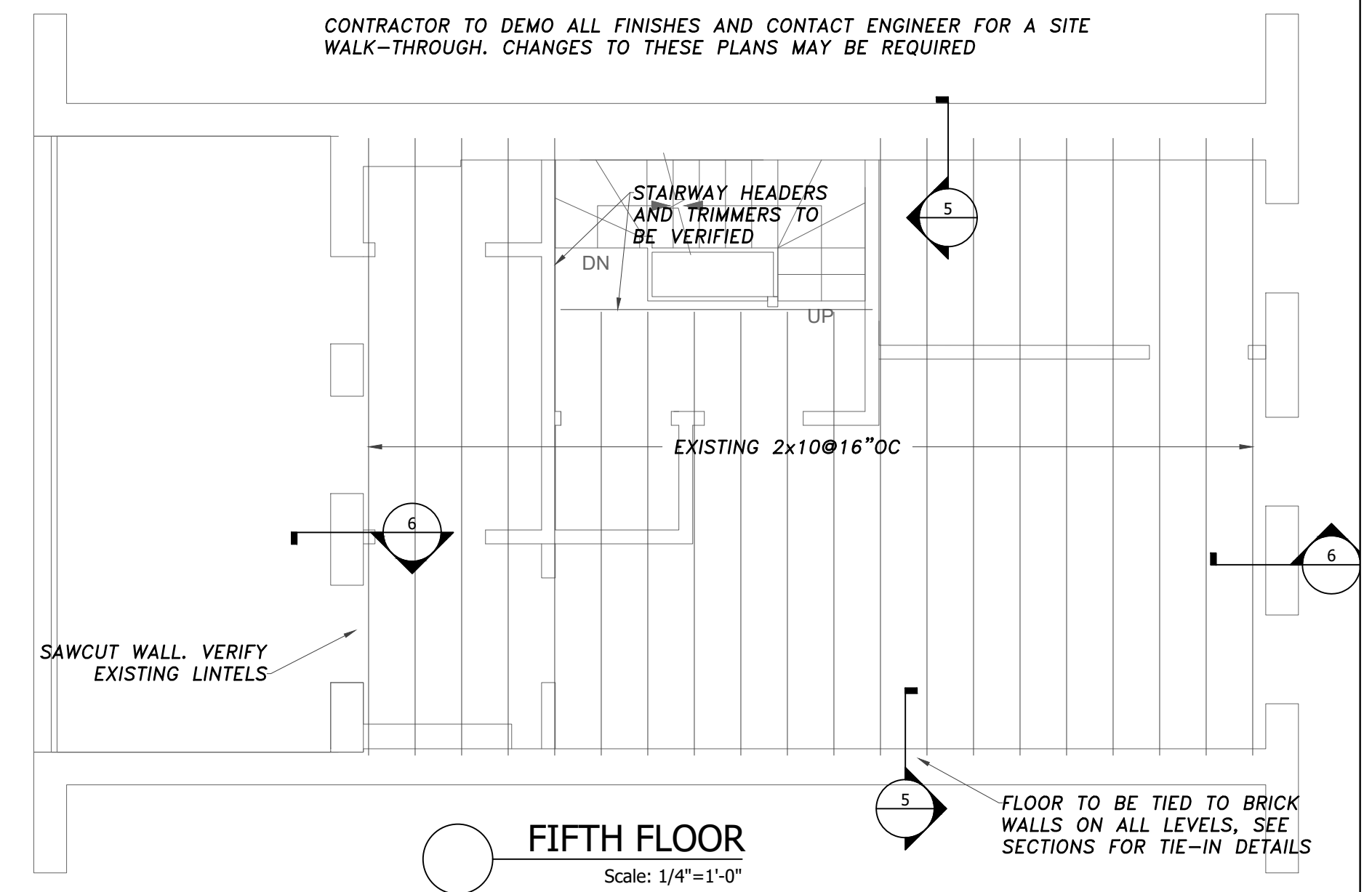
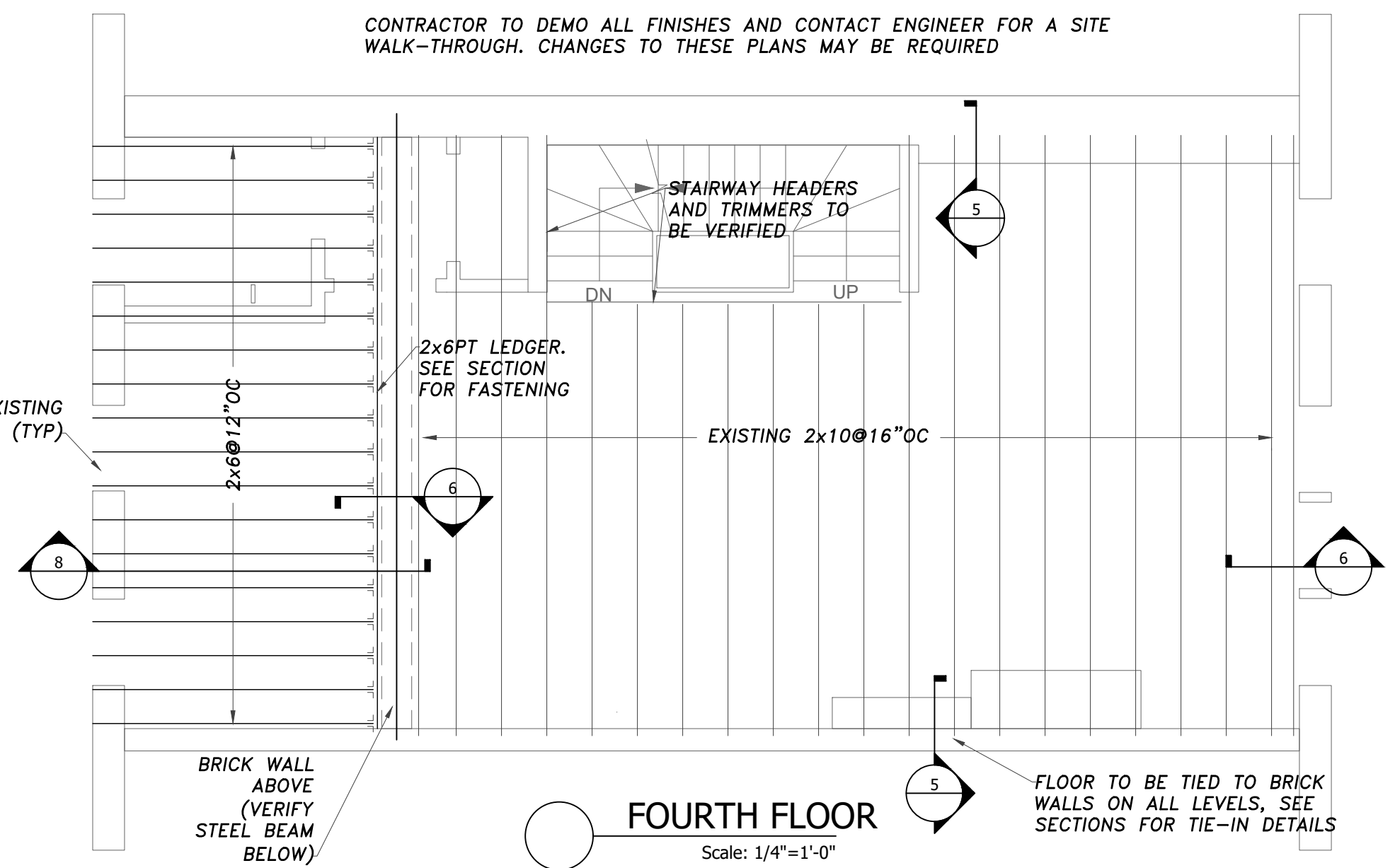
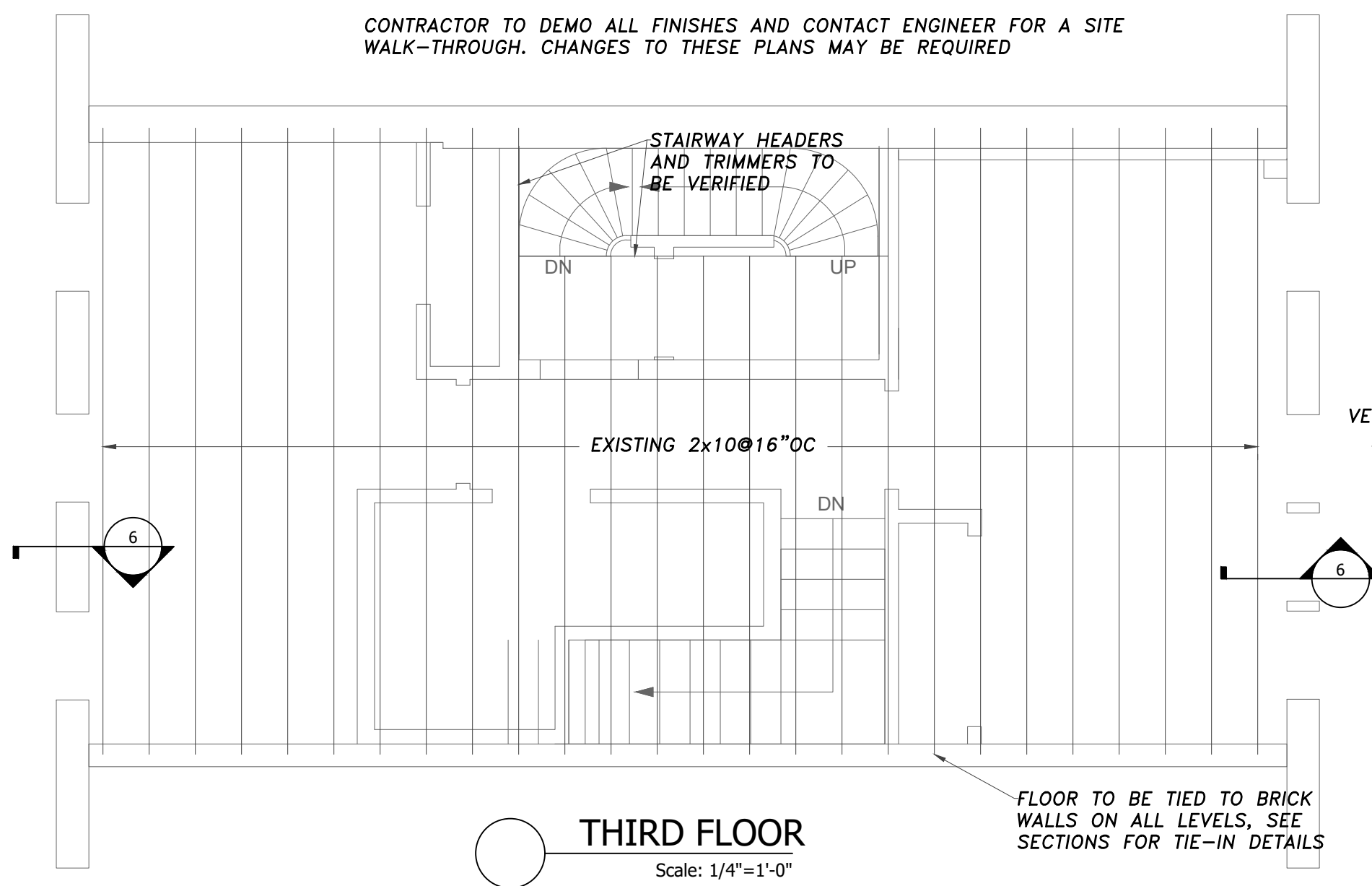
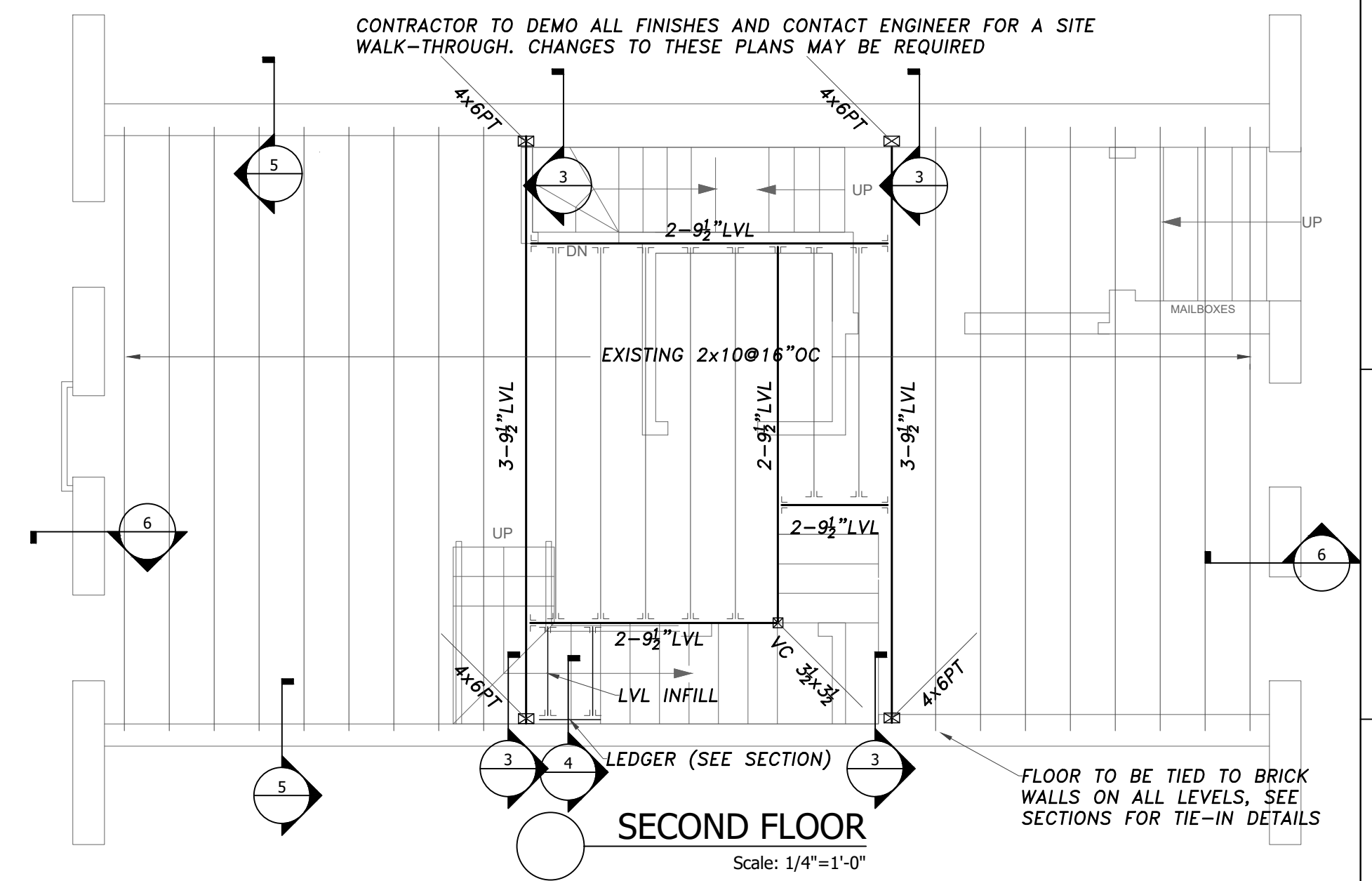
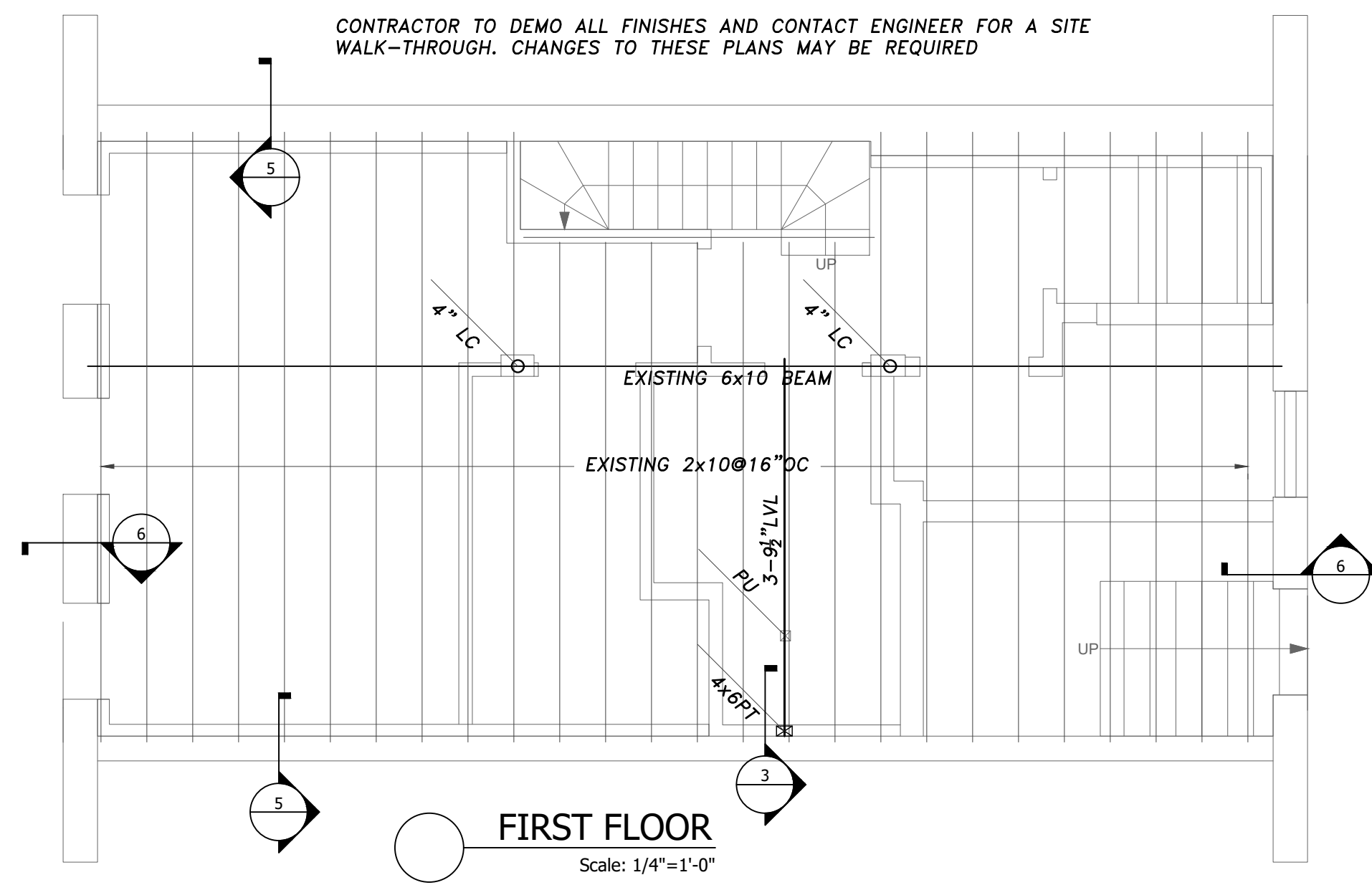
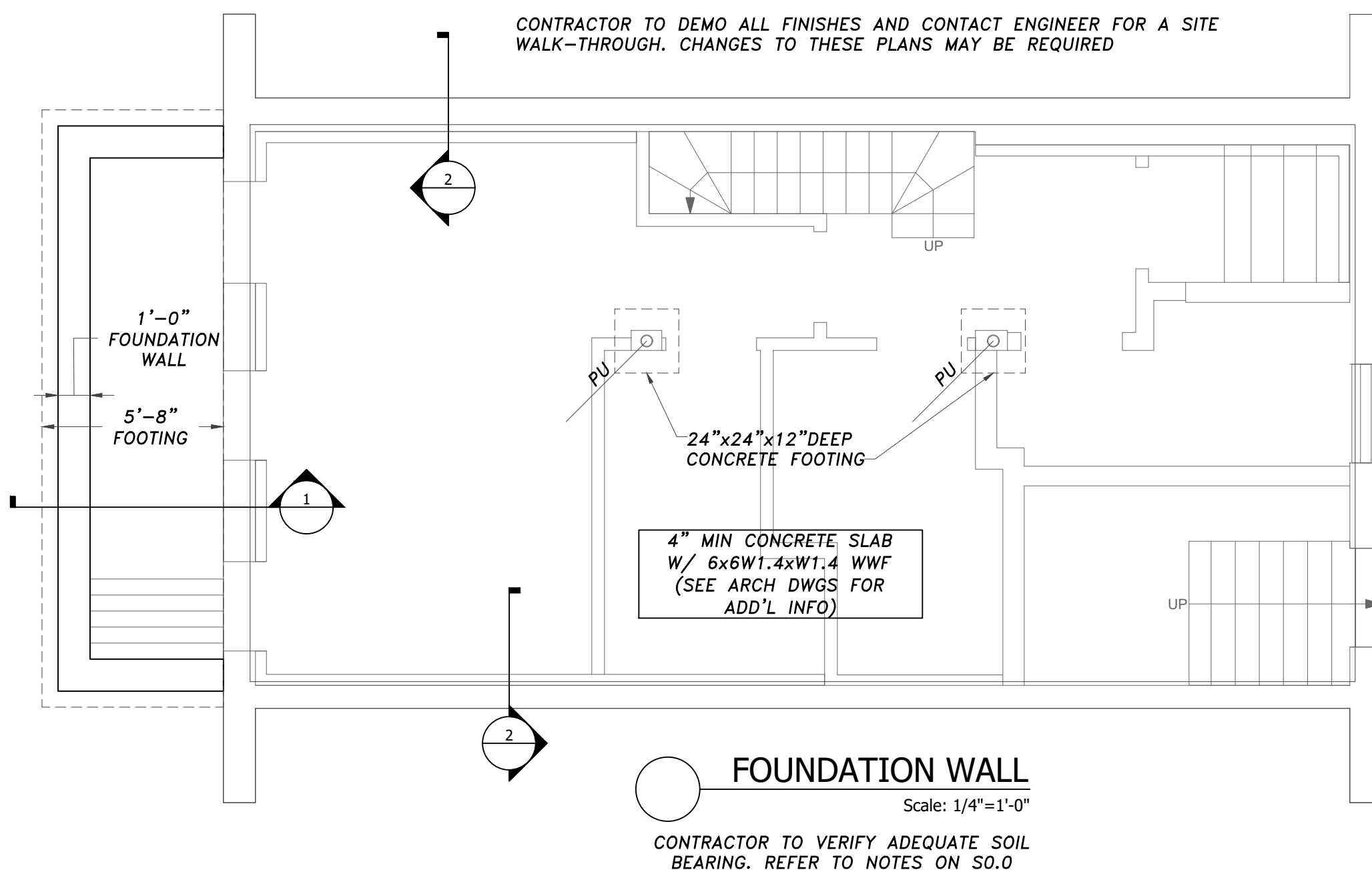

**FOR CONST.**

Date : OCT. 19, 2021

DRAWING SCALES  
SHOWN ARE BASED ON  
AN 24x36 SIZE DRAWING

**NOTES AND  
SPECS**

**S0.0**



**LEGEND**

BW = BEARING WALL  
FVP = FLAT VALLEY PLATE  
(E) = EXISTING  
(N) = NEW  
TBR = TO BE REMOVED

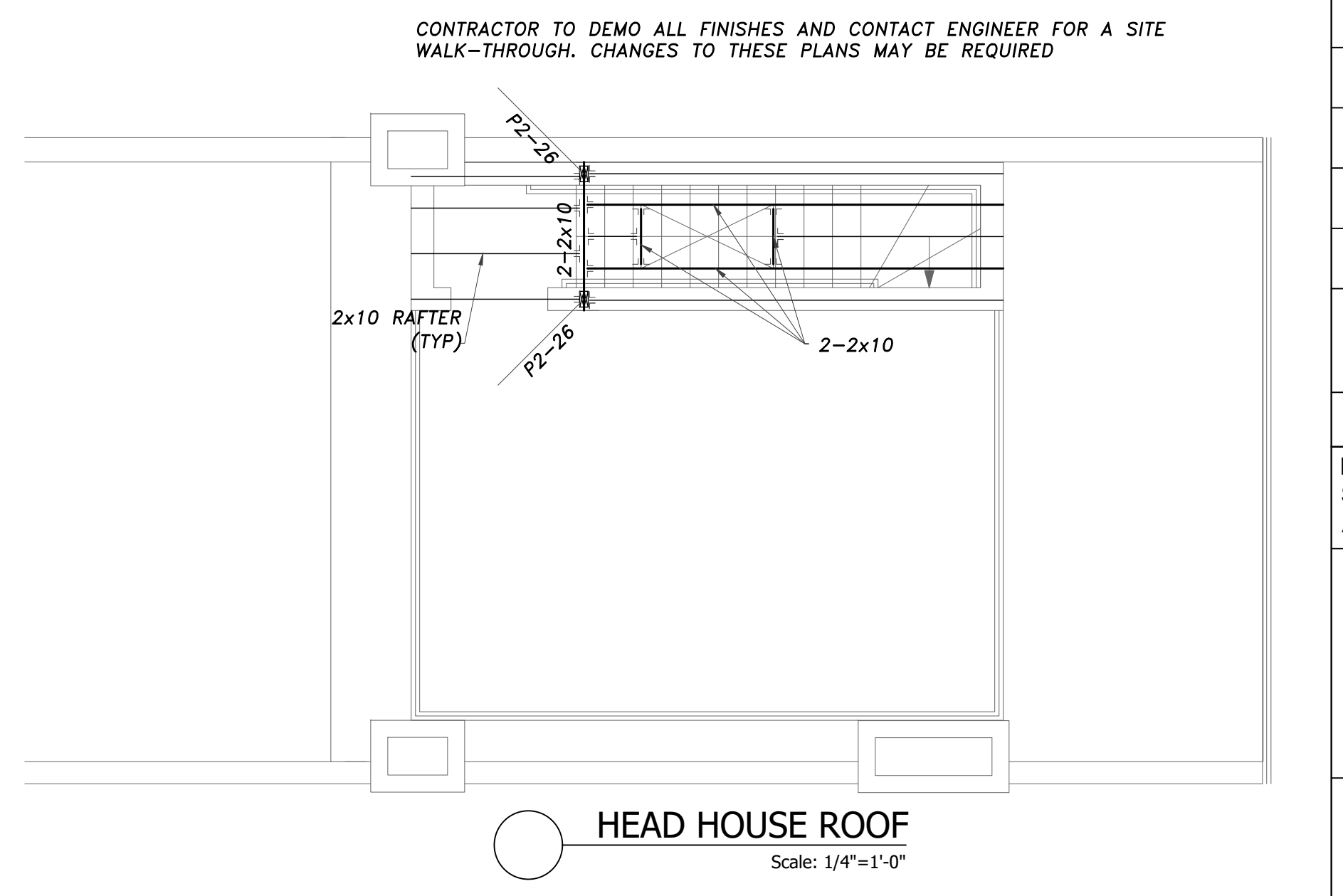
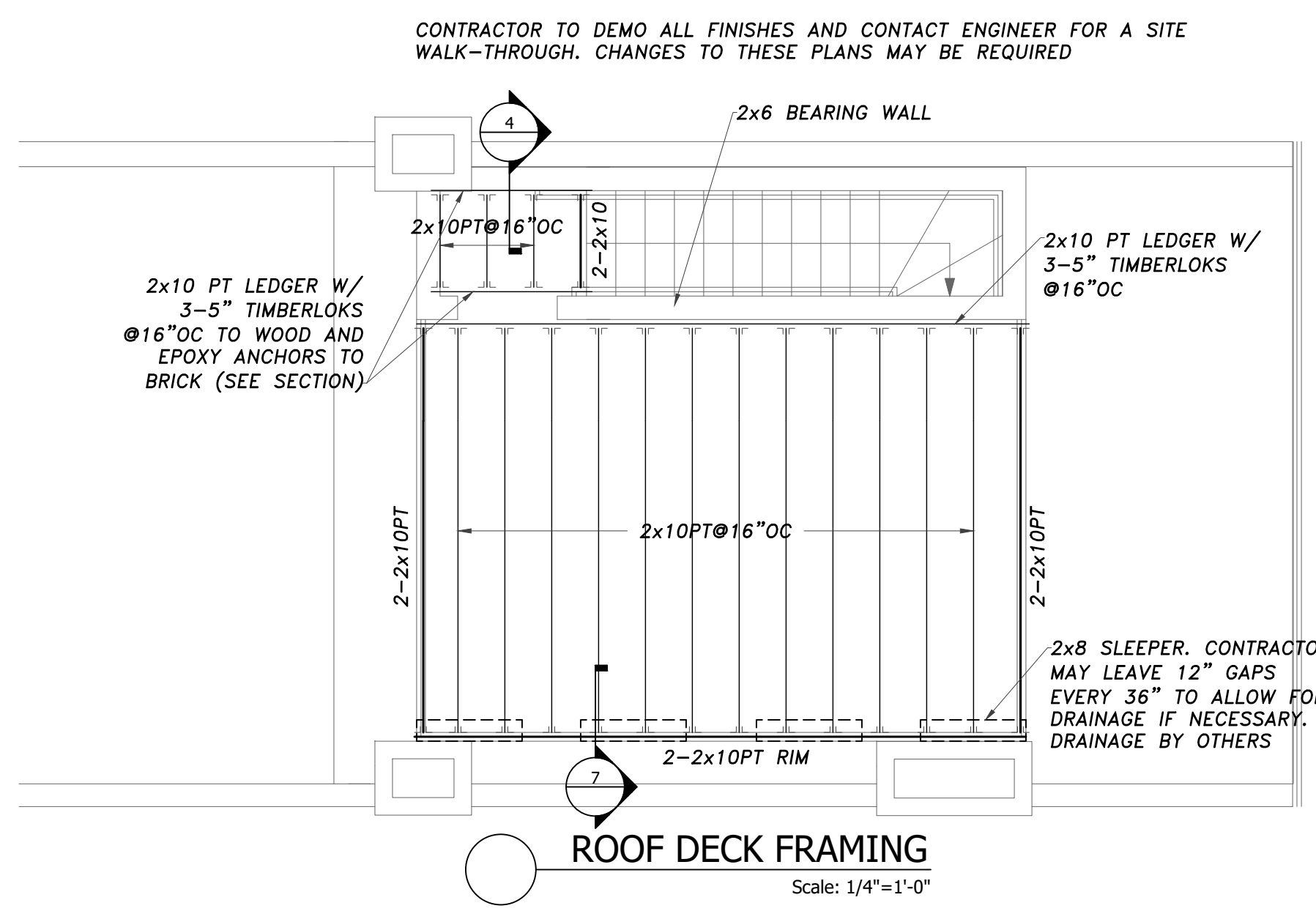
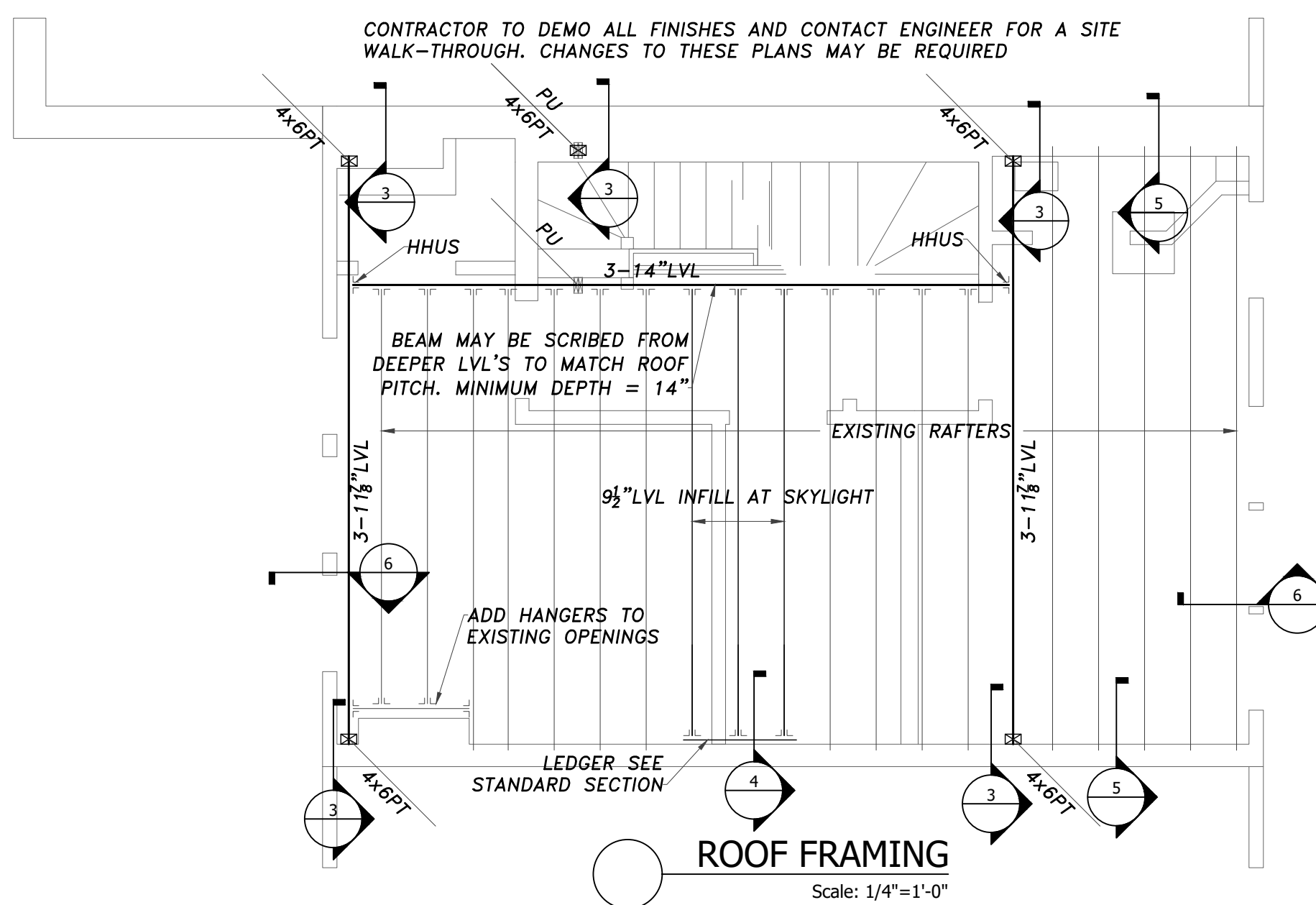
POST LOCATION: POST UP (ABOVE LINE), POST DOWN (BELOW LINE)

DIM. LUMBER POST: NUMBER OF STUDS, P3-26 SIZE OF STUD

TYPE OF POST: P-POST, J-JACK, ENGINEERED POST

LC 3/8" SIZE

TYPE OF POST: VC-VERSA COLUMN, LC-LALLY COLUMN, HSS-TUBE STEEL



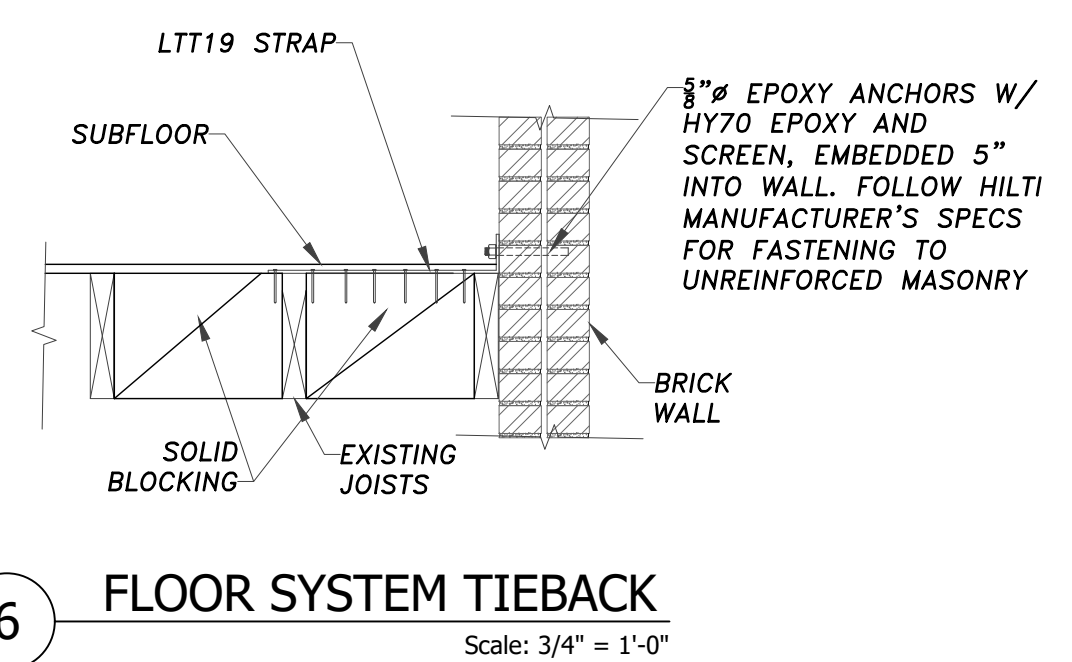
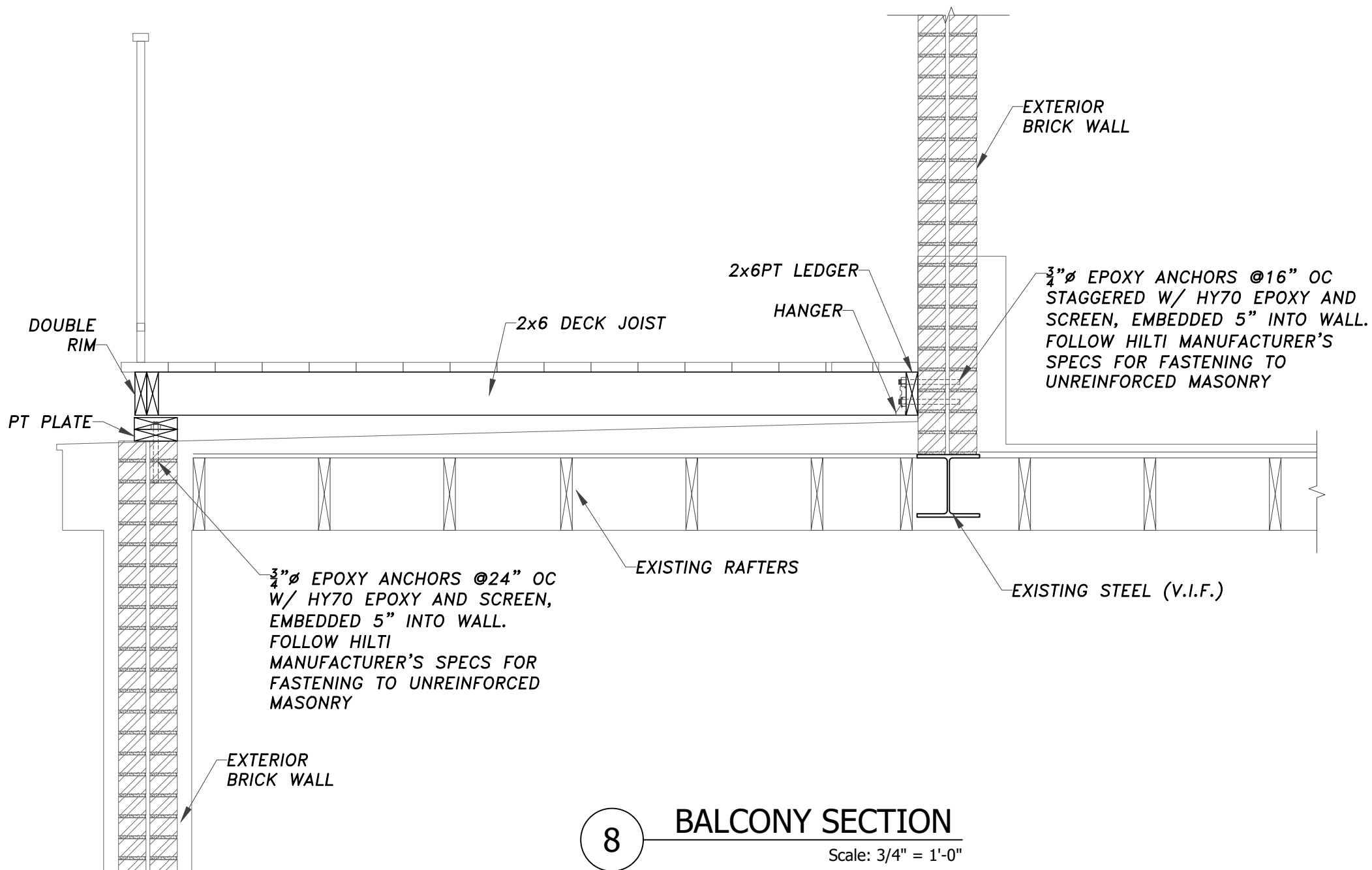
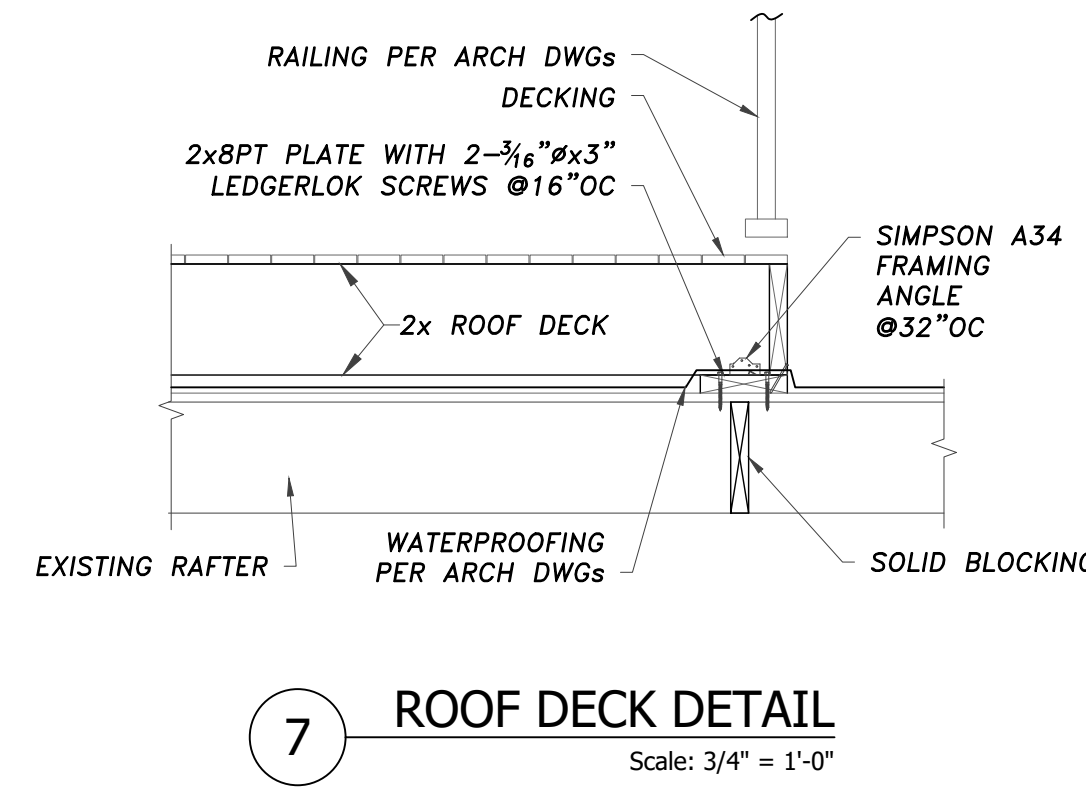
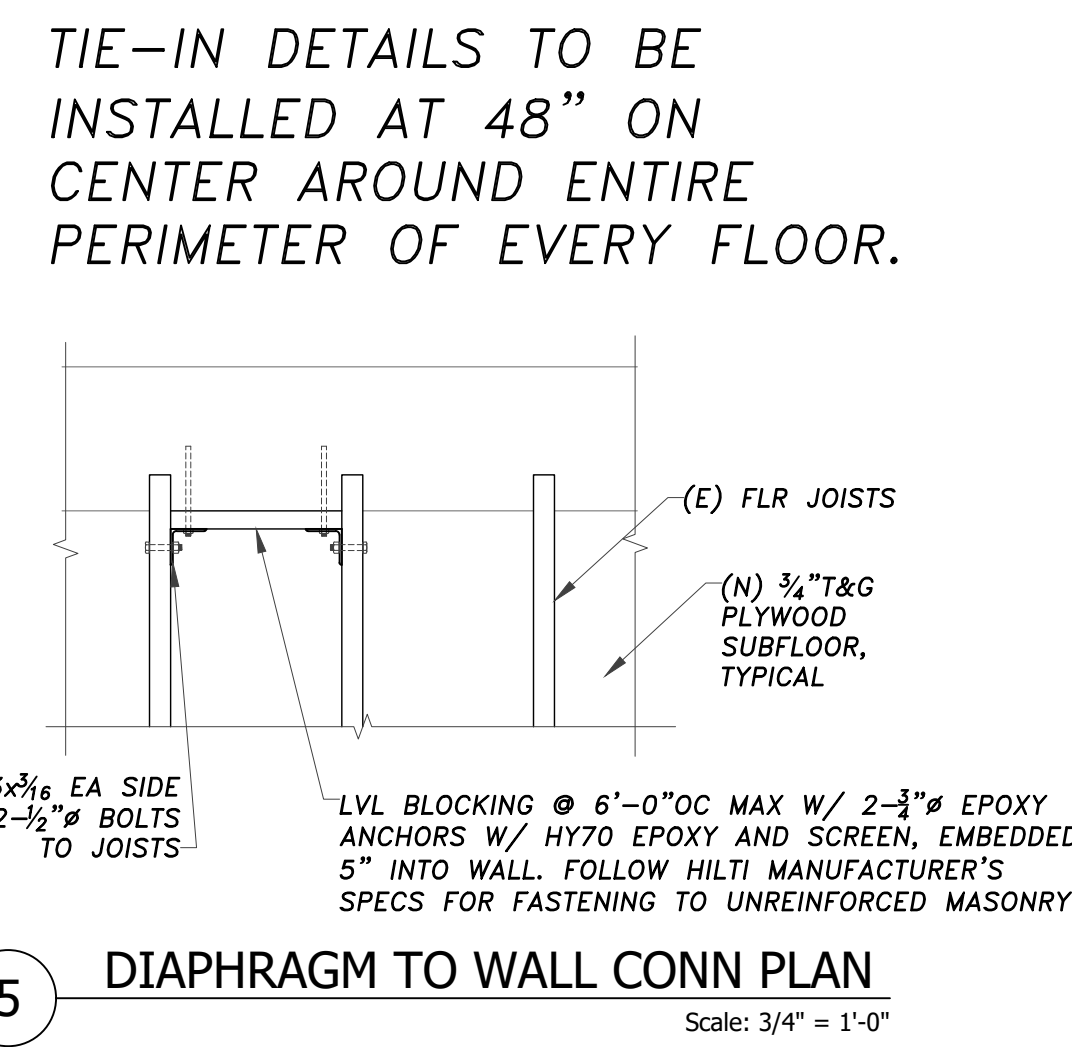
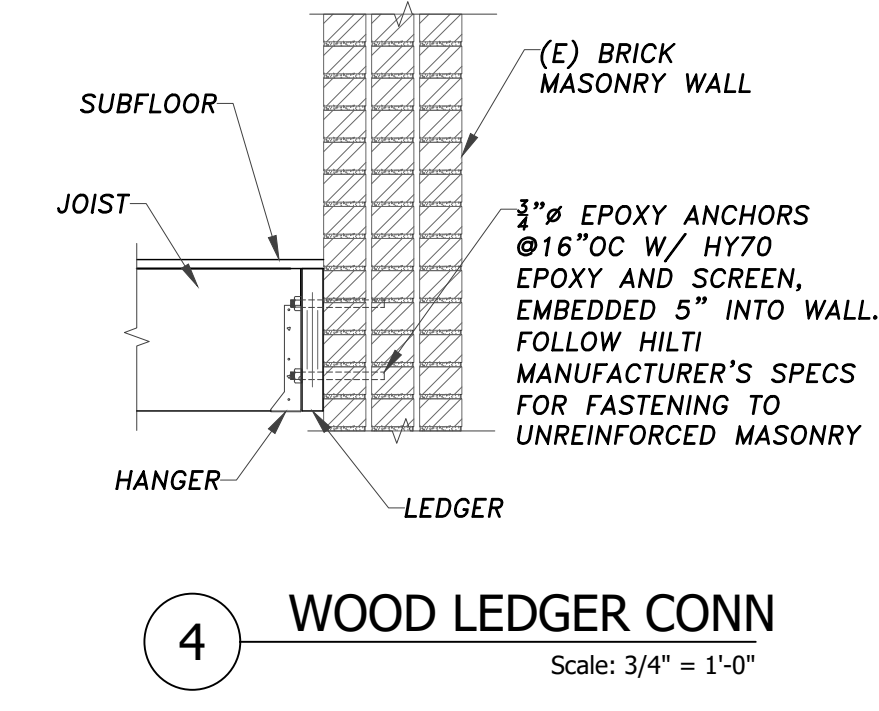
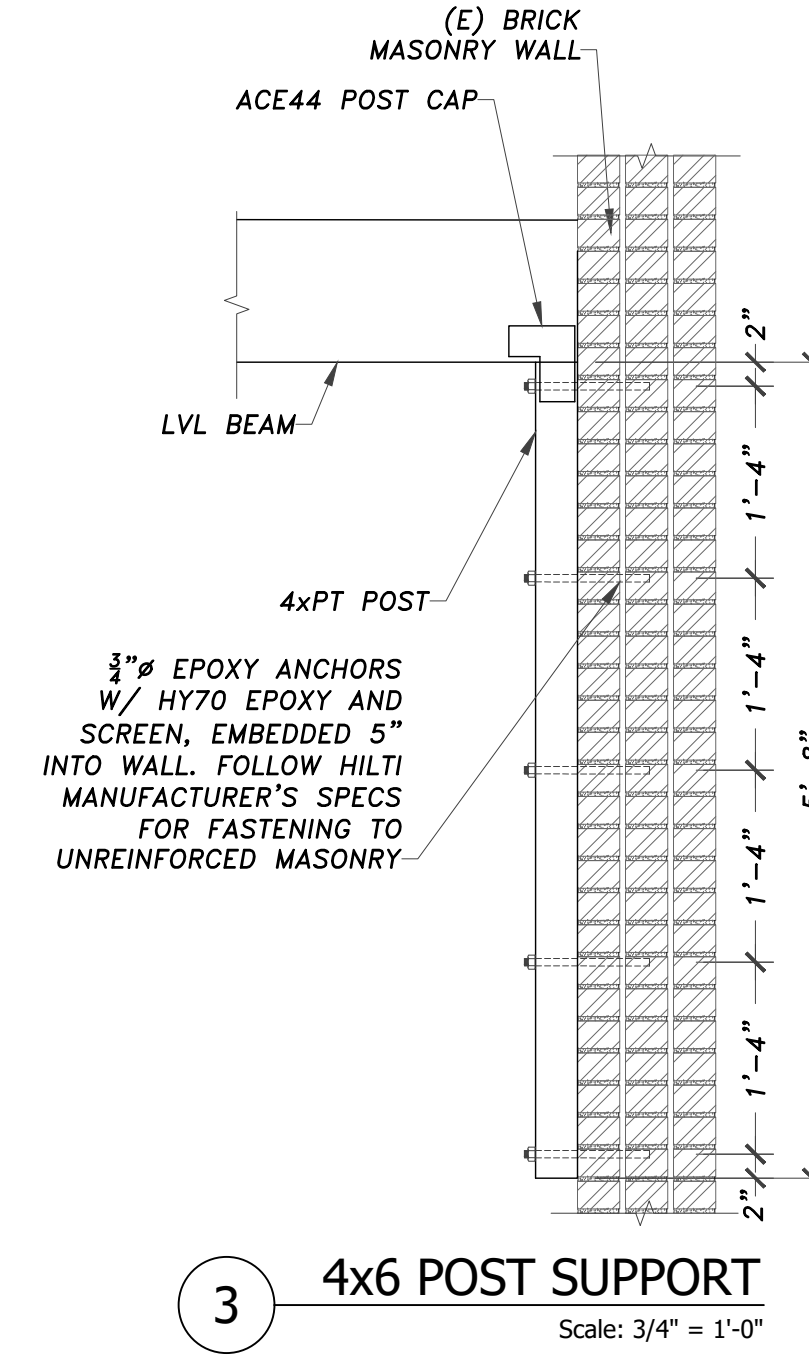
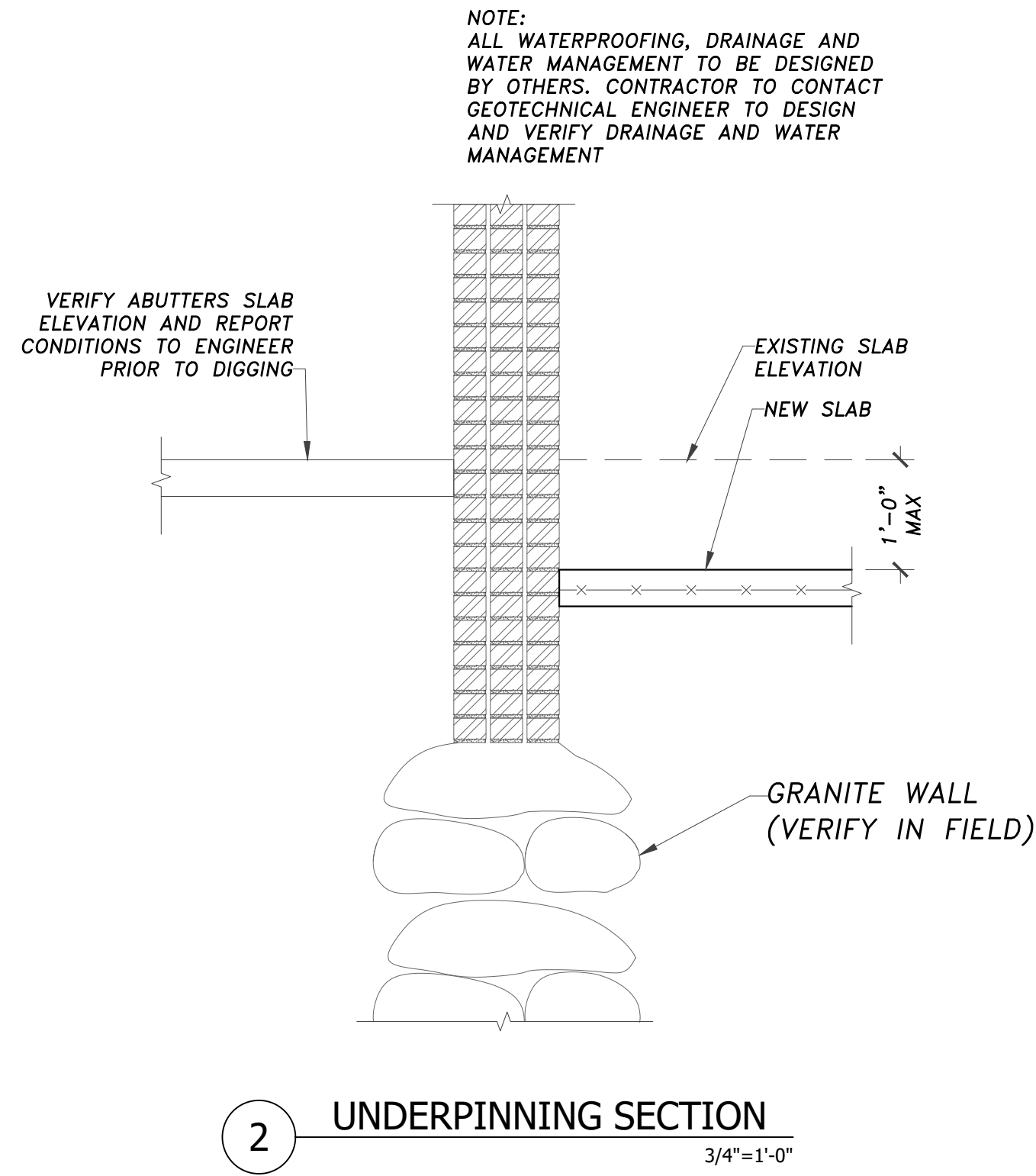
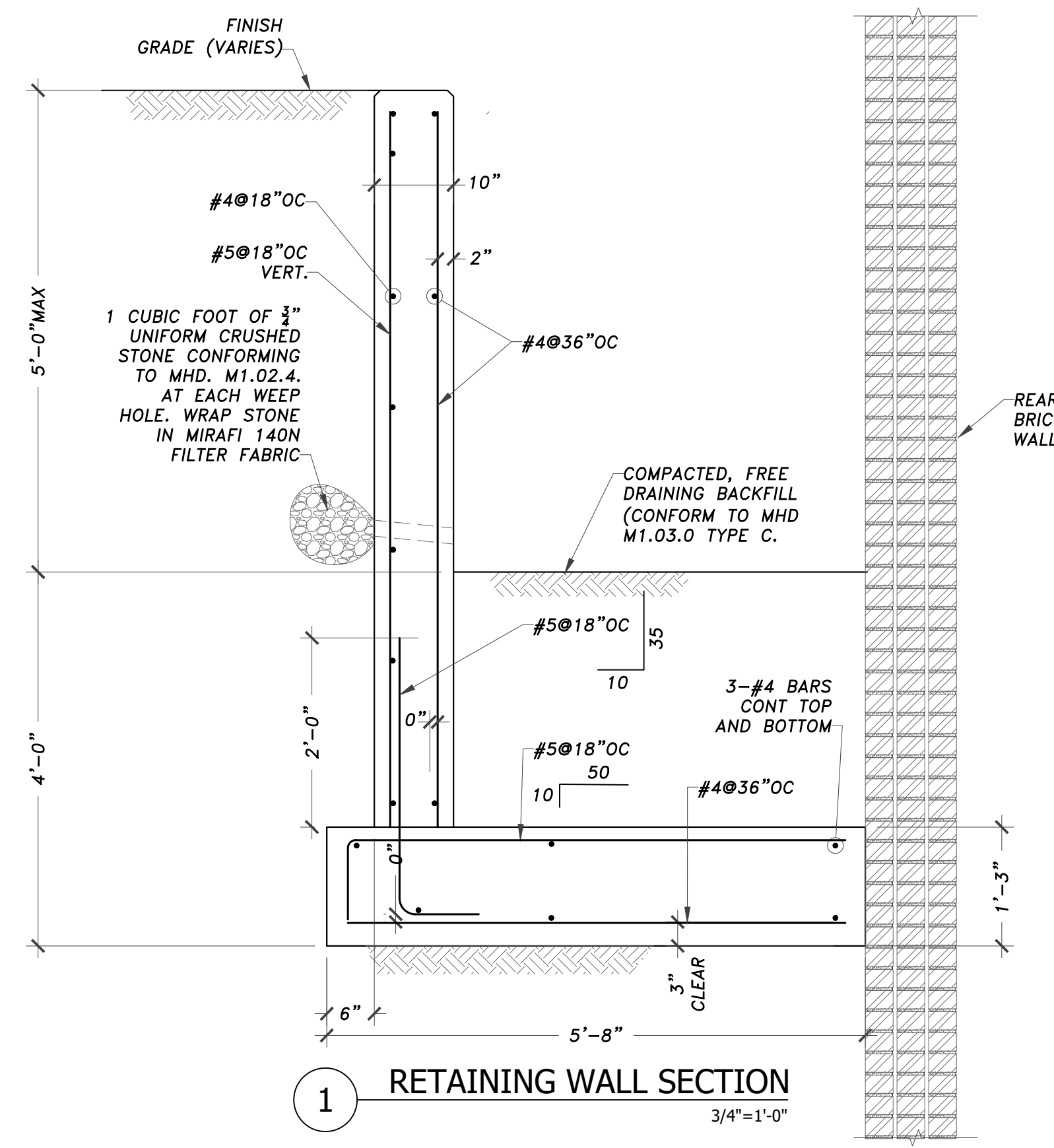
**RENOVATION / ADDITION  
67 REVERE STREET  
BOSTON, MA**

Rev:      Date:


**FOR CONST.**  
Date: OCT. 19, 2021  
DRAWING SCALES SHOWN ARE BASED ON AN A24x36 SIZE DRAWING

**FLOOR PLANS**

**S1.0**



**LEGEND**

- BW = BEARING WALL
- FVP = FLAT VALLEY PLATE
- (E) = EXISTING
- (N) = NEW
- TBR = TO BE REMOVED
- POST LOCATION (AROUND LINE)
- POST UP (AROUND LINE)
- POST DOWN (AROUND LINE)
- DIM. LUMBER POST
- NUMBER OF STUDS
- P3-26 SIZE OF STUD
- TYPE OF POST: P-POST, J-JACK,
- ENGINEERED POST
- LC 3/4" SIZE
- TYPE OF POST: VC-VERSA COLUMN, LC-LALLY COLUMN, HSS-TUBE STEEL

RENOVATION / ADDITION  
67 REVERE STREET  
BOSTON, MA

Rev:      Date:

**FOR CONST.**

Date :    OCT. 19, 2021

DRAWING SCALES  
SHOWN ARE BASED ON  
AN 24x36 SIZE DRAWING

**SECTIONS  
AND  
DETAILS**

**S2.0**

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THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK, AND SHALL EXCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

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THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

ISSUED FOR:  
COORDINATION ONLY  
08.20.2021

**SOUSA design**  
Architects

61 Boylston Street, 2nd Floor  
Brookline, MA 02445  
617. 879. 9100



*Mohammed Zade*

Job # 202114

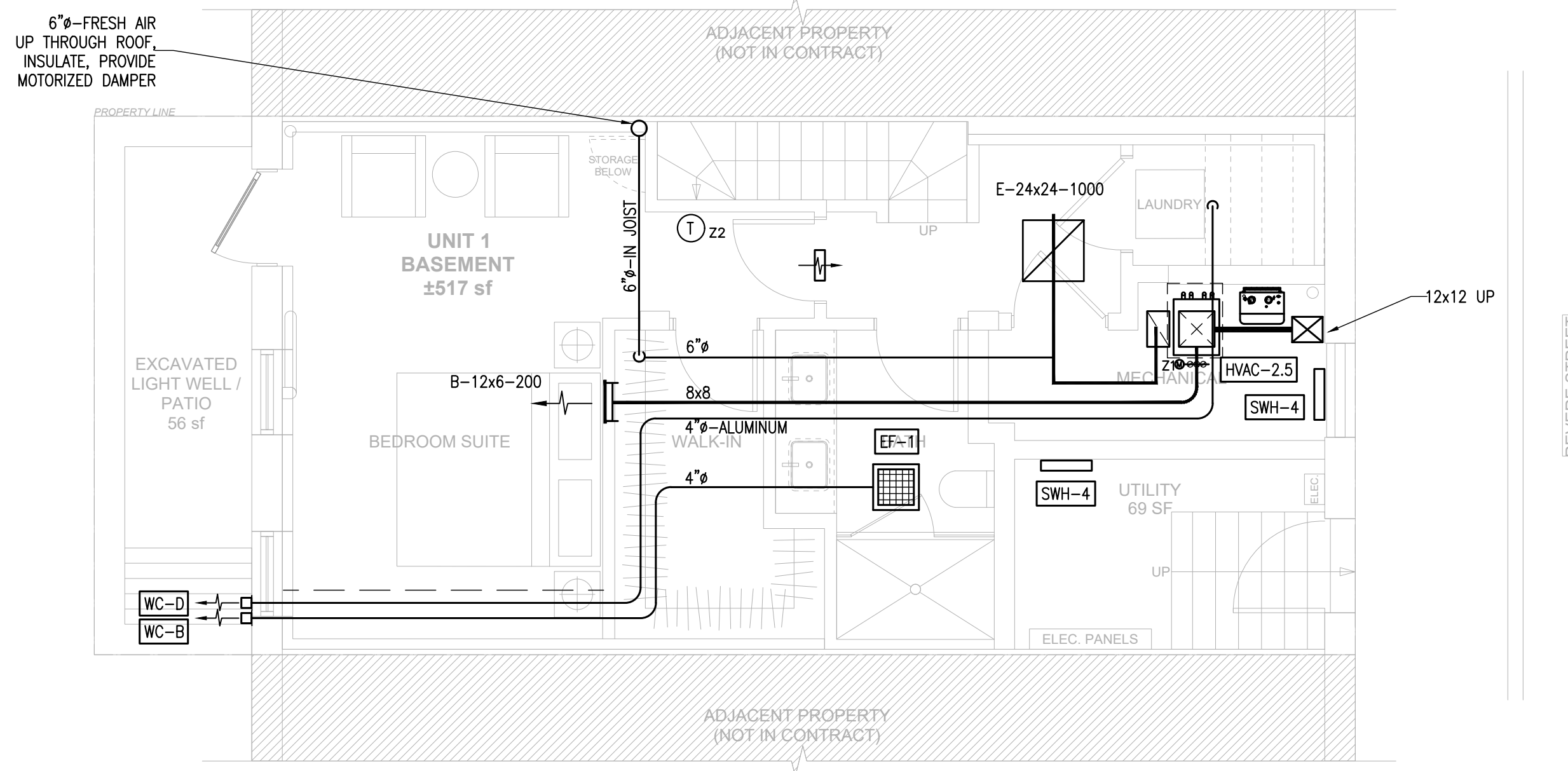
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Date 08.20.2021

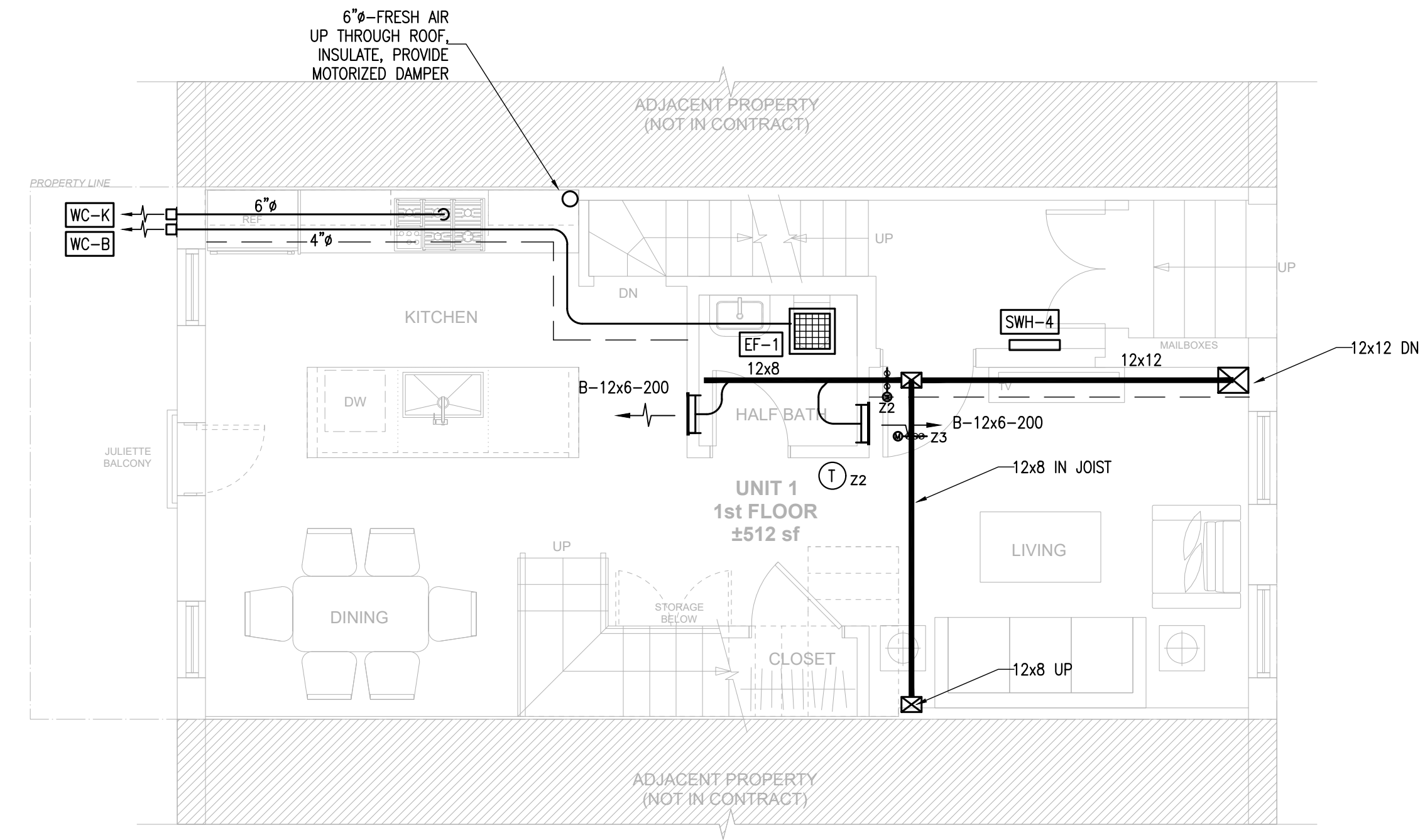
Revisions

NO	DESCRIPTION	DATE
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21

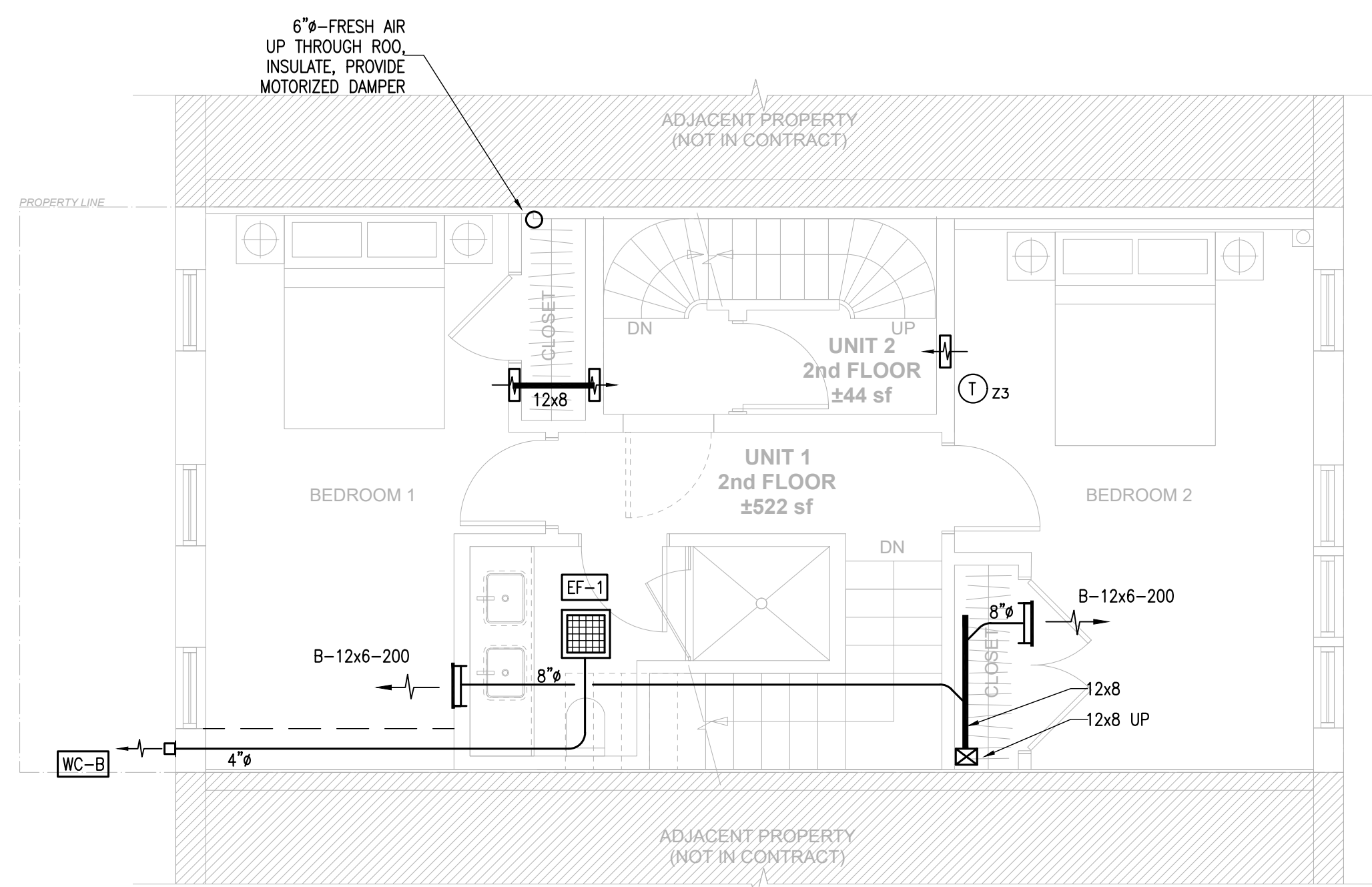
**BASEMENT & FIRST FLOOR HVAC PLANS**



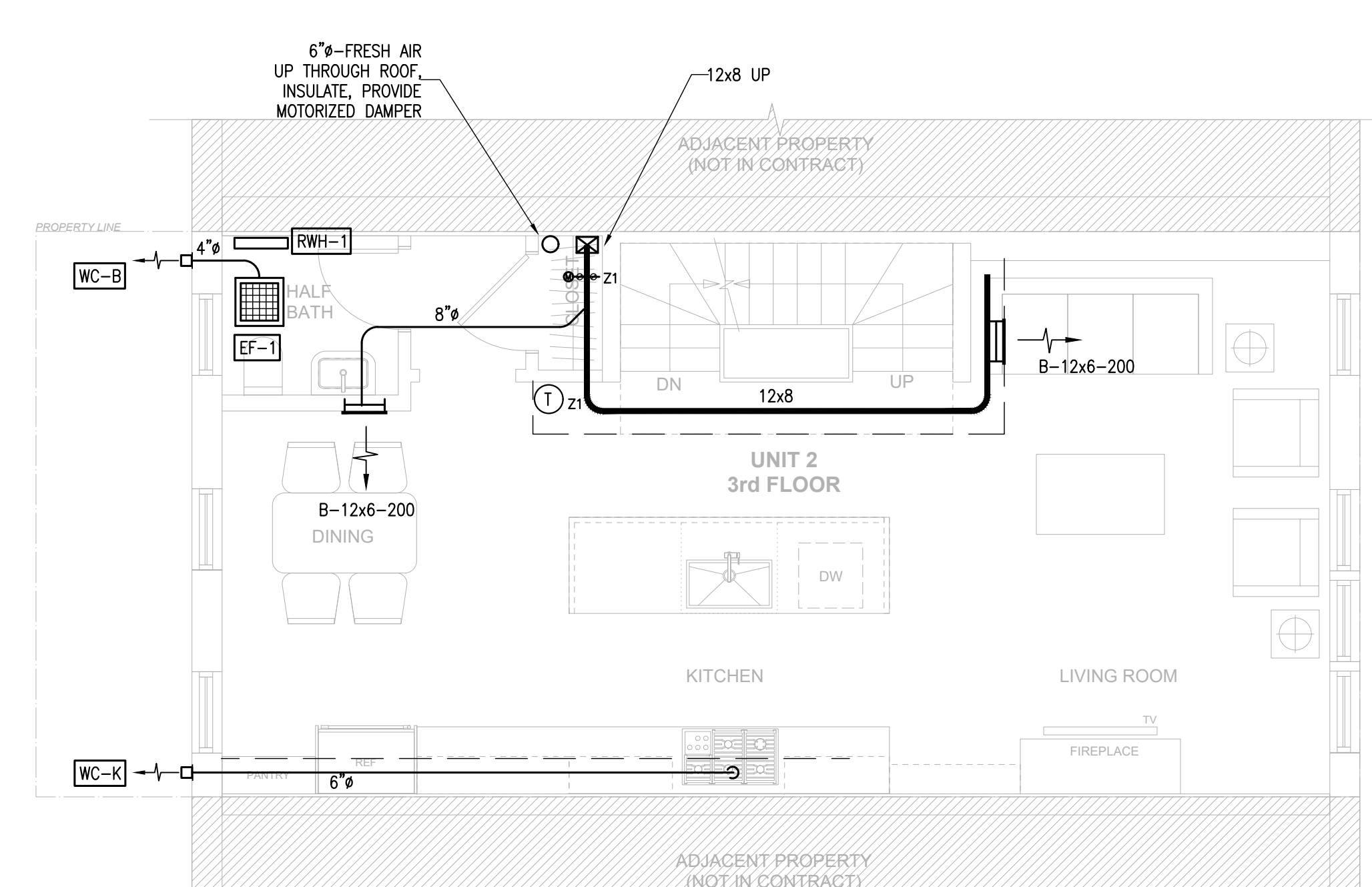
0 BASEMENT PLAN  
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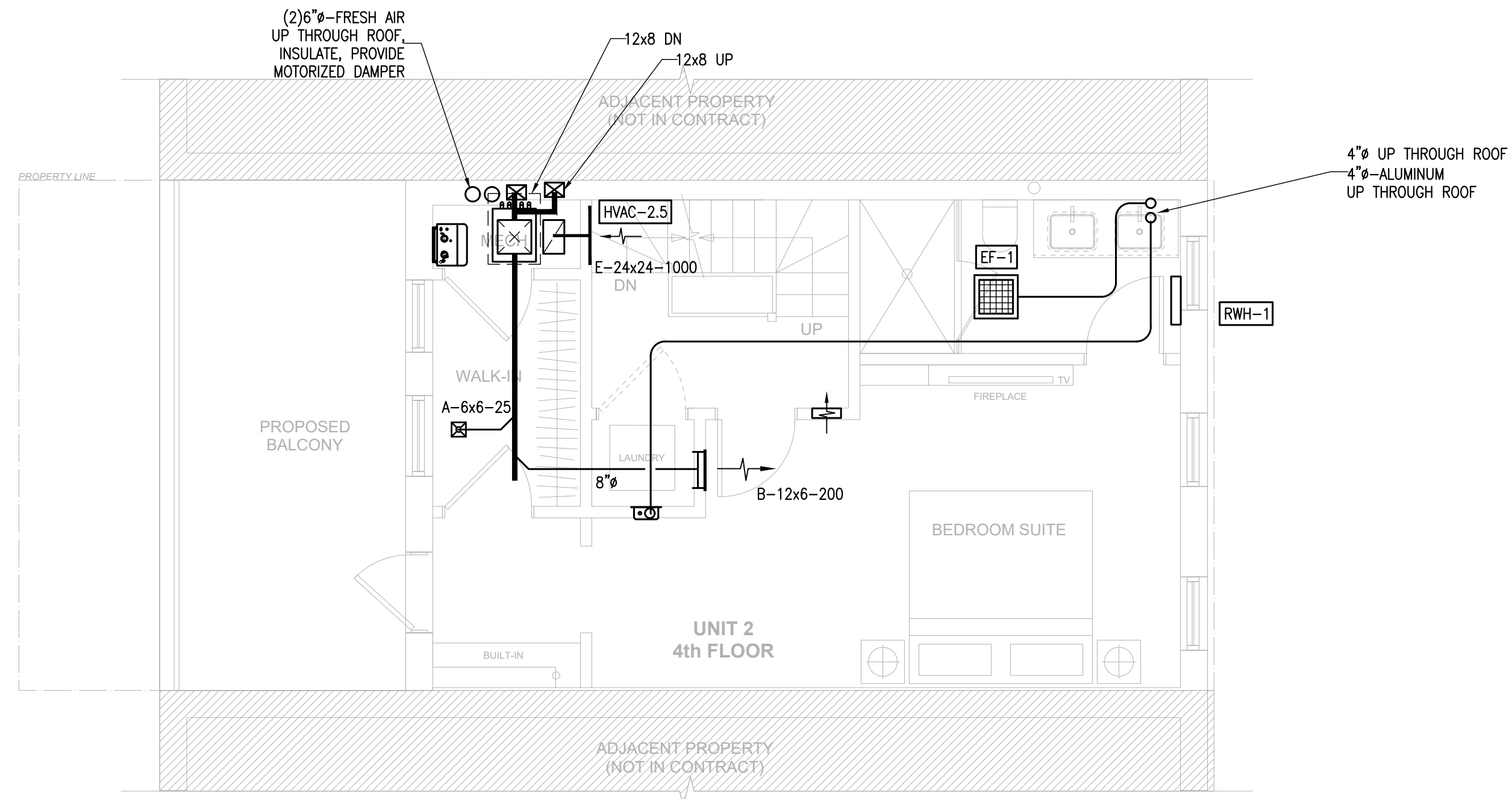
1 FIRST FLOOR PLAN  
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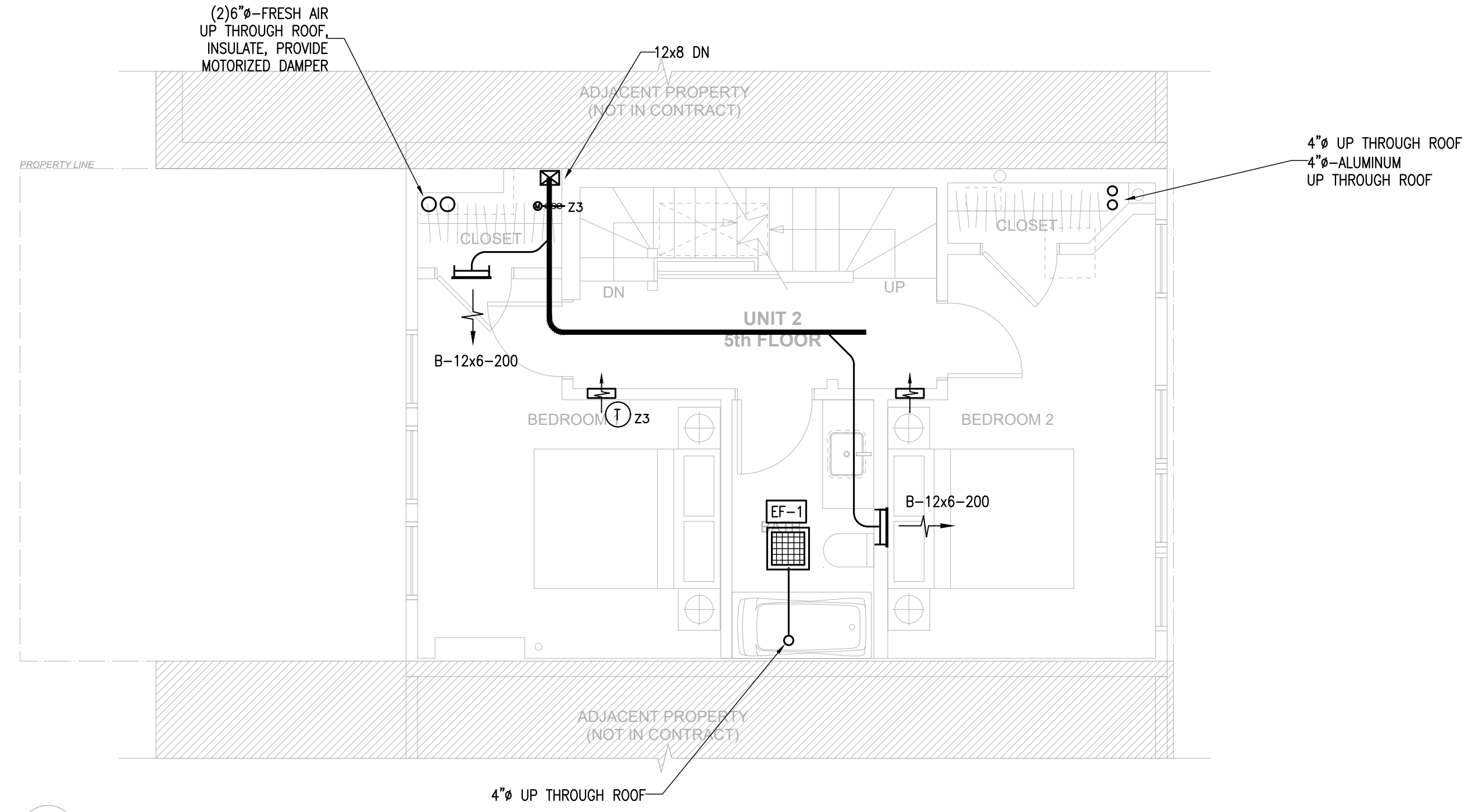
2 SECOND FLOOR PLAN  
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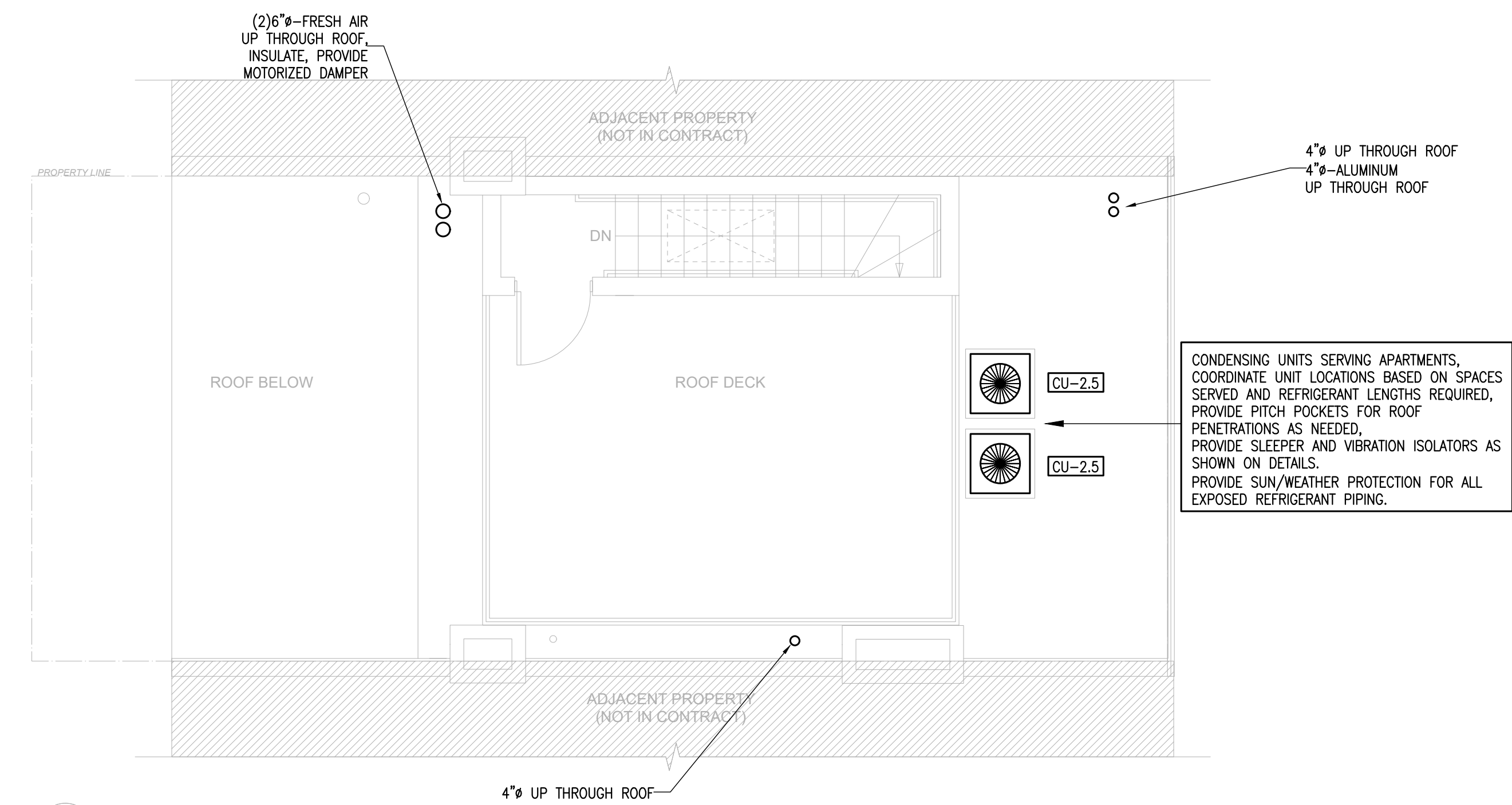
3 THIRD FLOOR PLAN  
Scale: 1/4" = 1'-0"



5 FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



4 FIFTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



6 ROOF PLAN  
Scale: 1/4" = 1'-0"

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ISSUED FOR:  
COORDINATION ONLY  
08.20.2021

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*Mohammed Zade*

Job # 202114

Drawn by OJ Ckd by RC

Date 08.20.2021

Revisions		
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21

BASEMENT & FIRST  
FLOOR HVAC PLANS

## GENERAL NOTES

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE WORK SHOWN AND DESCRIBED. INSTALLATION OF MATERIALS SHALL MEET ALL APPLICABLE STATE, FEDERAL AND MUNICIPAL REQUIREMENTS.
- OBTAIN PERMITS AND PAY ALL FEES FOR WORK AND REQUIRED INSPECTIONS.
- MAINTAIN LIABILITY INSURANCE TO PROTECT OWNER AND THE CONTRACTOR FROM ANY AND ALL CLAIMS UNDER THE WORKER'S COMPENSATION ACT.
- THE DRAWINGS SHALL CONSIDER DIAGRAMMATIC ONLY. ALL MEASUREMENTS SHALL BE TAKEN FROM BUILDING SITE AND ARCHITECT'S DRAWINGS.
- PROVIDE TEMPORARY MATERIAL STORAGE AS REQUIRED AND BE RESPONSIBLE FOR ANY LOSS OR DAMAGE THERETO.
- SUBMIT DIGITAL COPIES OF SHOP DRAWINGS FOR REVIEW COVERING MAJOR MANUFACTURED ITEMS, IE. AIR HANDLING UNITS, REGISTERS & DIFFUSERS, WIRING DIAGRAMS, ETC.
- KEEP ACCURATE RECORD OF "AS-BUILT" DRAWINGS AND SUBMIT THESE BEFORE FINAL CERTIFICATE OF COMPLETION.
- ON COMPLETION OF THE WORK, REMOVE FROM THE PREMISES ALL TOOLS, DEBRIS, SURPLUS AND WASTE MATERIALS RESULTING FROM OPERATIONS UNDER THIS SECTION. CLEAN ALL EQUIPMENT AND LEAVE ALL ITEMS IN PERFECT ORDER READY FOR OPERATION.
- AFTER ACCEPTANCE, INSTRUCT OWNER IN EQUIPMENT OPERATION AND PROVIDE HIM WITH OPERATING AND MAINTENANCE MANUALS STANDARDS AND EXTENDED WARRANTY DOCUMENTS, INSPECTION CERTIFICATES AND COPIES OF SHOP DRAWINGS OF INSTALLED EQUIPMENT.
- THE CONTRACTOR SHALL, BEFORE FINAL PAYMENT IS MADE, GUARANTEE ALL MATERIALS AND WORKMANSHIP SUPPLIED BY HIM IN THE PERFORMANCE OF THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE AND SHALL, WHEN CALLED UPON, MAKE GOOD WITHOUT FURTHER COST TO THE OWNER SUCH DEFECTS AS MAY APPEAR WITHIN THIS PERIOD.
- SUPPLY AND INSTALL DUCTWORK AS INDICATED ON DRAWING. DUCTWORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH LATEST ASHRAE & SMACNA STANDARDS AND SHALL BE MANUFACTURED OF GALVANIZED STEEL UNLESS SPECIFICALLY NOTED OTHERWISE.
- ADJUST ALL FAN SPEEDS TO DELIVER SHOWN AIR QUANTITIES. BALANCE ALL AIR SYSTEMS AND SUPPLY WRITTEN AIR BALANCING REPORTS IN TRIPLICATE. INCLUDE NECESSARY SPARE BELTS AND PULLEYS FOR FIELD ADJUSTMENT.
- ALL VALVES AND FITTINGS SHALL BE SUITABLE FOR THE PARTICULAR PIPING APPLICATION AND MINIMUM 150LBS PRESSURE RATING.
- ALL DUCTWORK SHALL BE: 24 GAUGE UP TO 36 INCHES WIDE, 22 GAUGE 3/4 INCHES WIDE TO 60 INCHES WIDE, ROUND DUCT SHALL BE 24 GAUGE UO TO 10 INCHES DIAMETER, 22 GAUGE 11 TO 20 INCHES DIAMETER, 20 GAUGE ABOVE 20 INCHES DIAMETER; ALL GALVANIZED SHEETMETAL. SEAL ALL JOINTS AND SLIPS WITH EC 800 OR OTHER SUITABLE SEALANT. ALL LONGITUDINAL SEAMS SHALL BE PITTSBURGH LOCKING TAPE. ALL SLIPS SHALL BE REINFORCED BAR TYPE. FABRICATE AND INSTALL ALL DUCTS IN COMPLIANCE WITH SMACNA STANDARDS FOR LOW PRESSURE DUCT CONSTRUCTION.
- ALL DUCT CONNECTIONS TO FAN DRIVEN UNITS SHALL BE MADE WITH A FIREPROOF FLEXIBLE DUCT CONNECTOR.
- BEFORE THE H.V.A.C. SYSTEM IS OPERATED, ALL DUCTS SHALL BE BLOWN OUT & THOUGHLY CLEANED. SYSTEM SHALL BE TEST AT FULL PRESSURE & ALL LEAKS & FAULTS CORRECTED.
- INSTALL ALL PIPING AND VALVES AS HIGH AS POSSIBLE.
- BALANCE THE AIR SYSTEM AS PER ASSOCIATED AIR BALANCING COUNCILS LATEST STANDARDS. SUBMIT BALANCING REPORT FOR ENGINEERS APPROVAL.
- THESE DRAWINGS ARE DIAGRAMMATIC. FIELD CONDITIONS SHALL DETERMINE ACTUAL LOCATION OF ALL PIPING AND DUCTWORK.
- ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
- DUCT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL MECHANICAL CODE AND THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION DUCT CONSTRUCTION STANDARDS UNLESS OTHERWISE INDICATED IN THESE DRAWINGS OR IN THE SPECIFICATIONS.
- ALL DUCT SUPPORTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS UNLESS OTHERWISE NOTED.

## GENERAL NOTES

SHOULD ANY CONTRADICTION, AMBIGUITY, ERROR, INCONSISTENCY, OMISSION OR INCOMPLETE SYSTEM APPEAR IN OR BETWEEN ANY OF CONTRACT DOCUMENTS THE CONTRACTOR SHALL, BEFORE SUBMITTING THE FINAL BID AND SIGNING THE CONTRACT FOR CONSTRUCTION, NOTIFY THE ARCHITECT AND REQUEST A WRITTEN RESOLUTION AS TO WHICH METHODS OR MATERIALS WILL BE REQUIRED. IN THE EVENT OF CONFLICTING REQUIREMENTS OF STANDARDS, DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT REQUIREMENTS. BEFORE SUBMITTING THE FINAL BID AND THE SIGNING THE CONTRACT FOR THE CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A WRITTEN INTERPRETATION FROM THE ARCHITECT, IN NO CASE SHALL THE CONTRACTOR PROCEED WITH THE AFFECTED WORK UNTIL ADVISED BY THE ARCHITECT.

IF THE CONTRACTOR FAILS TO MAKE A REQUEST FOR INTERPRETATION OR RESOLUTION NO EXCUSE WILL BE ACCEPTED FOR FAILURE TO CARRY OUT THE WORK IN A SATISFACTORY MANNER, AS INTERPRETED BY THE ARCHITECT. THIS GENERALLY MEANS THE USE OF THE HIGHEST QUALITY MATERIAL, MOST EXPENSIVE WAY OF PERFORMING WORK AND PROVIDING COMPLETE FUNCTIONING SYSTEM FOR PROPER OPERATION.

EACH AND EVERY TRADE OR SUBCONTRACTOR WILL BE DEEMED TO HAVE FAMILIARIZED THEMSELVES WITH ALL THE CONTRACT DOCUMENTS OF THIS PROJECT, INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND SITE WORK, AND TO HAVE VISITED THE SITE, SO AS TO AVOID ERROR, OMISSIONS AND MISINTERPRETATIONS. RELATED INFORMATION MAY BE PROVIDED ON CONTRACT DOCUMENTS OTHER THAN THOSE ASSOCIATED WITH THE SUBCONTRACTOR'S TRADE. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELATED WORK OF ALL THE CONTRACT DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE AUTHORIZED FOR ALLEGED ERRORS, OMISSIONS AND MISINTERPRETATIONS WHETHER THEY ARE A RESULT OF FAILURE TO OBSERVE THIS REQUIREMENT OR NOT.

## FIRE SAFE THROUGH FLOORS

TYPE	SIZE	H/L/T	MATERIAL	RATING	BOTTOM	TOP	CHASE WALL
STEEL/CAST COPPER/EMT	MAX 4"	FS-ONE	INTUMESCENT SEALANT	2HRS	FIRE STOP	FIRE STOP	REQUIRED
STEEL/CAST EMT/2" FLEX	MAX 6"	FS-ONE	INTUMESCENT SEALANT	2HRS	FIRE STOP	FIRE STOP	NOT REQUIRED
STEEL/CAST COPPER/EMT	MAX 4"	CP-620	FIRE FOAM	1HRS	FIRE STOP	FIRE STOP	REQUIRED
PEX	MAX 1"	CP 645	INTUMESCENT STRIP W/COLLAR	1HRS	BOTH SIDES	BOTH SIDES	NOT REQUIRED
PVC PIPE	MAX 2"	FS-ONE	INTUMESCENT SEALANT	1HRS	FIRE STOP	FIRE STOP	NOT REQUIRED
PVC PIPE	MAX 4"	FS-ONE	INTUMESCENT SEALANT	2HRS	FIRE STOP	FIRE STOP	REQUIRED
PVC PIPE	MAX 4"	CP 645	INTUMESCENT STRIP W/COLLAR	1HRS	COLLAR	FIRE STOP	NOT REQUIRED
REFRIGERANT	-	FS-ONE	INTUMESCENT SEALANT	1HRS	FIRE STOP	FIRE STOP	NOT REQUIRED
4" DUCT	MAX 4"	FS-ONE	INTUMESCENT SEALANT	1HRS	FIRE STOP	FIRE STOP	NOT REQUIRED
INSULATED COPPER/STEEL	MAX 2"	FS-ONE	INTUMESCENT SEALANT	1HRS	FIRE STOP	FIRE STOP	NOT REQUIRED
CABLES	MAX 2"	FS-ONE	INTUMESCENT SEALANT	1HRS	FIRE STOP	FIRE STOP	NOT REQUIRED

## ENERGY CODE 2015 REQUIREMENTS

APPLICABILITY (CONTRACTOR SHALL PROVIDE ALL ITEMS LISTED BELOW)

RESIDENTIAL BUILDING. FOR THIS CODE, INCLUDES DETACHED ONE- AND TWO-FAMILY DWELLINGS AND MULTIPLE SINGLE-FAMILY DWELLINGS (TOWNHOUSES) AS WELL AS GROUP R-2, R-3 AND R-4 BUILDINGS THREE STORIES OR LESS IN HEIGHT ABOVE GRADE PLANE.

### RA01.2 COMPLIANCE.

PROJECTS SHALL COMPLY WITH SECTIONS IDENTIFIED AS "MANDATORY" AND WITH EITHER SECTIONS IDENTIFIED AS "PRESCRIPTIVE" OR THE PERFORMANCE APPROACH IN SECTION RA05. (PRESCRIPTIVE METHOD IS CHOSEN)

### RA03.1.1 PROGRAMMABLE THERMOSTAT.

PROVIDE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT. THERMOSTAT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55F (13°C) OR UP TO 85F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78F (26°C).

### PROVIDE PER RA03.2.1 INSULATION (PRESCRIPTIVE).

ANY SUPPLY DUCT IN ATTIC SHALL BE INSULATED TO A MINIMUM OF R-12. ALL OTHER DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6.

### PROVIDE PER RA03.2.2 SEALING (MANDATORY).

ALL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.

### DO NOT USE BUILDING CAVITIES PER RA03.2.3. (MANDATORY).

BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

### PROVIDE VENTILATION RA03.5 AS SHOWN (MANDATORY).

DUCTS, AIR HANDLERS AND FILTER BOXES THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE OR INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

### RA03.2 HOT WATER BOILER OUTDOOR TEMPERATURE SETBACK.

HOT WATER BOILERS THAT SUPPLY HEAT TO THE BUILDING THROUGH ONE- OR TWO-PIPE HEATING SYSTEMS SHALL HAVE AN OUTDOOR SETBACK CONTROL THAT LOWERS THE BOILER WATER TEMPERATURE BASED ON THE OUTDOOR TEMP.

### RA03.3.2 SEALING (MANDATORY)

DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR IRC, AS APPLICABLE.

### EXCEPTIONS:

- AIR-IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS
- FOR DUCTS HAVING A STATIC PRESSURE CLASSIFICATION OF LESS THAN 2 INCHES OF WATER COLUMN (500 PA), ADDITIONAL CLOSURE SYSTEMS SHALL NOT BE REQUIRED TO CONTINUOUSLY WELDED JOINTS AND SEAMS, LOCKING TYPE JOINTS AND SEAMS OF OTHER THAN THE SWAP-LOCK AND BUTTON-LOCK TYPES.

### RA03.3.2.1- SEALED AIR HANDLER

AIR HANDLERS SHALL HAVE A MANUFACTURERS DESIGNATION OF AIR LEAKAGE OF NO MORE THAN 2 PERCENT OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE 193.

### RA03.3.3 DUCT TESTING

DUCTS SHALL BE PRESSURE TESTED THROUGH ROUGH IN TEST, POST CONSTRUCTION TEST

EXCEPTION- NOT REQUIRED WHERE DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY THROUGH THE BUILDING THERMAL ENVELOPE.

## LOW RISE ESTAR REQUIREMENTS FOR MEP TRADES

(CONTRACTOR SHALL COMPLY WITH ALL ITEMS BELOW)

### PROGRAMMABLE THERMOSTAT REQUIRED

(IF HEAT PUMP HAS AUXILIARY ELECTRIC HEATER, THAN THERMOSTAT WILL HAVE "ADAPTIVE USE TECHNOLOGY")

### INSULATION IN THE UNCONDITIONED ATTIC R-8 OR BETTER

ALL OTHER DUCTS IN CONDITIONED SPACE R-6 OR BETTER  
DUCT LEAKAGE TO INTERIOR SHALL BE LESS THAN 8 CMPS PER 100 SQ OF CONDITIONED SPACE  
DUCT LEAKAGE TO OUTSIDE SHALL BE LESS THAN 4CMPS PER 100 SQ OF CONDITIONED SPACE

### ALL APPLIANCES SHALL BE ESTAR RATED.

80% OF ALL BULBS SHALL BE ESTAR RATED.

### HVAC SYSTEM REQUIREMENTS

#### 1-VENTILATION SHALL COMPLY WITH ASRAE 62.2-2010 (EXHAUST ONLY)

KITCHEN SACS CONTINUOUS OR 100 CFM INTERMITTENT  
BATHROOM 20 CFM CONSTANT OR 50 CFM INTERMITTENT  
CONTINUOUS FANS 150NM, INTERMITTENT MAXIMUM 3 SONES

#### 2-IF INTAKE IS CONNECTED TO RETURN OF THE DUCT THAN MOTORIZED DAMPER TO BE USED.

#### 3-FOR HVAC MAXIMUM 115% OF HVAC LOAD OR NEXT NOMINAL SIZE.

#### 4-FOR HEAT PUMP MAXIMUM 140% OF HEATING LOAD OR NEXT NOMINAL SIZE

#### 5-TOTAL SYSTEM AIR FLOW WITHIN 15% OF CALCULATED AIR.

#### 6-SYSTEM TO BE BALANCED WITHIN 25% OF CALCULATED AIR OR 25 CFM

#### 7-CORROSION RESISTANT DRAIN PAN IS PROVIDED. (galvanized or plastic)

#### 8-PROVIDE MINIMUM MERV 6 FILTER (MINI SPLITS ARE EXEMPTED)

#### 9-IF HVAC HAS FRESH AIR INTAKE THAN MOTOR WILL BE ECM WITH SMART CYCLER THAT WILL SHUT DOWN THE INTAKE. (17)

### INSTALLATION

- THERE WILL BE NO KINKS OR SHARP TURNS IN DUCTWORK
- FLEXIBLE DUCTS SUPPORTED AT MAXIMUM 5FT INTERVALS
- PROVIDE RETURN GRILL 1 SQ. INCH NET PER 1 CFM AIR.
- CONTINUOUSLY OPERATED EXHAUST FANS SHALL HAVE READILY ACCESSIBLE CONTROLS.
- VENTILATION INTAKES SHALL BE 4FT ABOVE ROOF OR GRADE.
- PROVIDE INSECT SCREEN 0.5 INCH MESH
- FRESH AIR MUST PASS THRU FILTER
- PROVIDE DUCT LEAKAGE TEST. LEAKAGE TO BE LIMITED TO ESTAR REQUIREMENTS

### MAIN BRANCH DUCT SCHEDULE

SIZE	MAX. CFM
6" DIA	100
7" DIA	150
8" DIA	200
9" DIA	300
10" DIA	400
8x6	200
8x8	250
10x8	300
12x8	350
12x8	400
12x8	450
14x8	500
16x8	600
18x8 OR 18x10	700
20x8 OR 18x10	800
24x8 OR 20x10	1000
30x8 OR 24x10	1200

NOTE: MAXIMUM FLEXIBLE DUCT LENGTH SHALL BE 4' USE INSULATED SEMI RIGID BUCK DUCT.

### MINIMUM RETURN DUCT PER HERS

CAPACITY	RETURN	FILTER
1.5 TON	#16"	500 INCH2
2.0 TON	#18"	600 INCH2
2.5 TON	#20"	500 INCH2

### MAXIMUM RETURN DUCT 30FT

## INSULATION NOTES

CONTRACTOR SHALL FOLLOW THE MOST STRINGENT INSULATION REQUIREMENT FOR EACH ITEM

THE FOLLOWING SYSTEMS SHALL BE INSULATED.  
DUCT LINER SHALL BE CLOSED CELL TYPE, GERM PROOF

### IECC 2015 REQUIREMENTS:

- HEATING HOT WATER MAINS AND BRANCHES:  
PIPING < 1" REQUIRES 1 1/2" INSULATION  
PIPING > 1 1/2" REQUIRES 2" INSULATION
- SUPPLY & RETURN DUCTWORK FROM HVAC UNITS:  
1 1/2" INSULATION MIN. R-6

### LEED/ASHRAE 2013 REQUIREMENTS:

- HEATING HOT WATER MAINS AND BRANCHES:  
PIPING < 1 1/2" REQUIRES 1 1/2" INSULATION  
PIPING > 1 1/2" REQUIRES 2" INSULATION
- SUPPLY & RETURN DUCTWORK FROM HVAC UNITS:  
1" INSULATION MIN. R-6

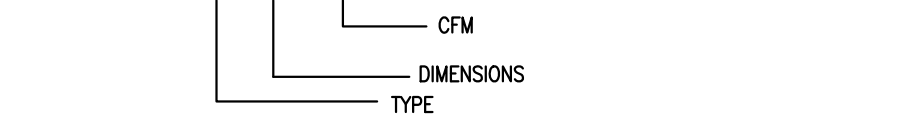
### GENERAL INSULATION REQUIREMENTS:

- ALL LINED SUPPLY, RETURN AND TRANSFER DUCTWORK SHALL BE 1" DUCT LINER  
-DUCT INSULATION SHALL CONTINUE OVER DUCT AT LINED POINT  
-FIRST 10' OF SUPPLY AND RETURN FOR ALL ERU'S AND HVAC UNITS
- CONDENSATE DRAIN: 1"
- ALL DUCTWORK IN CEILING SPACE SHALL HAVE R-6 INSULATION,
- REFRIGERANT PIPING 3/4" ARAMFLEX

ALL DUCTWORK ON ROOF OR UNCONDITIONED SPACE SHALL BE INSULATED WITH R-12 INSULATION AND COVERED WITH EPDM ROOFING MATERIAL FOR WATER TIGHT INSTALLATION.

## DIFFUSER/REGISTER SCHEDULE

LEGEND:



TYPE	DESCRIPTION	MODEL (BASED ON TITUS)
A	LOUVER FACE CEILING DIFFUSER FOR SHEET ROCK CEILING INSTALLATION. PROVIDE ROUND TO SQUARE ADAPTOR. WITH OPPOSITE BLADE DAMPER	TITUS TDC4, BORDER 1
A1	LOUVER FACE CEILING DIFFUSER FOR 2'x2' LAT-IN CEILING INSTALLATION. PROVIDE ROUND TO SQUARE ADAPTOR. WITH OPPOSITE BLADE DAMPER	TITUS TDC4, BORDER 3
B	DOUBLE DEFLECTION REGISTER FOR SHEET ROCK INSTALLATION. PROVIDE ROUND TO SQUARE ADAPTOR.	TITUS 272RS
E	DOUBLE DEFLECTION GRILLE FOR SHEET ROCK INSTALLATION. WITH OPPOSITE BLADE DAMPER	TITUS 25 RS
E1	DOUBLE DEFLECTION GRILLE FOR SHEET ROCK INSTALLATION. WITH OPPOSITE BLADE DAMPER ALUMINUM TYPE	TITUS 25 RS
F	PERFORATED SIGHT PROOF EGCGRATE GRILLE FOR SHEET ROCK CEILING INSTALLATION.	TITUS 45F
G	LINEAR DIFFUSER, LINEAR STYLE 1 1/2" SLOT SPACING WIDTH, 4 SLOT FOR SHEET ROCK CEILING INSTALLATION. 100 CFM/FT WITH DAMPER, INSULATED PLENUM	TITUS MLR-40, BORDER TYPE 22

## CONSTRUCTION NOTES

- ALL CEILING MOUNTED HVAC UNITS SHALL BE HUNG FROM STRUCTURAL STEEL WITH SPRING ISOLATORS.
- PROVIDE FLEXIBLE DUCT CONNECTIONS AT HVAC UNIT, AND ALL FANS
- PROVIDE ISOLATION VALVES, CONTROL VALVES, DRAIN AND STRAINER FOR ALL WATER BASED HVAC UNITS.
- PROVIDE SECONDARY DRAIN PAN WITH LEAK DETECTOR TO SHUT DOWN HVAC UNIT.
- MAINTAIN ACCESS DOORS AND CODE REQUIRED CLEARANCES FOR ALL FILTER REPLACEMENT, EQUIPMENT REPAIR AND ELECTRICAL CONTROLS.
- PRIOR TO ANY INSTALLATION, COORDINATE CLEARANCES WITH ALL TRADES.
- ALL CONDENSATE DRAINS SHALL RUN TO NEAREST STORM CONNECTION PROVIDED BY P.C. REFER TO PLUMBING DRAWINGS
- ALL CONDENSING UNITS SHALL BE MOUNTED ON CONCRETE PAD ON VIBRATION PADS, OR MOUNTED ON SLEEPERS ANCHORED TO ROOF
- ALL SPLIT SYSTEM CONDENSER UNITS IF LOCATED AWAY FROM THE BUILDING SHALL BE PIPED UNDERGROUND UP TO BUILDING, PROVIDE MINIMUM 18" COVER.
- PROVIDE MAINTENANCE PADS MINIMUM 4" HIGH FOR ALL FLOOR-MOUNTED EQUIPMENT PUMPS AND BOLERS.
- PROVIDE 13 FILTERS FOR ALL INDOOR UNITS, MERV 8 FOR ESTAR/LEED BUILDINGS
- PROVIDE 11 FILTERS FOR ALL OUTSIDE AIR UNITS, MERV 8 FOR ESTAR/LEED BUILDINGS
- ALL PIPING CONNECTED TO VIBRATION-ISOLATED EQUIPMENT TO BE ISOLATED BY MEANS OF VIBRATION ISOLATORS, RESILIENT LATERAL SUPPORTS AND RESILIENT PENETRATION SLEEVE /SEALS. THIS APPLIES TO FIRST 50 FEET OF TOTAL PIPE LENGTH OR THE ENTIRE PIPE WITHIN MECH. ROOM (WHICHEVER IS LONGER). PIPES THAT ARE 4" DIAMETER OR LARGER TO BE ISOLATED THROUGH THE BUILDING REFER TO SPEC SECTION 230548 FOR ADDITIONAL INFORMATION
- PROVIDE EXPANSION LOOPS AS REQUIRED
- ALL FRESH AIR DUCTS SHALL HAVE MOTORIZED DAMPERS INTERLOCKED WITH UNIT AND HAVE VOLUME DAMPERS

## CEILING RADIATION DAMPERS

CEILING RADIATION DAMPERS SHALL BE AS MANUFACTURED BY GREENHECK  
MODEL CRD-1WT FOR SIDE INLET  
MODEL CRD-2WT FOR TOP INLET

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE UL LISTED DAMPER WITH THE UL LISTING OF THE CEILING

APPROVED CEILING RATINGS ARE  
L-528,546,558,562,574,576,581,583,585,592  
M-501,503,508  
P-533,536,545,547,548,554

## APARTMENT EXHAUST NOTES

- EACH APARTMENT SHALL BE PROVIDED WITH A CONNECTION POINT FOR A CLOTHES WASHER VENT.
- PROVIDE AND INSTALL THEIR DRYERBOX @, SIZED TO THE WALL THICKNESS, SHALL BE PROVIDED AT EACH SCHEDULED DRYER LOCATION
- DRYER VENT PIPE SHALL BE MINIMUM 28 GAUGE RIGID METAL, WITH NO SCREWS FOR ATTACHMENT, AND CONSTRUCTED AND INSTALLED PER SMACNA STANDARDS.
- DRYER VENTING SHALL USE THE DRYER ELL FOR THE FIRST ELBOW, LOCATED AND COORDINATED TO MINIMIZE ANY ADDITIONAL BENDS. DUCTWORK SHALL HAVE THE LAST (5) FEET MINIMUM PITCHED TO THE EXTERIOR EXHAUST POINT.
- DUCTWORK SHALL EXHAUST TO THE EXTERIOR TO A NON-SCREENED VINYL SIDEWALL HOOD PROVIDED UNDER THIS SCOPE AND COLORED TO MATCH THE ADJACENT EXTERIOR FINISH.

VINSULATE WITH R-4 MINIMUM LAST 10' OF EXHAUST SEAL AGAINST EXTERIOR WALL  
VINSULATE WITH R-4 MINIMUM LAST 10' OF EXHAUST SEAL AGAINST EXTERIOR WALL

### KITCHEN EXHAUST

- EACH APARTMENT SHALL BE PROVIDED WITH A CONNECTION POINT FOR EXHAUSTING A RANGE HOOD.
- COORDINATE SIZE AND CONNECTION POINT WITH THE GENERAL CONTRACTOR, APPLIANCE SUPPLIER AND CABINET SUPPLIER.
- EXHAUST PIPE SHALL BE MINIMUM 26 GAUGE RIGID METAL, WITH NO SCREWS FOR ATTACHMENT, AND CONSTRUCTED AND INSTALLED PER SMACNA STANDARDS. DUCTWORK SHALL HAVE THE LAST (5) FEET MINIMUM PITCHED TO THE EXTERIOR EXHAUST POINT.
- DUCTWORK SHALL EXHAUST TO THE EXTERIOR TO A SCREENED VINYL SIDEWALL HOOD PROVIDED UNDER THIS SCOPE AND COLORED TO MATCH THE ADJACENT EXTERIOR FINISH.
- VINSULATE WITH R-4 MINIMUM LAST 10' OF EXHAUST SEAL AGAINST EXTERIOR WALL

### BATHROOM EXHAUST

- EACH APARTMENT SHALL BE PROVIDED WITH A CONNECTION POINT FOR EXHAUSTING A BATHROOM
- COORDINATE SIZE AND LOCATION WITH THE GENERAL CONTRACTOR AND ARCHITECT
  - EXHAUST PIPE SHALL BE MINIMUM 26 GAUGE RIGID METAL, CONSTRUCTED AND INSTALLED PER SMACNA STANDARDS. DUCTWORK SHALL HAVE THE LAST (5) FEET MINIMUM PITCHED TO THE EXTERIOR EXHAUST POINT.
  - DUCTWORK SHALL EXHAUST TO THE EXTERIOR TO A SCREENED VINYL SIDEWALL HOOD PROVIDED UNDER THIS SCOPE AND COLORED TO MATCH THE ADJACENT EXTERIOR FINISH.
  - VINSULATE WITH R-4 MINIMUM LAST 10' OF EXHAUST SEAL AGAINST EXTERIOR WALL

## LOUVER NOTES

LOUVER DIMENSIONS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS  
LOUVERS SHALL BE AMCA CERTIFIED FOR WIND DRIVEN RAINS  
BLADES SHALL BE 4" DEEP MOUNTED BETWEEN 35-45 DEGREES WITH DRAINABLE BLADE AND DRAINABLE HEAD  
PROVIDE BRD SCREENS IN COMPLIANCE WITH IMC 401  
PROVIDE CLEAR ANCHORS FOR LOUVER PER ARCHITECT'S DIRECTION  
LOUVERS SHALL BE AS MANUFACTURED BY GREENHECK MODEL EHH 401 SERIES

## FIRE RATED CEILING NOTES:

WHEN DUCT PENETRATE RATED CEILING:

- ALL RECESSED DIFFUSERS AND REGISTERS SHALL HAVE RADIATION DAMPERS.
- ALL UNITS DUCTED TO PLENUM SHALL HAVE CEILING FIRE DAMPERS TO MEET UL 555C
- ALL RETURN DUCTS SHALL BE BELOW THE RATED CEILING, DROPPED CEILING AREAS SHALL NOT BE RATED CEILING UNLESS SHOWN OTHERWISE
- ALL RETURN AIR GRILLES IN RATED CEILING SHALL HAVE CEILING FIRE DAMPERS
- ALL UNIT DISCHARGES SHALL BE OFFSET TO GET INTO PROPER JOIST SPACES, CARRY TRANSITION PIECE AS NEEDED
- ALL DUCTS LARGER THAN 4" DIA SHALL HAVE FIRE DAMPERS AT CEILING PENETRATIONS

## FIRE/SMOKE DAMPER REQUIREMENTS

IMC 607.5.5 REQUIRES FIRE/SMOKE DAMPER AT ALL SHAFT PENETRATIONS

IMC 607.6.1. REQUIRES DAMPER EXCEPT  
-DUCT CAN PENETRATE UP TO THREE FLOORS IF 26 GAUGE, OPEN FROM ONE UNIT TO OUTSIDE, 4" ROUND AND SEALED AROUND AND CEILING GRILLES HAVE RADIATION DAMPERS

IMC 607.5.3 REQUIRES FIRE PARTITION PENETRATIONS TO HAVE FIRE DAMPERS EXCEPT  
-BUILDING IS SPRINKLED OR  
-DUCT IS MINIMUM 26 GAUGE, LESS THAN 100 SQ-INCH AND  
-DUCT IS ABOVE CEILING AND,  
-DUCT IS NOT TERMINATED AT FIRE RATED WALL AND  
-MINIMUM 12" SLEEVE IS PROVIDED

## LEGEND

	SUPPLY AIR DUCT UP		HWR	HOT WATER RETURN PIPE
	SUPPLY AIR DUCT DOWN		HWS	HOT WATER SUPPLY PIPE
	RETURN AIR DUCT UP		D	CONDENSATE DRAIN PIPE
	RETURN AIR DUCT DOWN		o	PIPE UP
	VOLUME DAMPER		o	PIPE DOWN
	MOTORIZED DAMPER		o	BALL VALVE
	FIRE DAMPER		o	GATE VALVE
	1" LINED DUCTWORK		o	CHECK VALVE
	SUPPLY AIR REGISTER		o	STRAINER
	RETURN AIR EXHAUST AIR REGISTER		o	UNION
	SUPPLY AIR DIFFUSER		o	3-WAY CONTROL VALVE
	CEILING TRANSFER GRILLE		o	2-WAY CONTROL VALVE

SPLIT SYSTEM WITH WATER COIL VERTICAL HVAC UNIT SCHEDULE(VARIABLE DRIVE)																				
INDOOR SECTION										CONDENSING SECTION										
TAG	NOM. CAP. TON	CFM	ESP IN	FAN HP	TOT. MBH	SENS. MBH	HTS. COIL	HTS. COIL	HTS. COIL	V/#	TAG	MCA	MOOP	V/#	EER/SEER	DB IN/OUT	MODEL (ASPEN/ CARRIER)	INDOOR	OUTDOOR	REMARKS
HWAC-1.5	1.5	600	.5	1/3	24	20	70	90	24.0	115/1	CU-1.5	14	20	208/1	13/17	60/74	AFM18/24ACB7-18-3 AND MATCHING COIL	15"WX22"DX44"H+12" COIL	31"LX31WDX40"H-250 LBS	W/HW PUMP/TIMER
HWAC-2	2	800	.5	1/3	24	20	70	90	28.0	115/1	CU-2	14	20	208/1	13/17	60/74	AFM24/24ACB7-24-3 AND MATCHING COIL	15"WX22"DX44"H+12" COIL	31"LX31WDX40"H-250 LBS	W/HW PUMP/TIMER
HWAC- 2.5	2.5	1000	.5	1/2	30	25	70	90	31.0	115/1	CU-2.5	14	20	208/1	13/17	60/74	AFM30/24ACB7-32-3 AND MATCHING COIL	15"WX22"DX44"H+12" COIL	31"LX31WDX40"H-250 LBS	W/HW PUMP/TIMER
HWAC-3	3	1200	.5	1/2	36	35	70	90	33.5	115/1	CU-3	22	30	208/1	13/17	60/74	AFM36/24ACB7-36-3 AND MATCHING COIL	15"WX22"DX44"H+12" COIL	31"LX31WDX40"H-250 LBS	W/HW PUMP/TIMER
HWAC-3.5	3.5	1400	.5	1/2	42	33	70	90	42.0	115/1	CU-3.5	22	30	208/1	13/17	60/74	AFM42/24ACB7-42-3 AND MATCHING COIL	15"WX22"DX44"H+12" COIL	31"LX31WDX40"H-250 LBS	W/HW PUMP/TIMER
HWAC-4	4	1600	.5	1/2	48	41	70	90	44.0	115/1	CU-4	27	40	208/1	13/17	60/74	AFM48/24ACB7-48-3 AND MATCHING COIL	15"WX22"DX44"H+12" COIL	31"LX31WDX40"H-250 LBS	W/HW PUMP/TIMER

NOTE: PROVIDE ESTAR RATED THERMOSTAT, ANTI CYCLING PROTECTION, DISCONNECT SWITCH.  
 HEATING COILS SUPPLIED W/ 140 DEG. HOT WATER.  
 CONDENSATE DRAINS SHALL BE TYPE "L" COPPER WITH 1/2" FIBERGLASS INSULATION RUN TO INDIRECT WASTE DRAIN REFER TO RISER DIAGRAM  
 PROVIDE ZONE CONTROL AS REQUIRED TO MATCH NUMBER OF MOTORIZED DAMPERS  
 PROVIDE REFRIGERANT LINES BETWEEN INDOOR AND OUTDOOR UNITS AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.  
 PROVIDE MERV 11 FILTERS  
 PROVIDE HIGH HEAD PUMP  
 PROVIDE PUMP RATED FOR MINIMUM OF 3/2 GPM AT 30FT OF HEAD

WALL CAP SCHEDULE					
TAG	BRAND	SIZE	DIMENSIONS	LOCATION	DUCT
WC-B	X-VENT THVB	4" VENT	7.5"X7.5"X1.5"	BATHROOM EXHAUST	#4"-NO FLEX
WC-K	X-VENT THVB	6" VENT	10"X9"X5"	KITCHEN EXHAUST	#4" W/PD AT CEILING PENETRATION
WC-D	X-VENT THVB	4" VENT	7.5"X7.5"X1.5"	DRYER EXHAUST-REMOVE SCREEN	#4" AL WITH HARD ELBOW
WC-FA	X-VENT TEVB	6" VENT	7.5"X7.5"X1.5"	FRESH AIR INTAKE	#6"-INSULATED

VINYL COLOR TO MATCH SIDING.  
 MATCH DUCT SIZE CONNECTED TO UNIT.  
 ALL EXHAUST DUCTS SHALL HAVE R-6 INSULATION FIRST 10FT FROM EXTERIOR WALL IN  
 ALL FRESH AIR INTAKE DUCTS SHALL HAVE MOTORIZED DAMPER AT ENVELOPE PENETRATION WITH ACCESS PANEL.  
 DAMPER SHALL BE INTERLOCKED WITH HVAC UNIT  
 FOR COMBINED BATHROOMS, USE 6" DUCT AFTER COMBINE AND USE WC-K WALL CAP  
 COMBINE EXHAUST TO ONE WALL CAP WITH SEPARATE DUCT CONNECTIONS IF LOCATED NEXT TO EACH OTHER COORDINATE WITH ARCHITECT

CEILING MOUNTED EXHAUST FAN												
TAG	LOCATION	TYPE	DRIVE	CFM	V/#	LAMP	SP	NOISE SONES	DIMENSIONS	PANASONIC MODEL	ESTAR	CONTROLS
EF-1	BATHROOM	CEILING	DIRECT	110	120/1	(2)PL18	0.1*	0.3	14.5"X17"X11.5"H-16LBS-6" DUCT	PV-05-11WKS1	YES	HIGH/LOW FAN REQUIRES TWO WALL SWITCHES (HAS LIGHT)

PROVIDE PANASONIC FIRE DAMPER ENCLOSURE FOR ALL CEILING BATHROOM FANS.

ELECTRIC HEATER SCHEDULE				
TYPE	KW	VOLT/PH	DIMENSIONS	MODEL NUMBER-COLOR BY ARCH
RWH-1	1	120/1		Q'MARK#CRA 1512-T2
RWH-2	2	120/1	19"HX16"WX4"D	Q'MARK# MCSSARWH1802/HTWHS1
RWH-4	4	208/1	19"HX16"WX4"D	Q'MARK# MCSSARWH4806/HTWHS1
SWH-4	4	208/1	19"HX16"WX4"D	Q'MARK# MCSSARWH4806/HTWHSM
EBB-2	0.4	120/1		Q'MARK#QMK-2512W-W/TSTAT
EBB-3	0.75	120/1		Q'MARK#QMK-2513W-W/TSTAT
EBB-4	1	120/1		Q'MARK#QMK-2514W-W/TSTAT
EBB-6	1.5	120/1		Q'MARK#QMK-2516W-W/TSTAT
UH-5	5	208/1		Q'MARK#NUH-35-W/TSTAT
CCH-4	4	208/1		Q'MARK#CDF48-W/TSTAT

67 REVERE STREET

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ALL DRAWINGS, SPECIFICATIONS AND ARCHITECTURAL DESIGNS ARE THE PROPERTY OF SOUSA DESIGN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

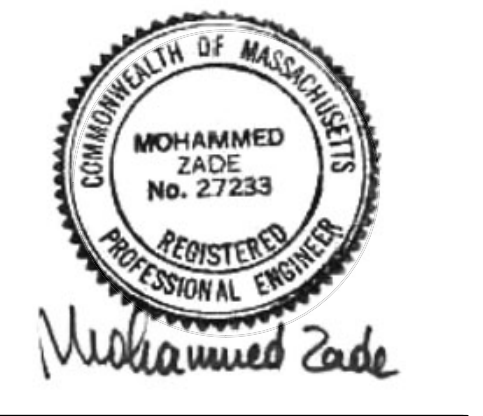
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK. AND SHALL EXCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

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ISSUED FOR: COORDINATION ONLY  
 08.20.2021

**SOUSA design**  
 Architects  
 61 Boylston Street, 2nd Floor  
 Brookline, MA 02445  
 617. 879. 9100



Job # 202114

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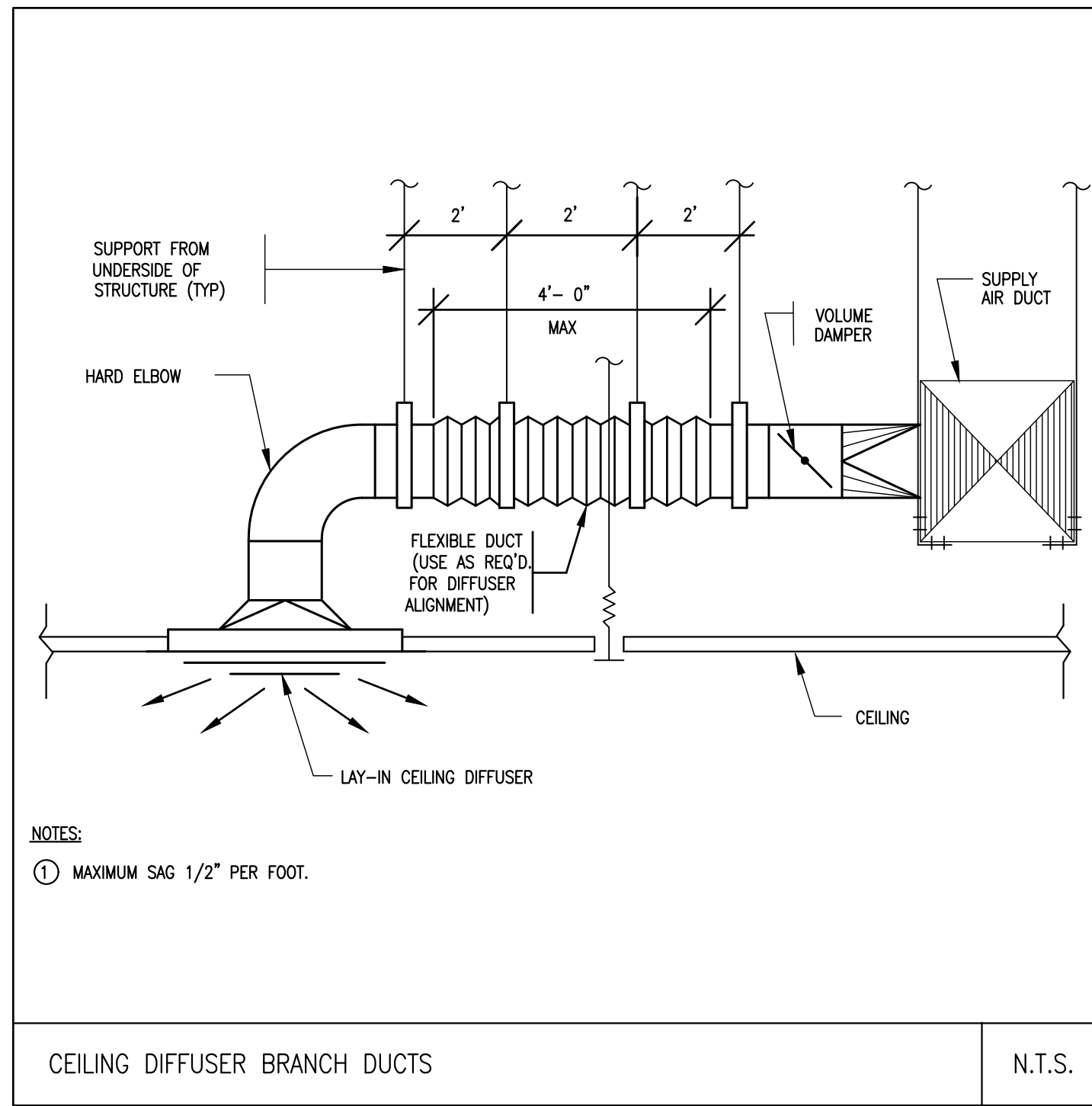
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Revisions		
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01	ROOF DECK	08.20.21

HVAC SCHEDULES

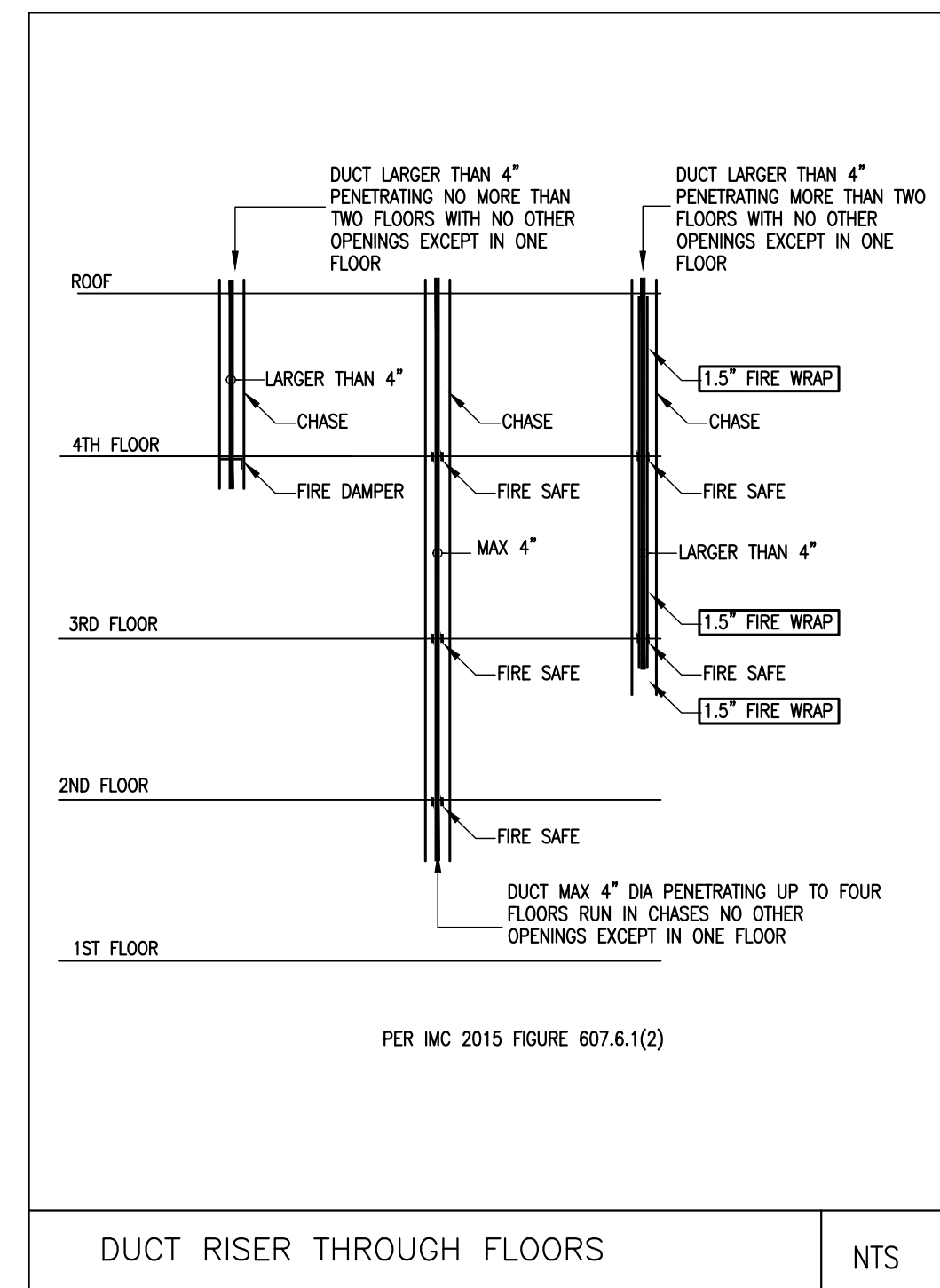
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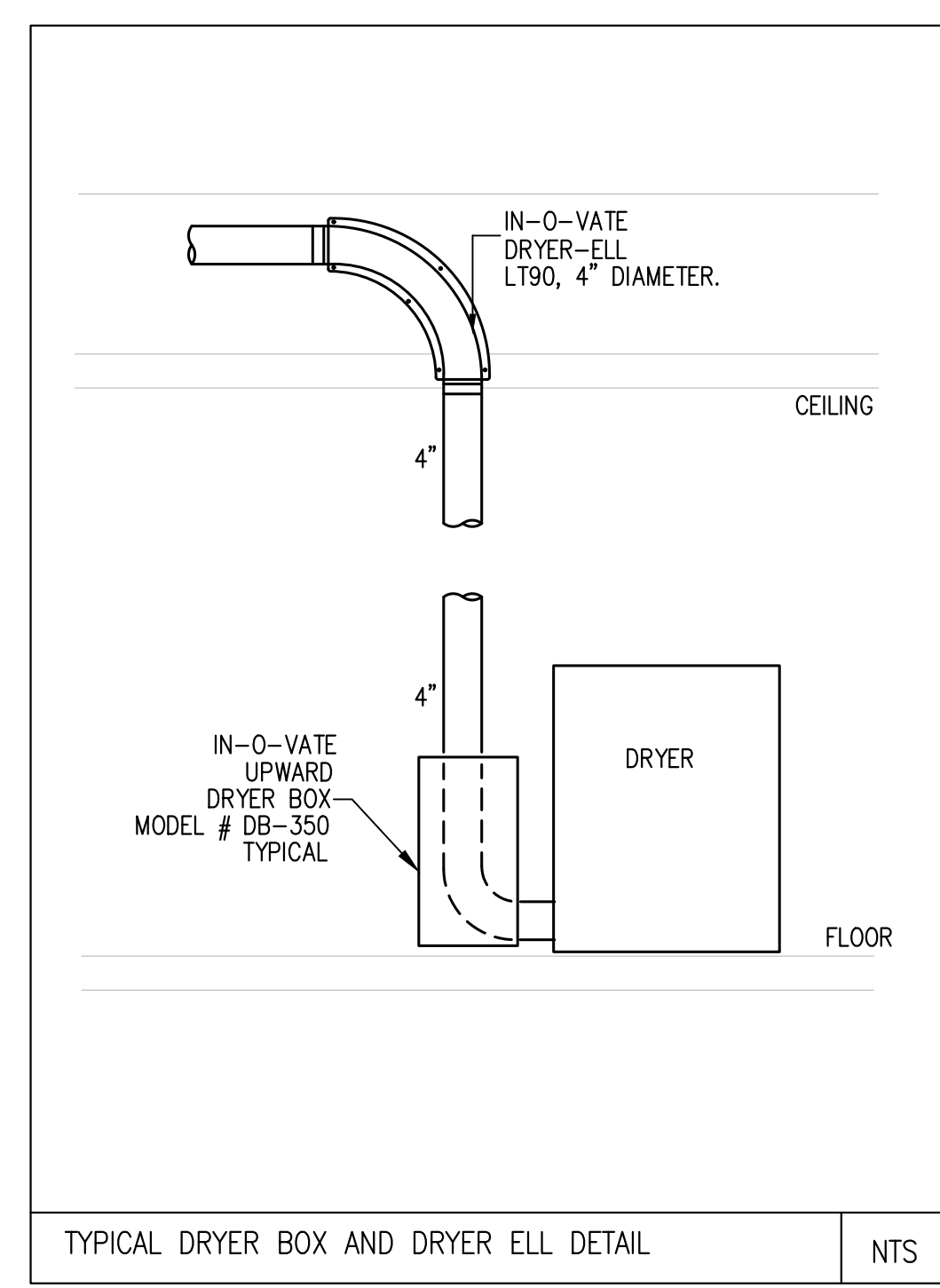
CEILING DIFFUSER BRANCH DUCTS

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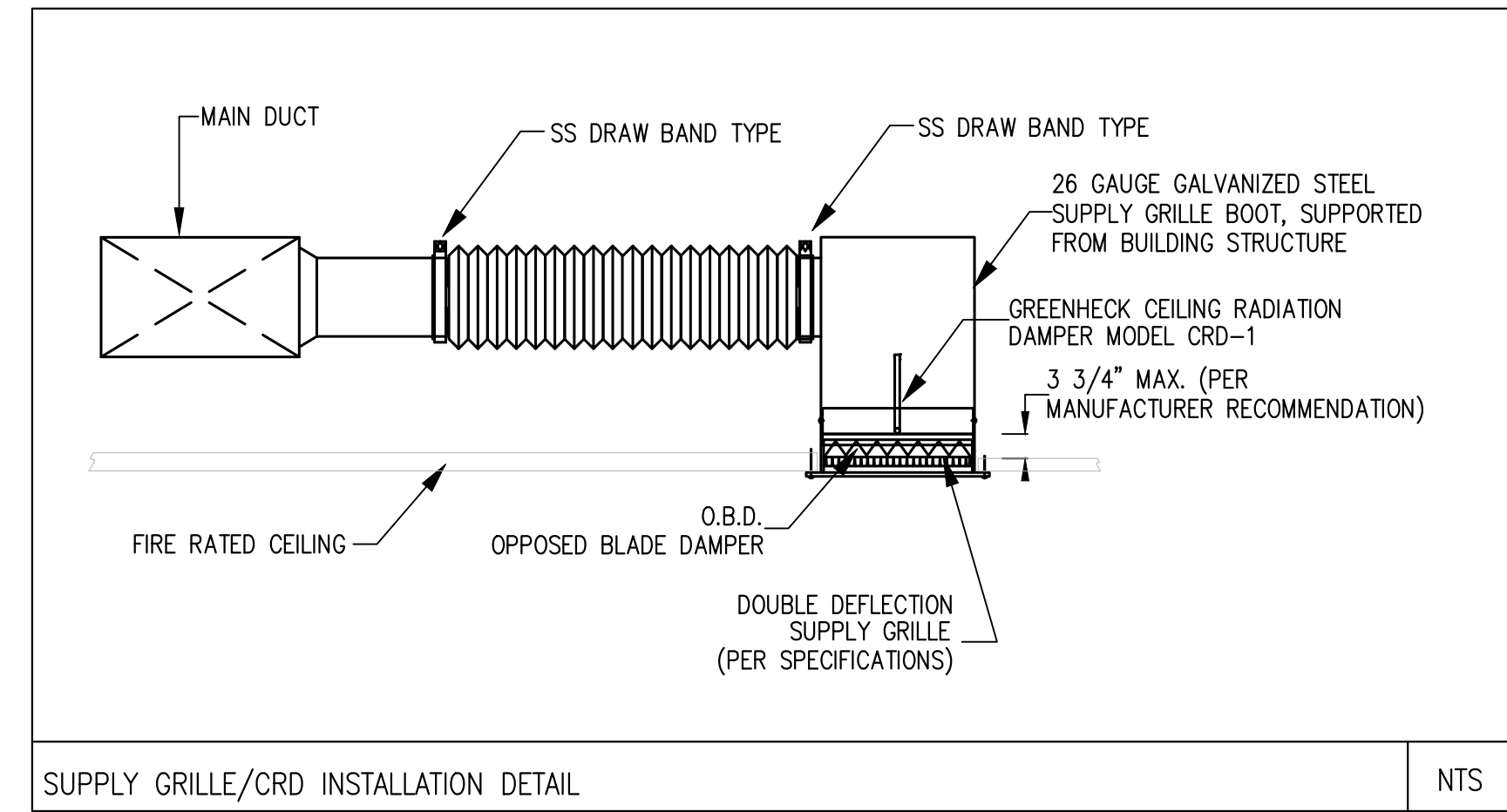
DUCT RISER THROUGH FLOORS

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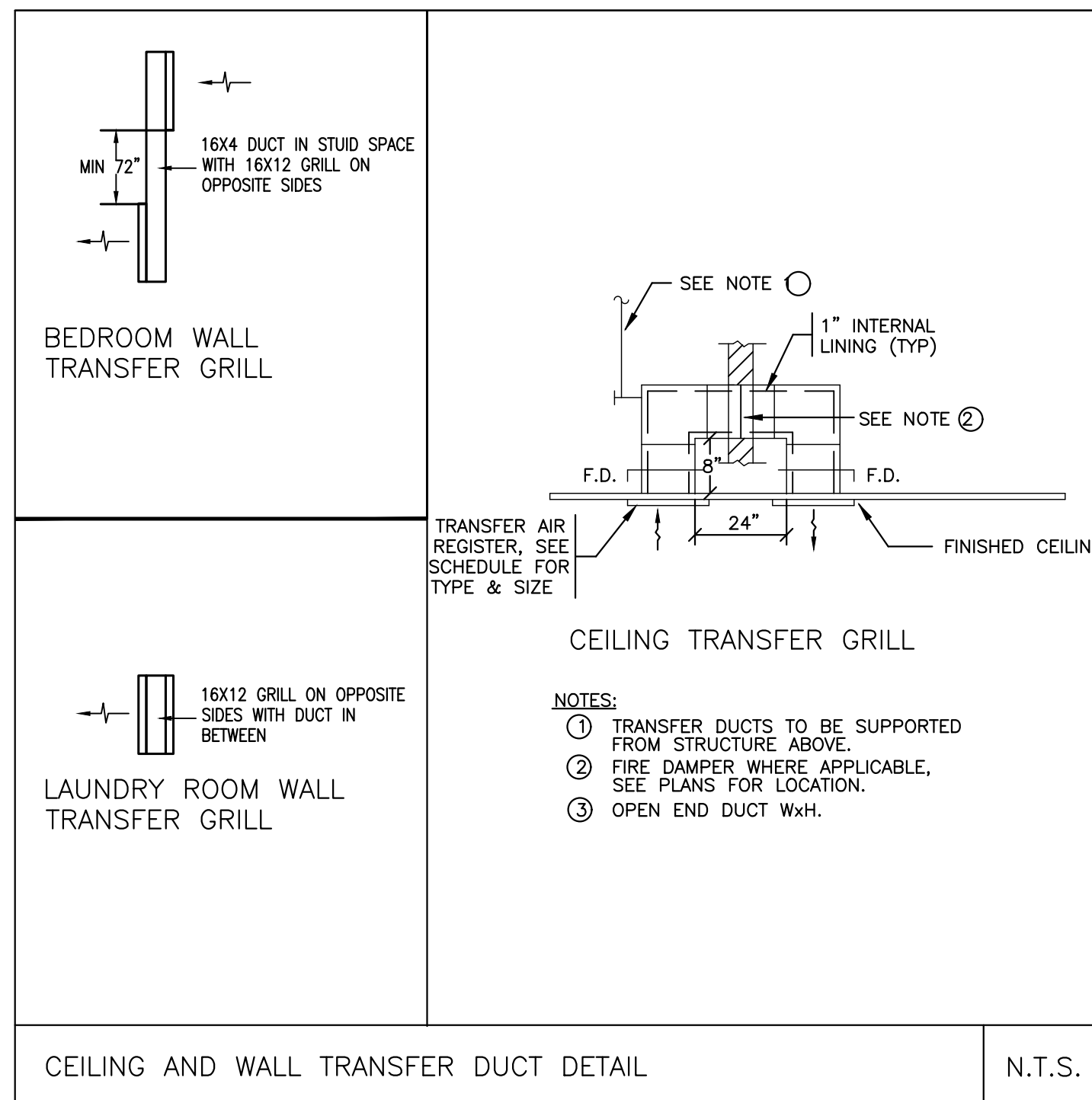
TYPICAL DRYER BOX AND DRYER ELL DETAIL

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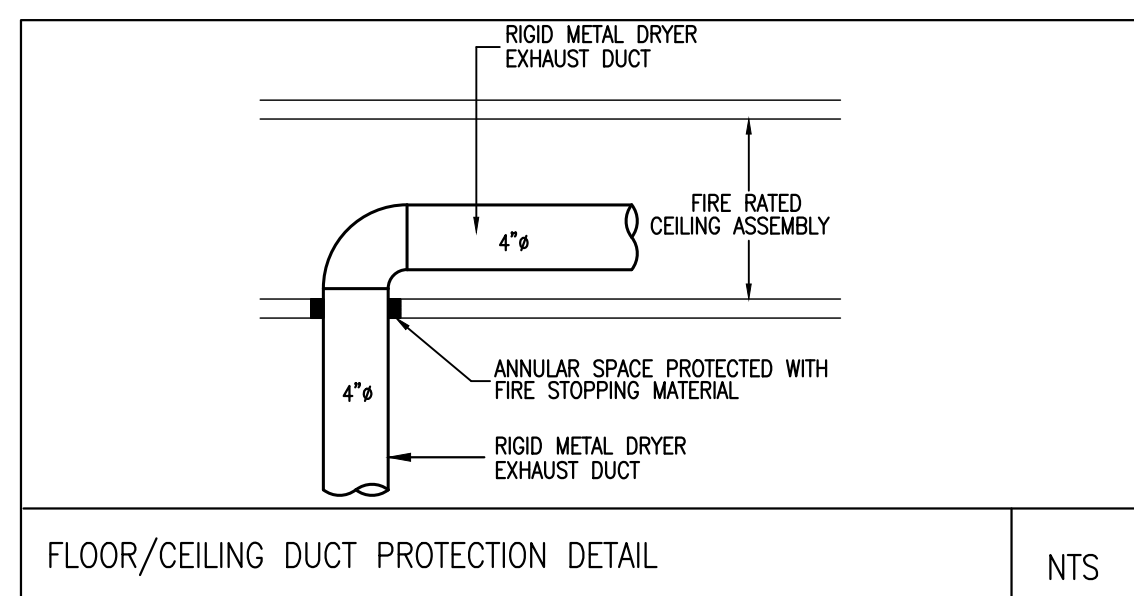
SUPPLY GRILLE/CRD INSTALLATION DETAIL

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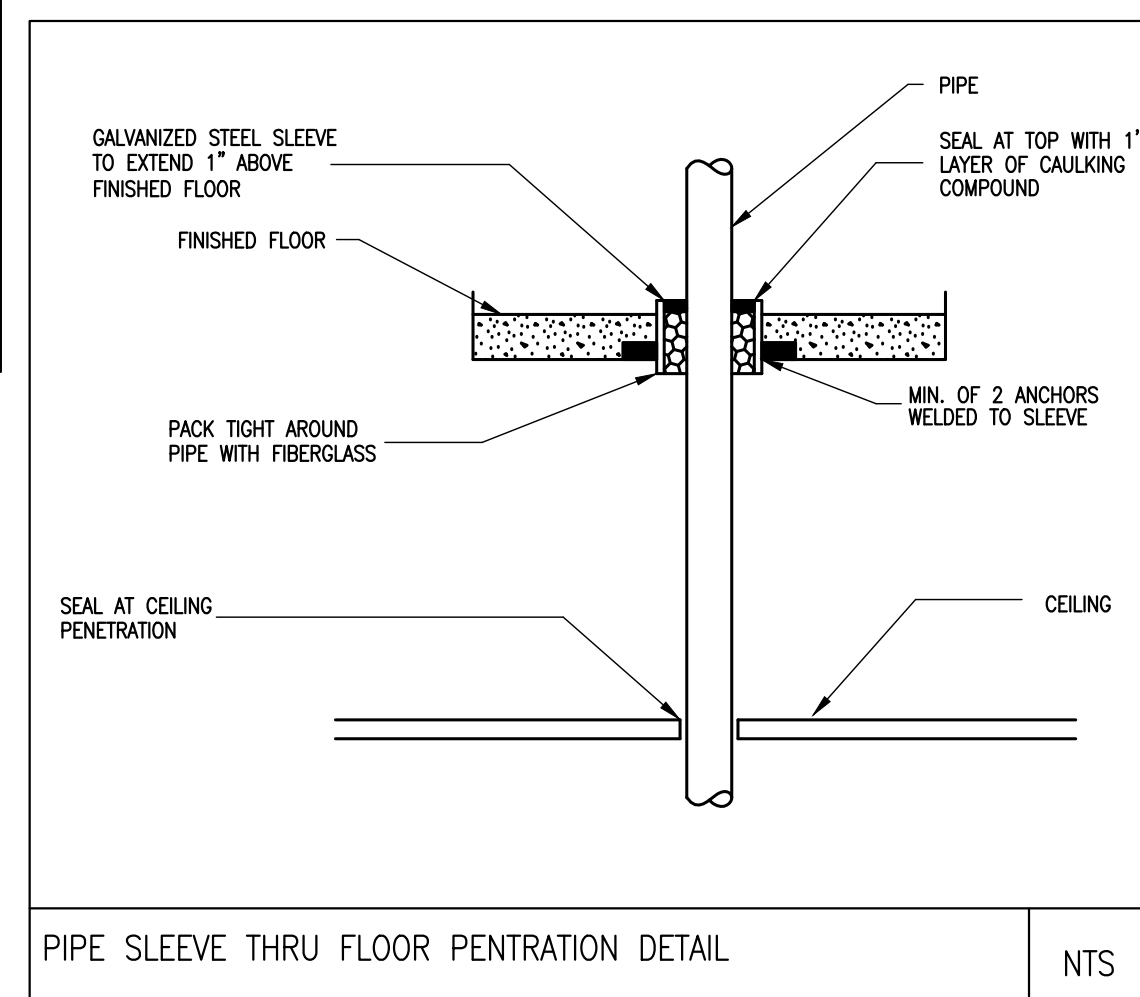
CEILING AND WALL TRANSFER DUCT DETAIL

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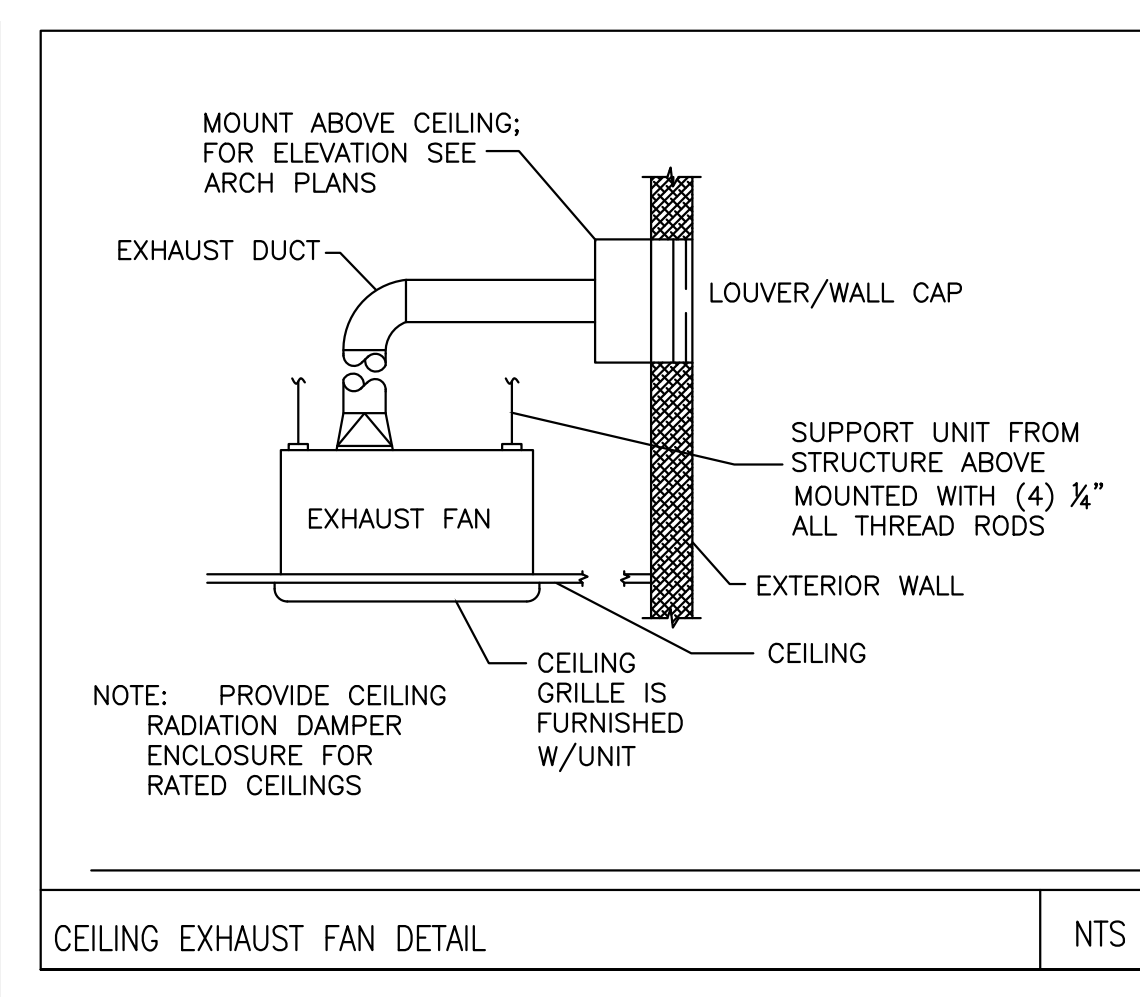
FLOOR/CEILING DUCT PROTECTION DETAIL

NTS



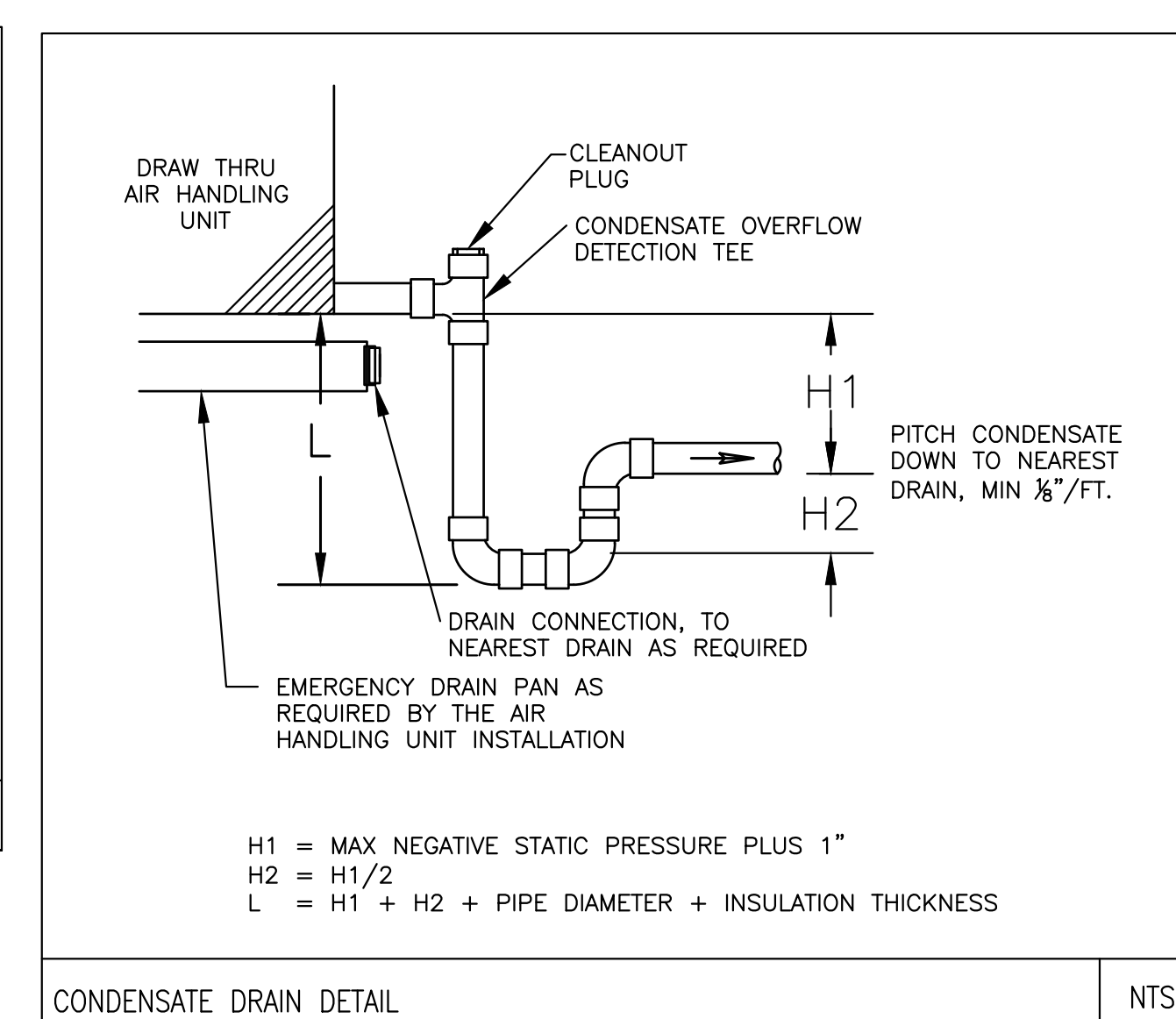
PIPE SLEEVE THRU FLOOR PENTRATION DETAIL

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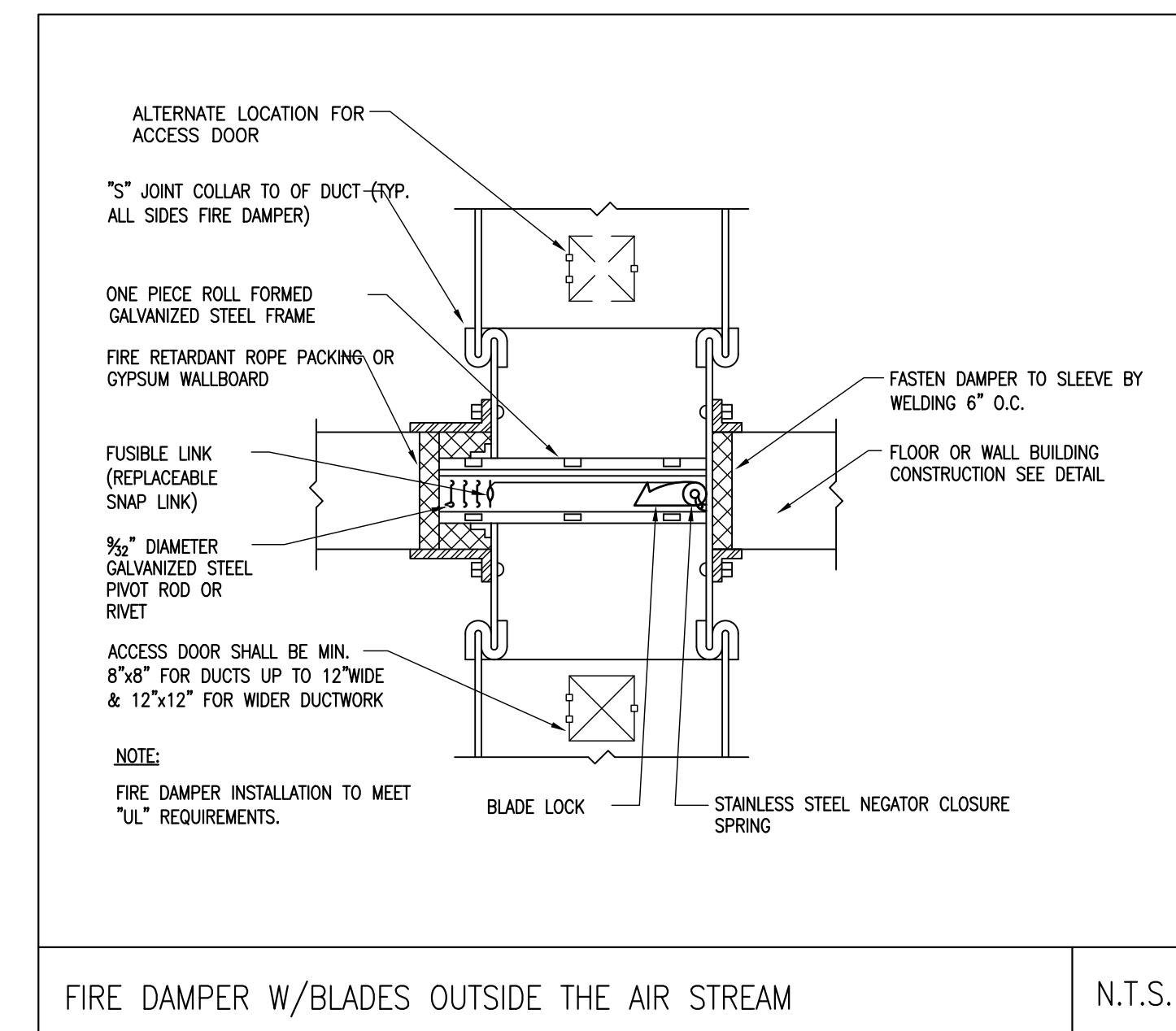
CEILING EXHAUST FAN DETAIL

NTS



CONDENSATE DRAIN DETAIL

NTS



FIRE DAMPER W/BLADES OUTSIDE THE AIR STREAM

N.T.S.

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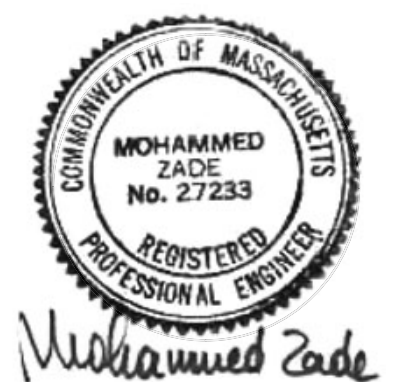
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SOUSA design  
 Architects

61 Boylston Street, 2nd Floor  
 Boston, MA 02116  
 617.879.9100

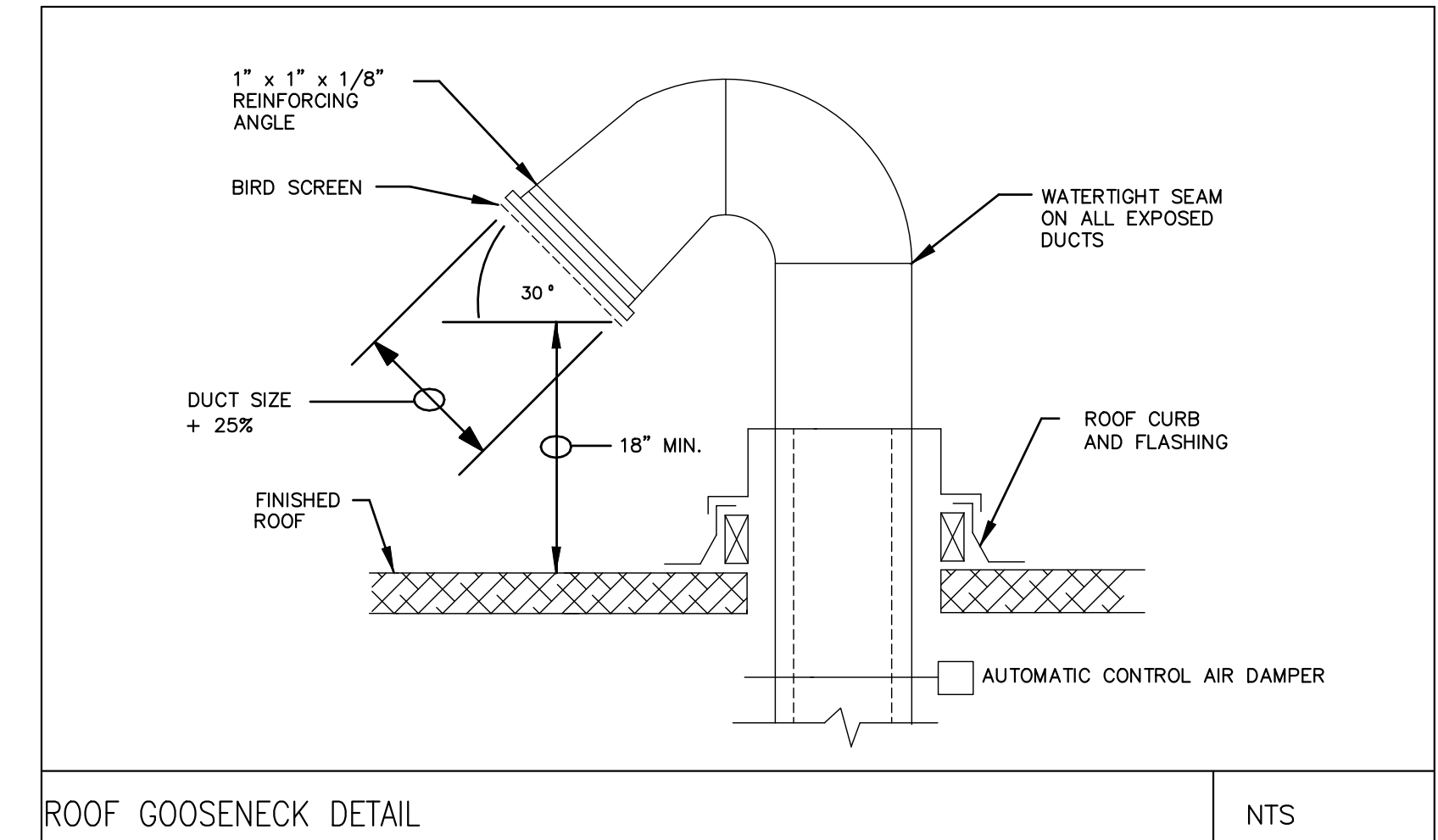
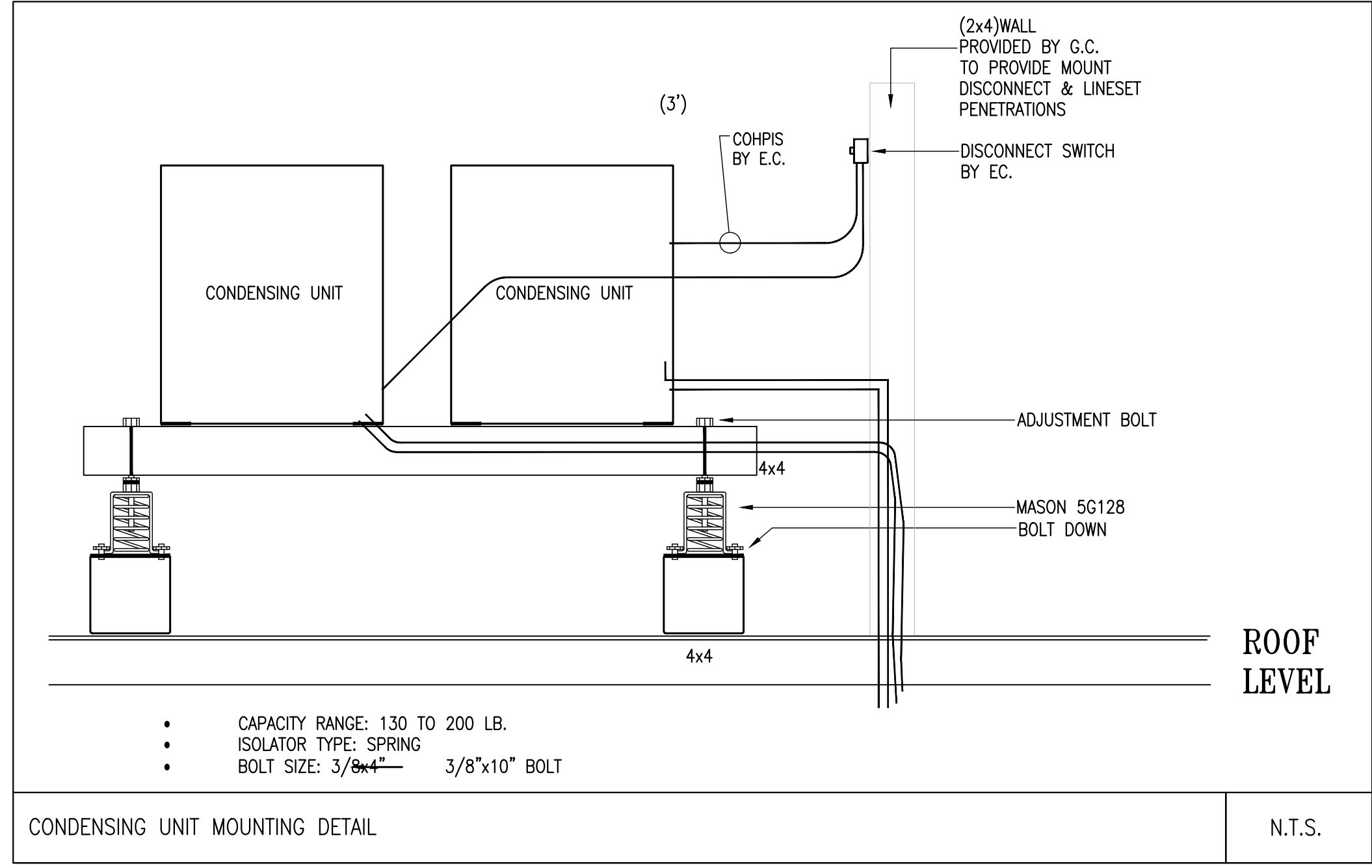
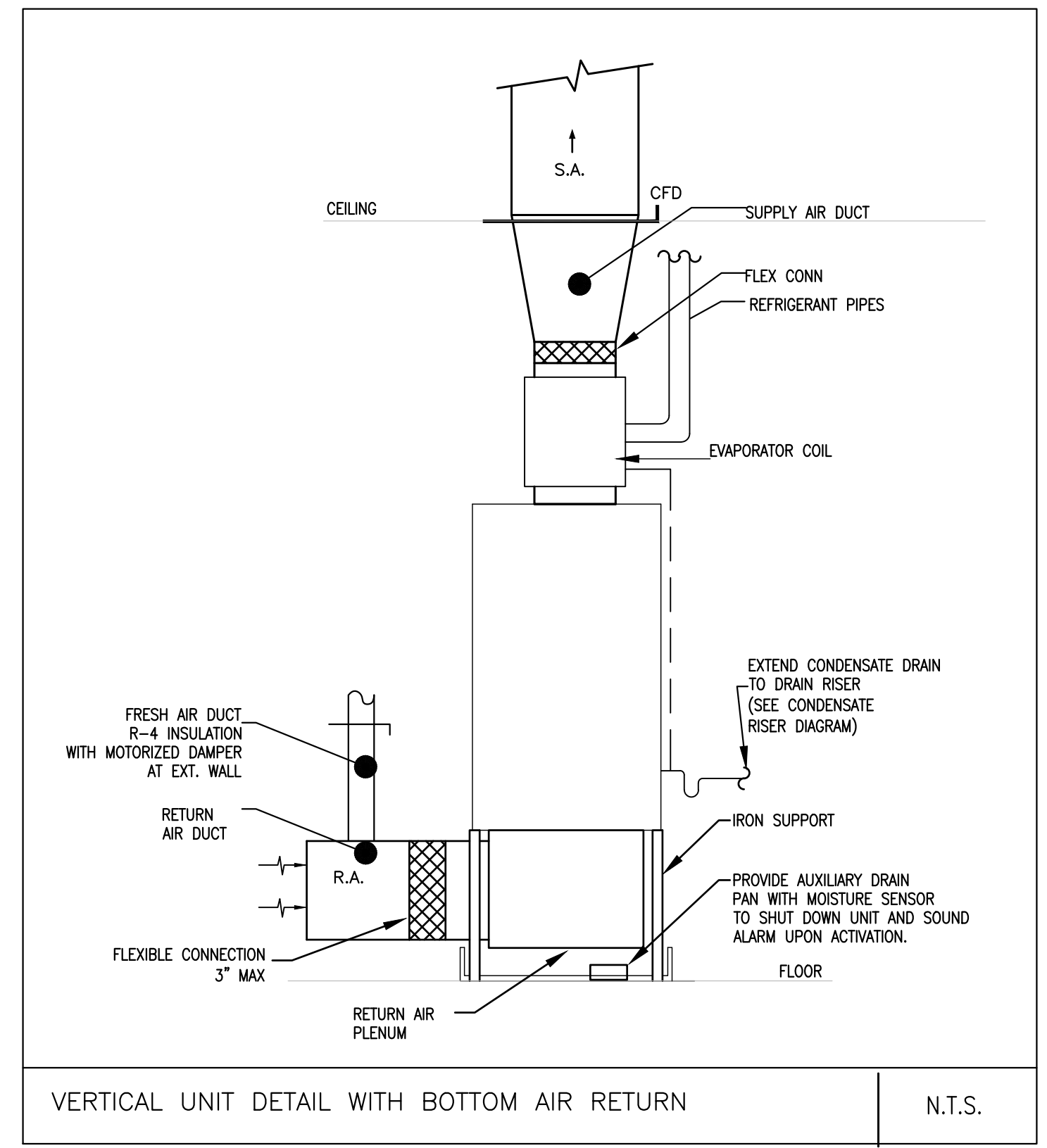
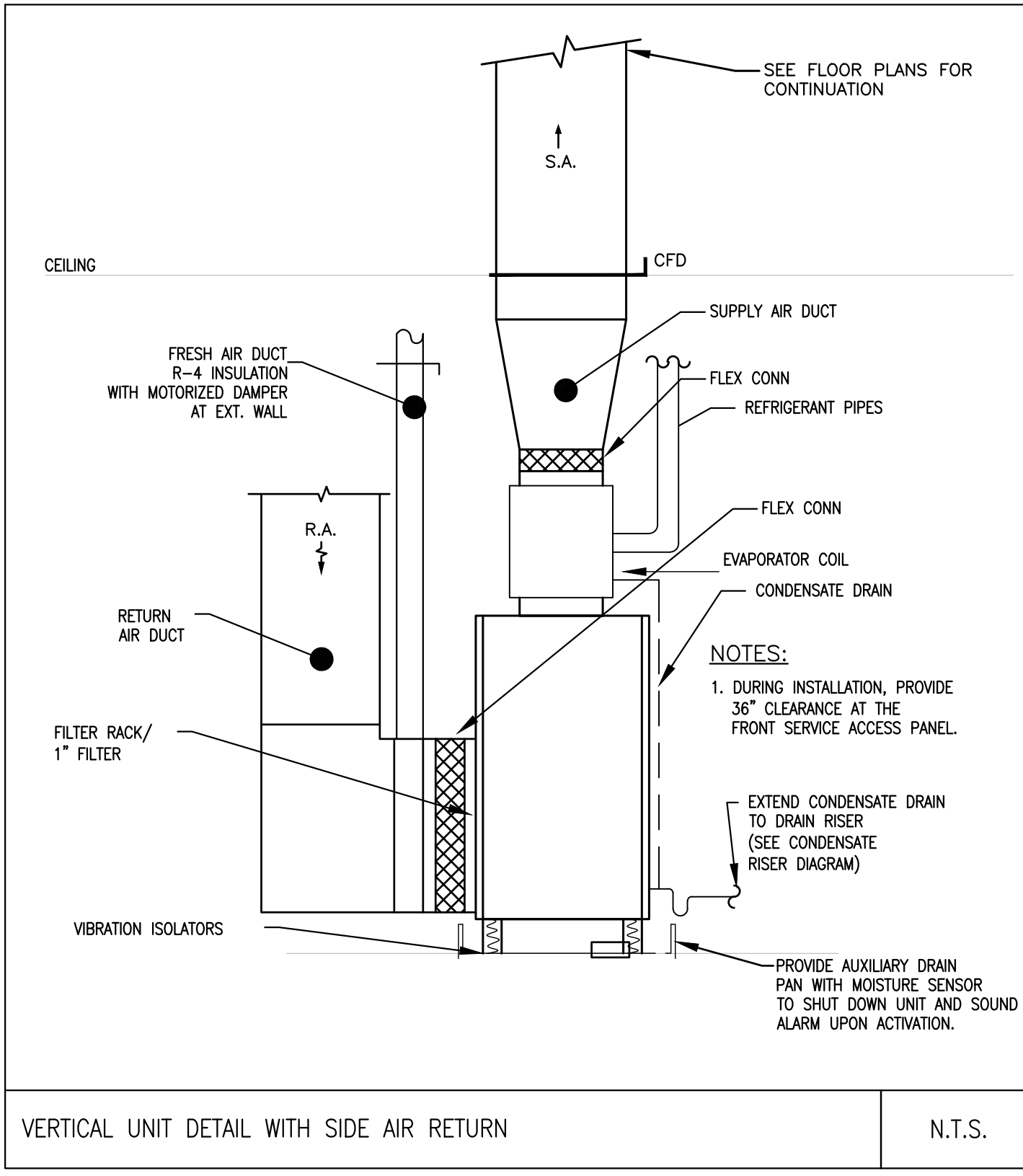
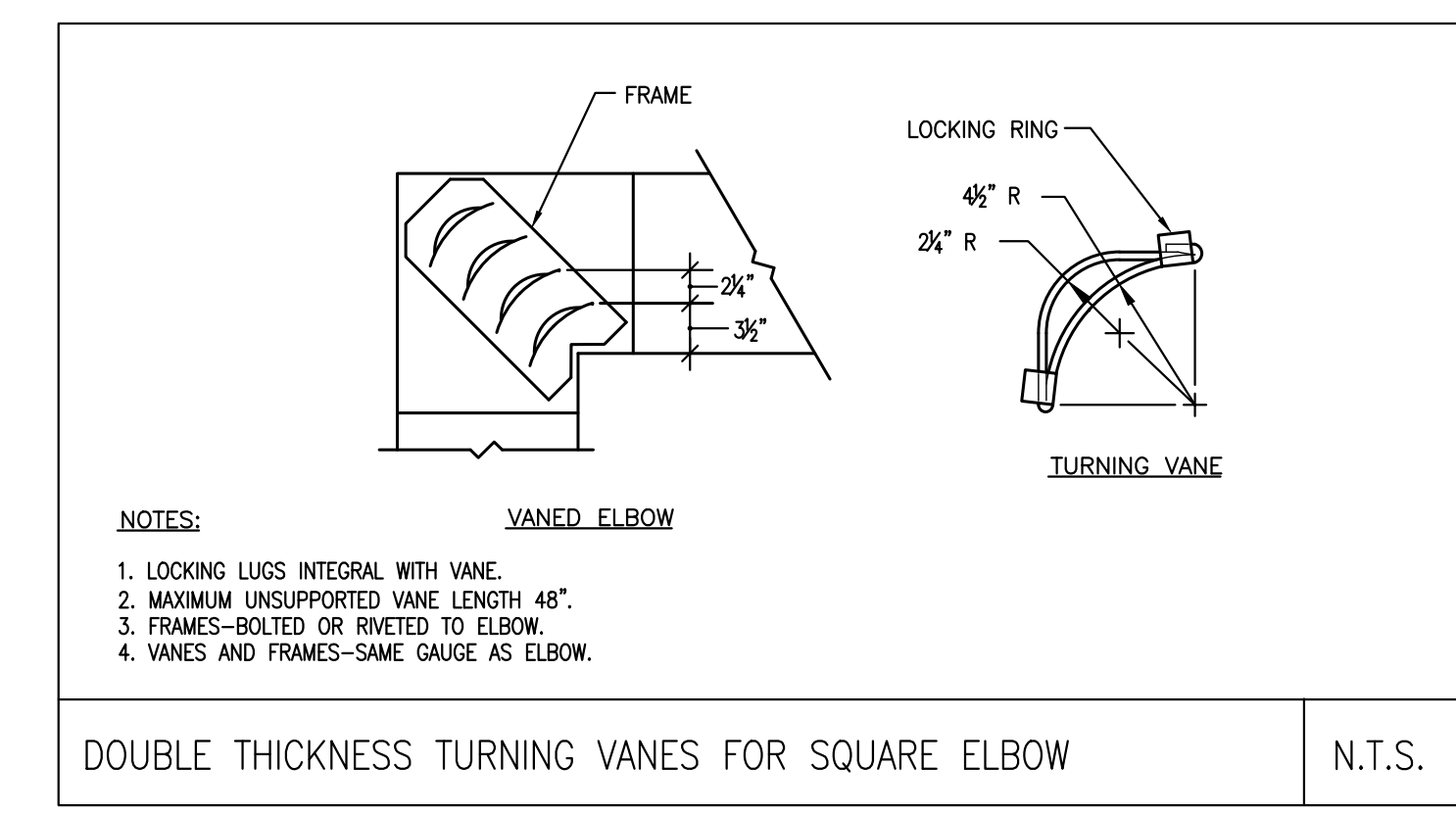
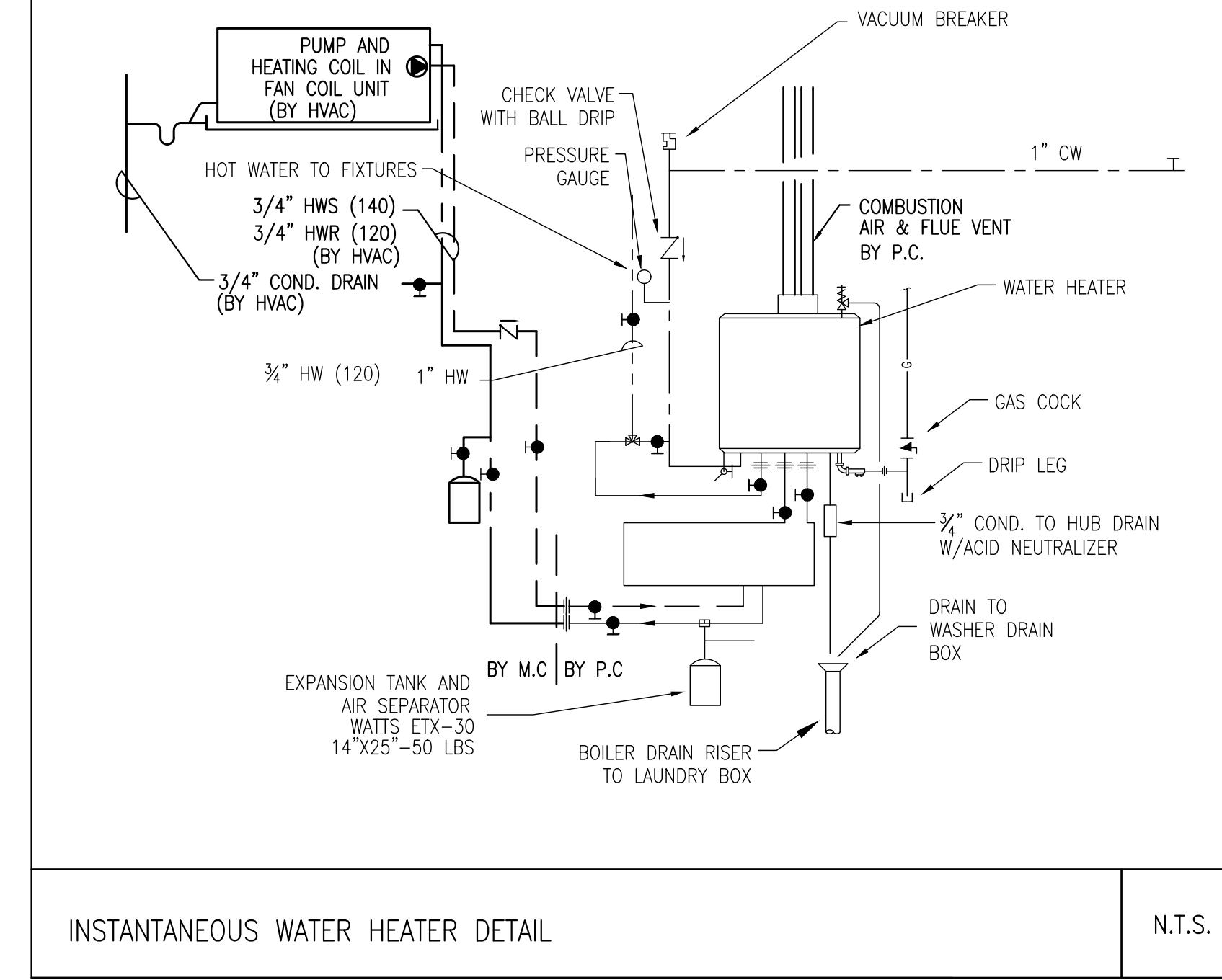
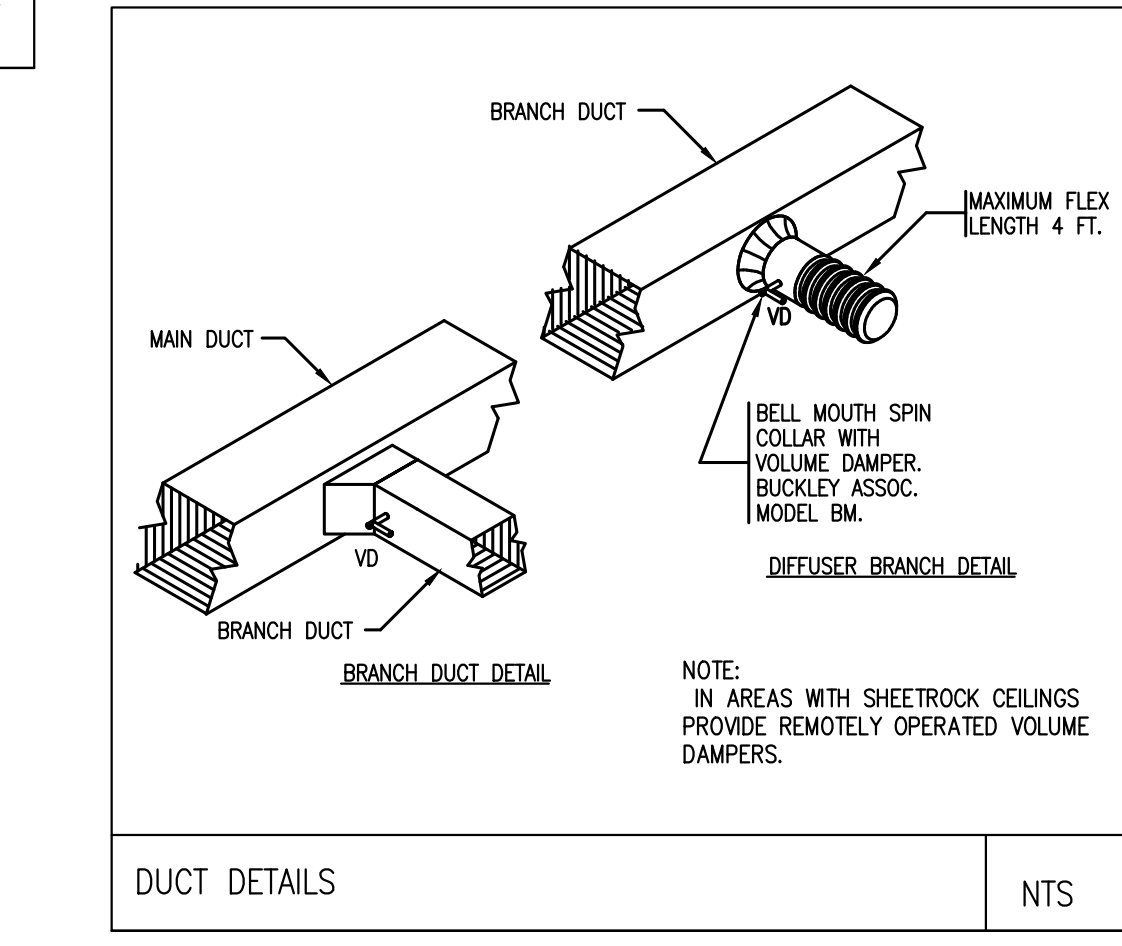
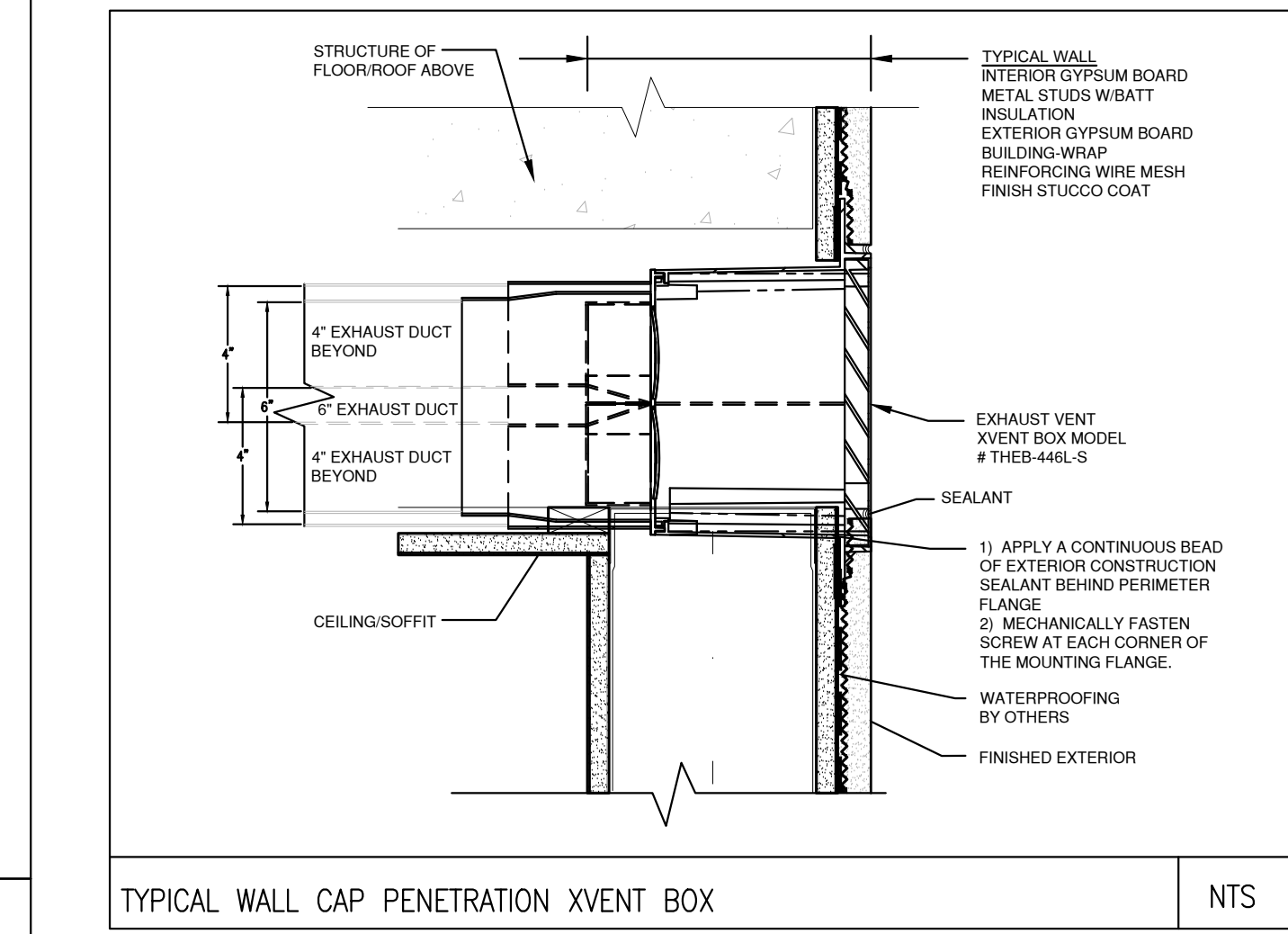
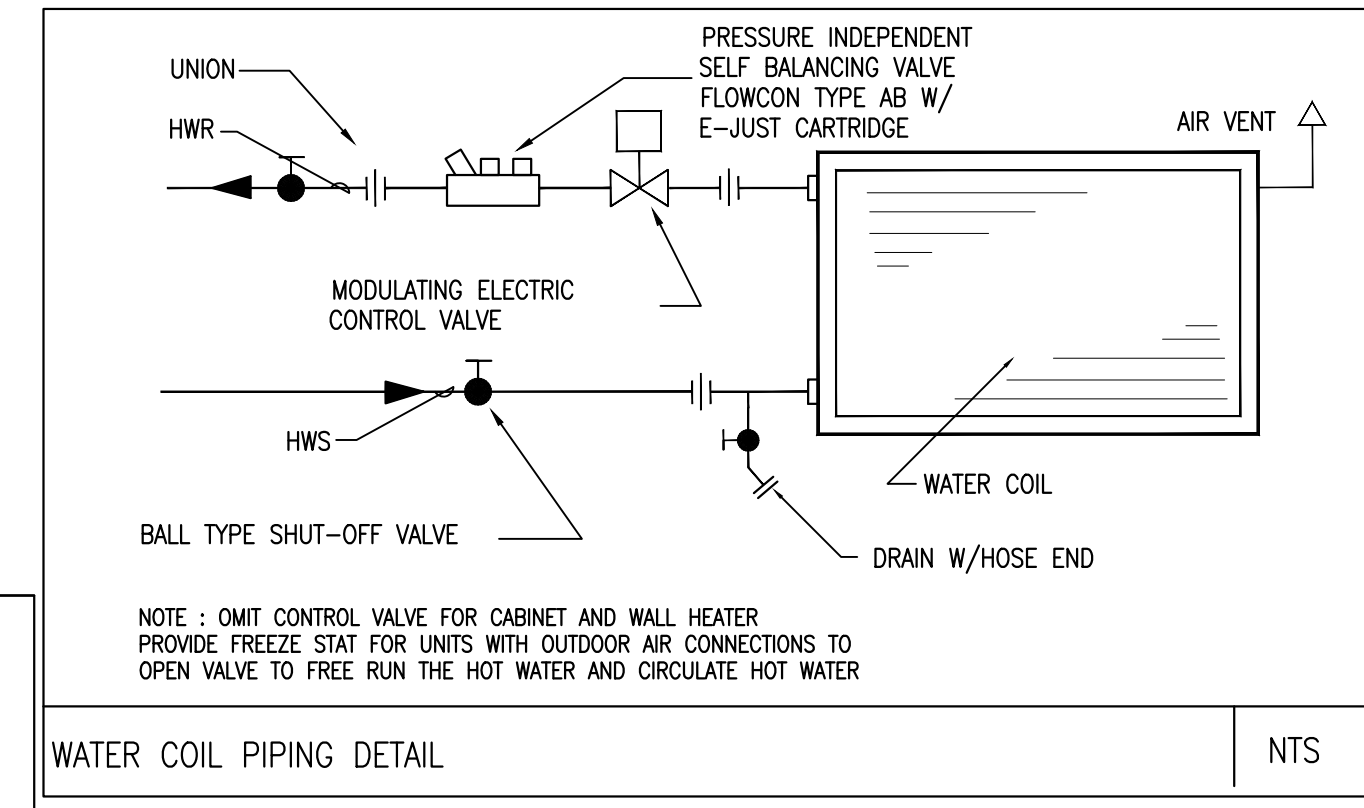
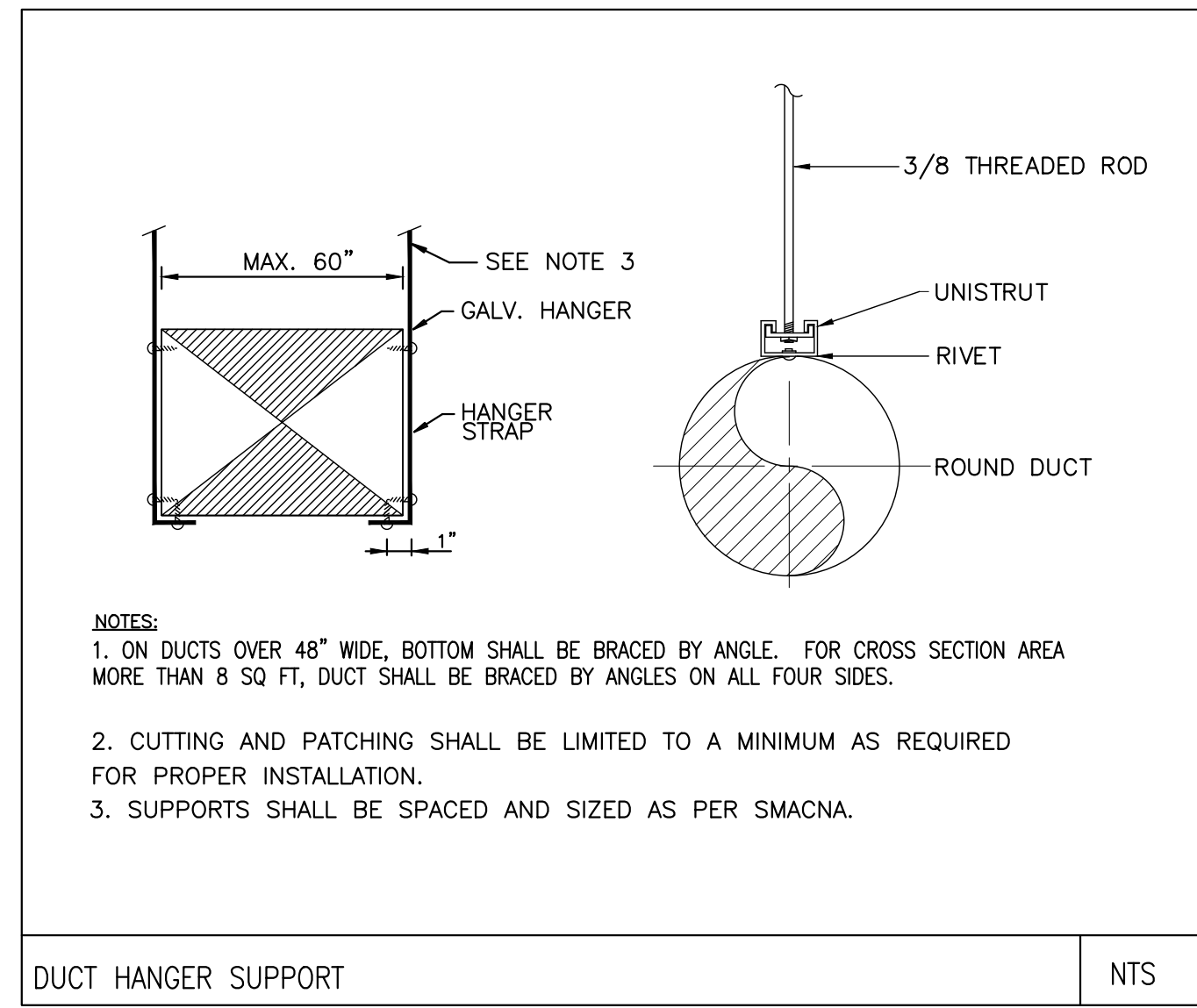
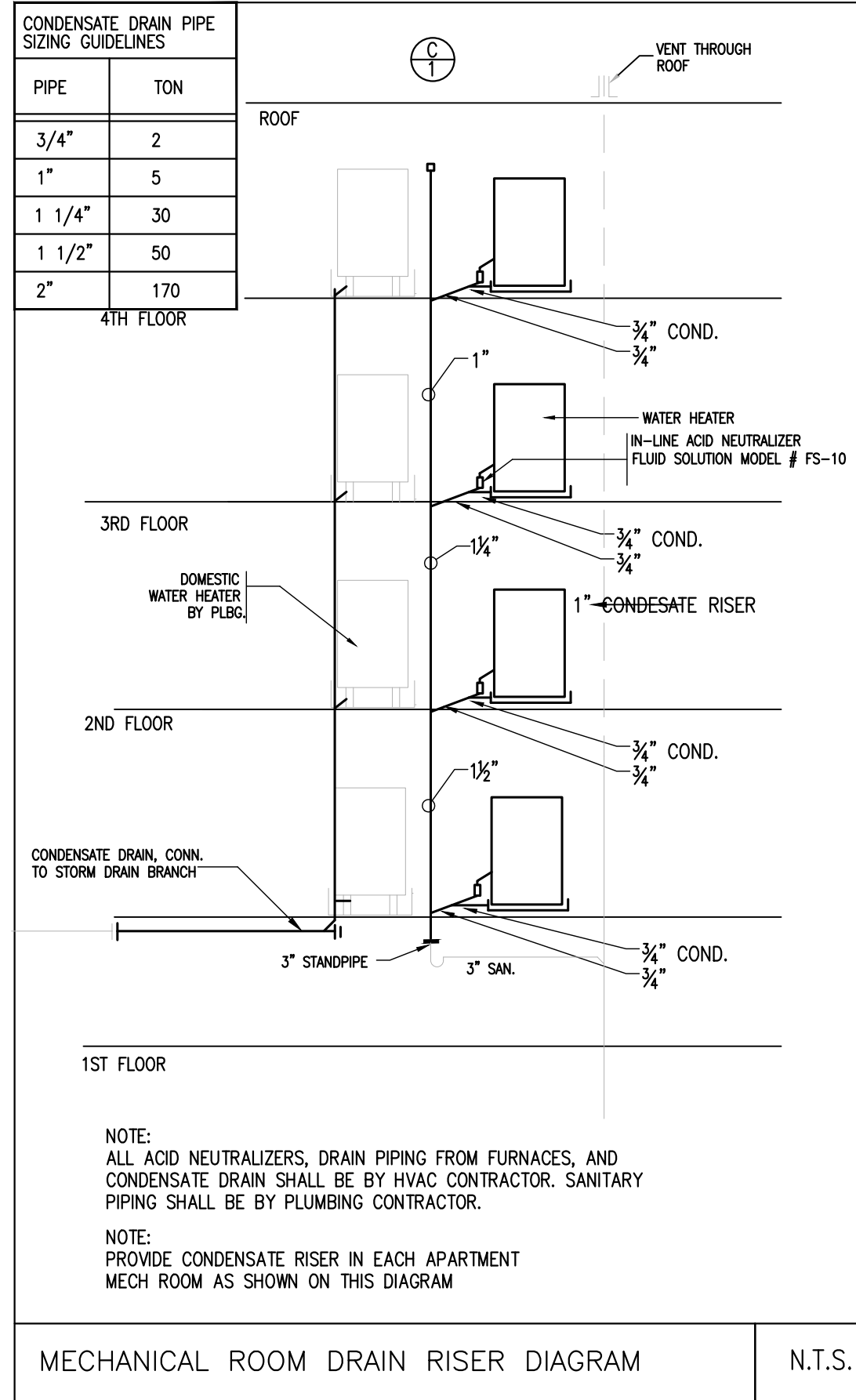


Job # 202114

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Date 08.20.2021

Revisions		
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21



67 REVERE STREET  
97 Revere Street  
Boston, MA 02114

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SOUSA design Architects  
61 Boylston Street, 2nd Floor  
Brookline, MA 02145  
617.879.9100



Job # 202114

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HVAC DETAILS

H-203

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**SOUSA design**  
Architects

81 Bayston Street, 2nd Floor  
Boston, MA 02145  
617. 879. 9100



Job # 202114

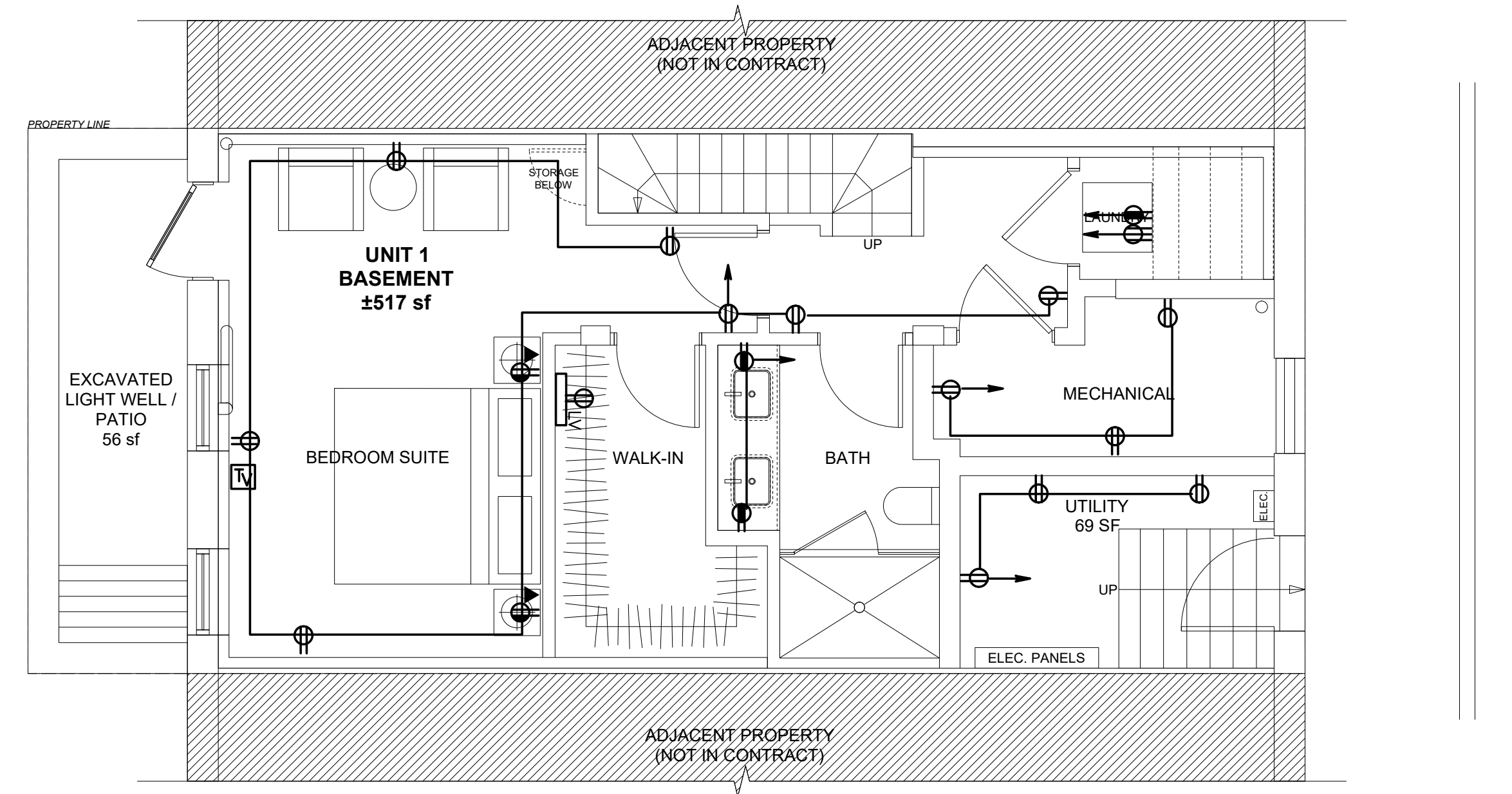
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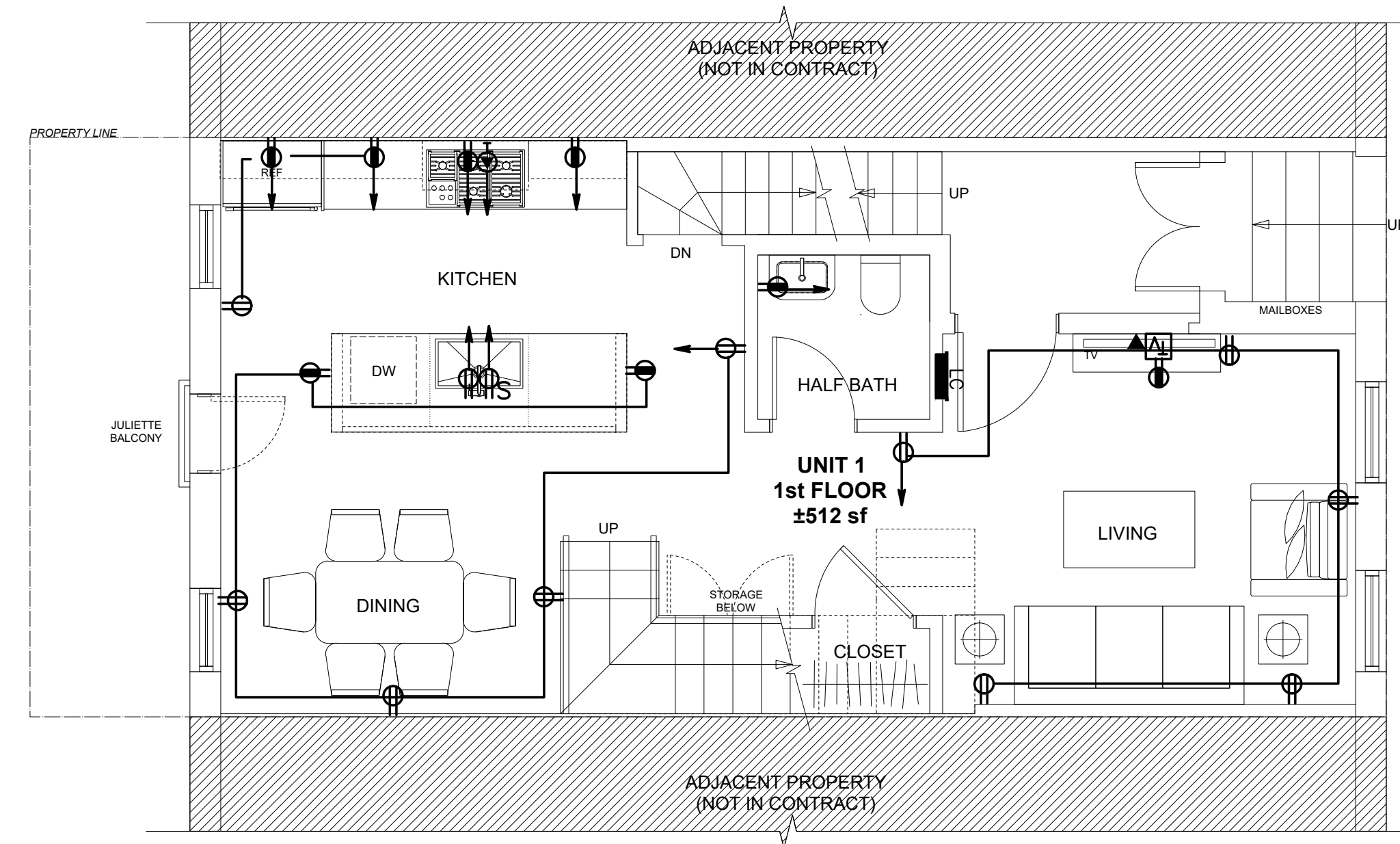
Revisions

NO	DESCRIPTION	DATE
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21

POWER FLOOR PLANS



0 BASEMENT PLAN  
Scale: 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

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Architects

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617. 879. 9100



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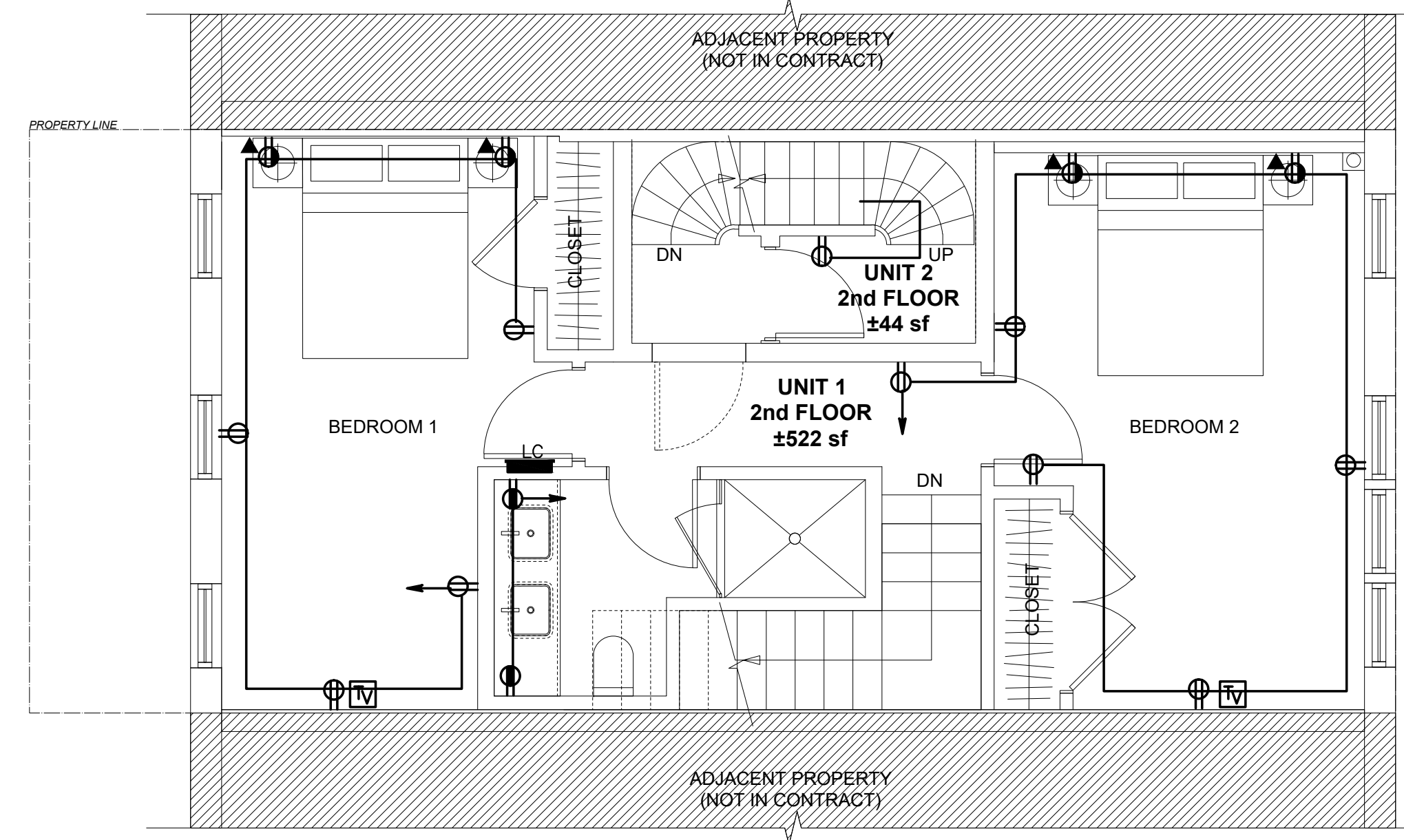
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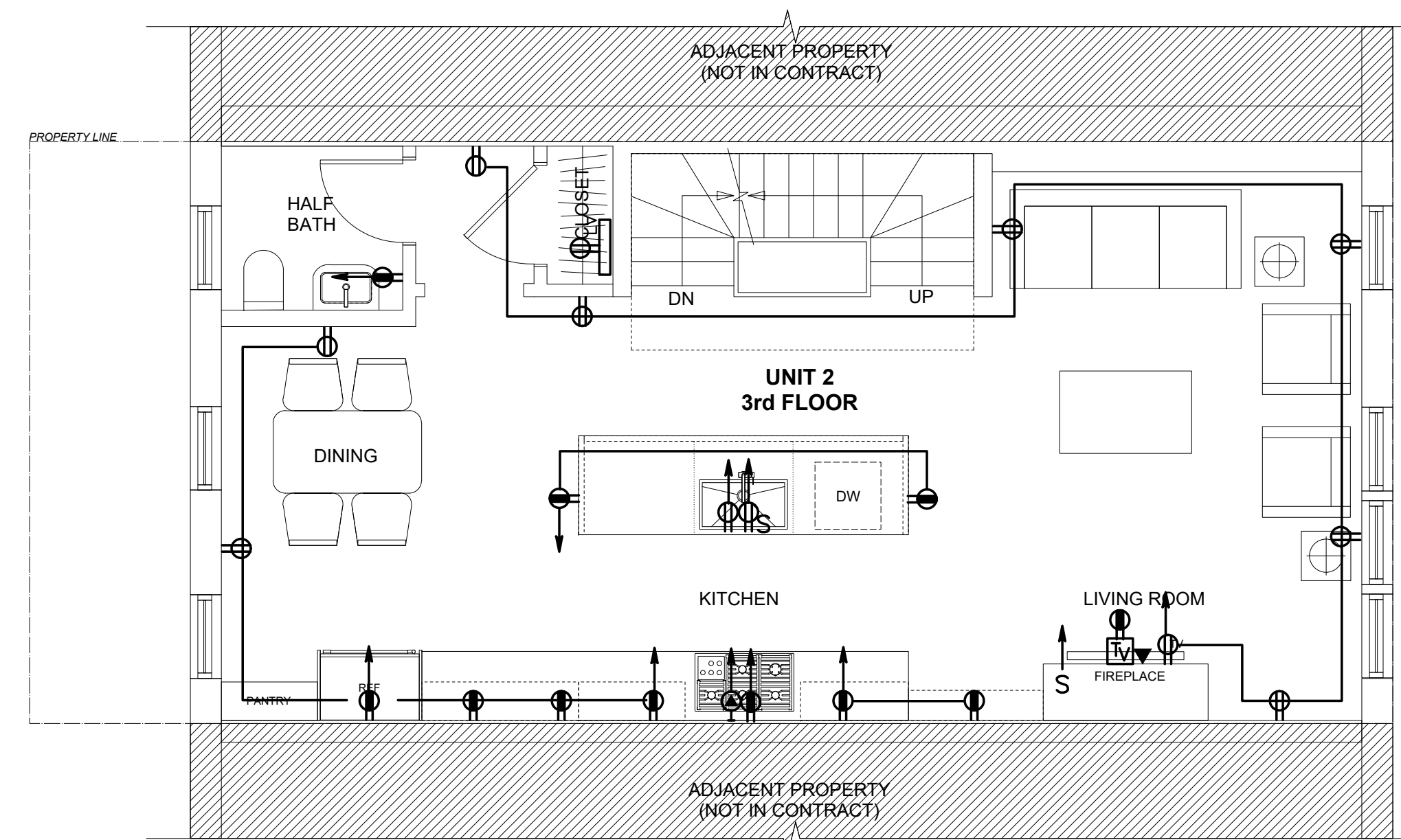
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POWER FLOOR PLANS



2 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN  
Scale: 1/4" = 1'-0"

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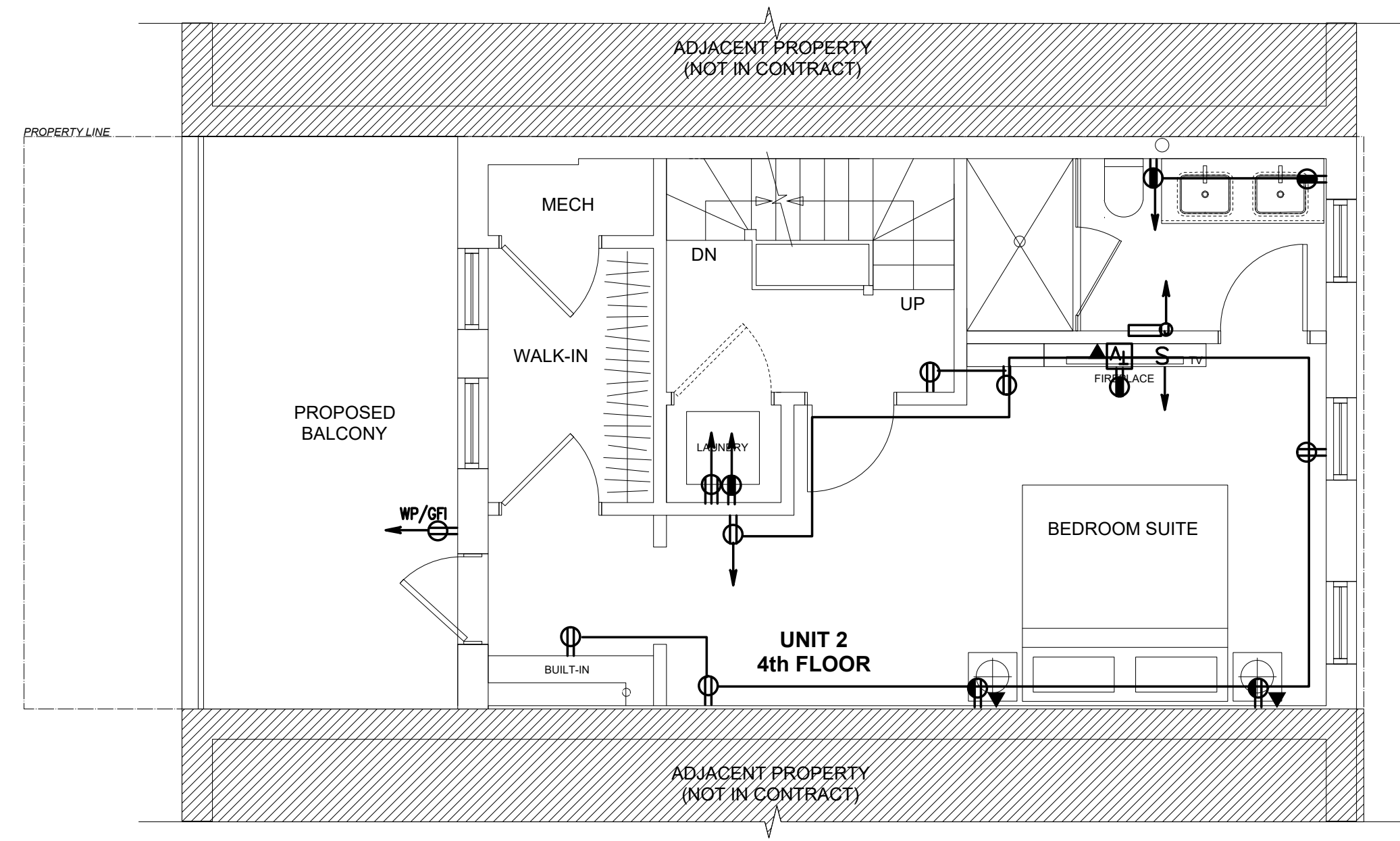
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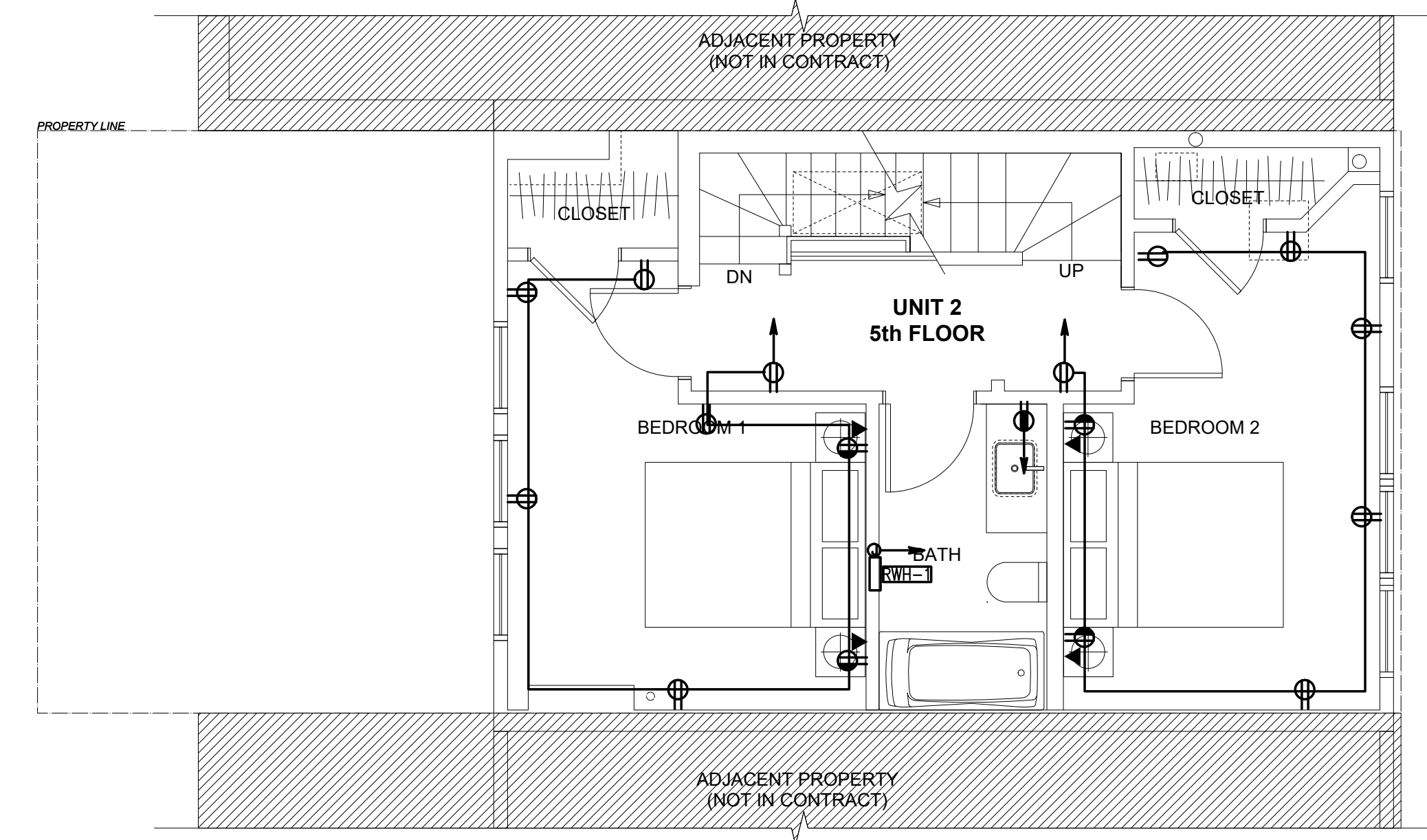
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POWER FLOOR PLANS



5 FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



4 FIFTH FLOOR PLAN  
Scale: 1/4" = 1'-0"

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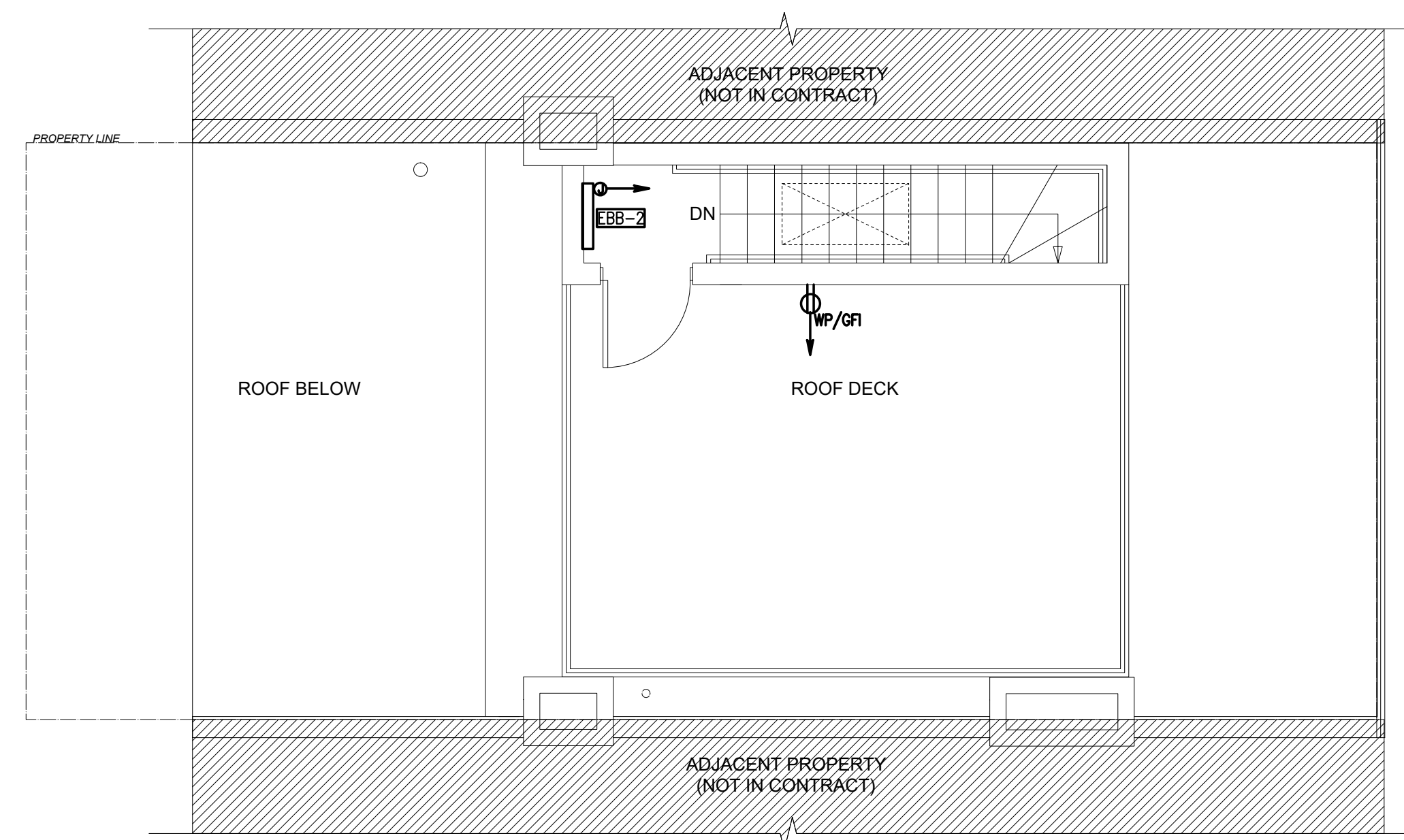
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POWER FLOOR PLANS



6 ROOF PLAN  
Scale: 1/4" = 1'-0"

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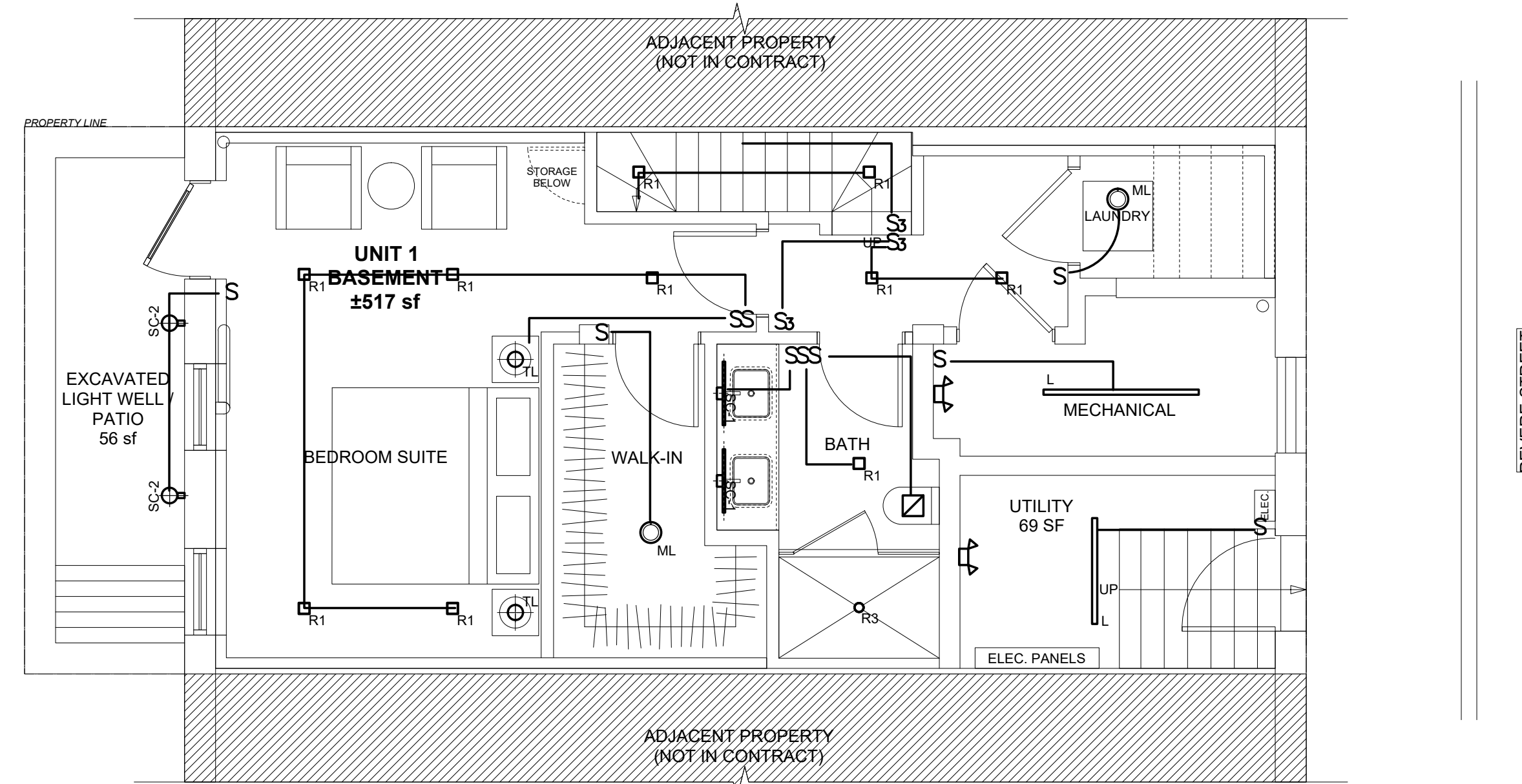
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Date 08.20.2021

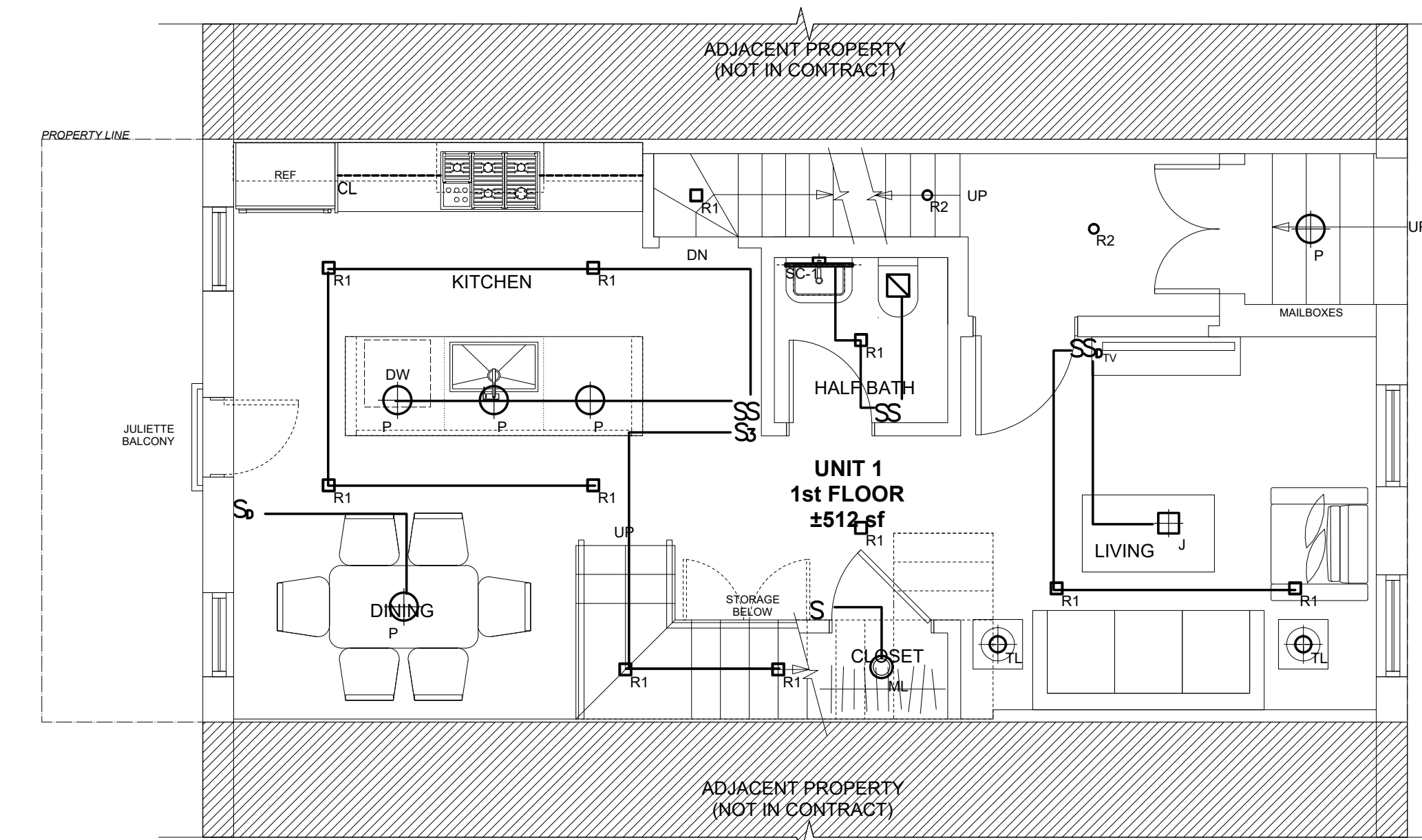
Revisions

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LIGHTING PLANS



0 BASEMENT PLAN  
Scale: 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

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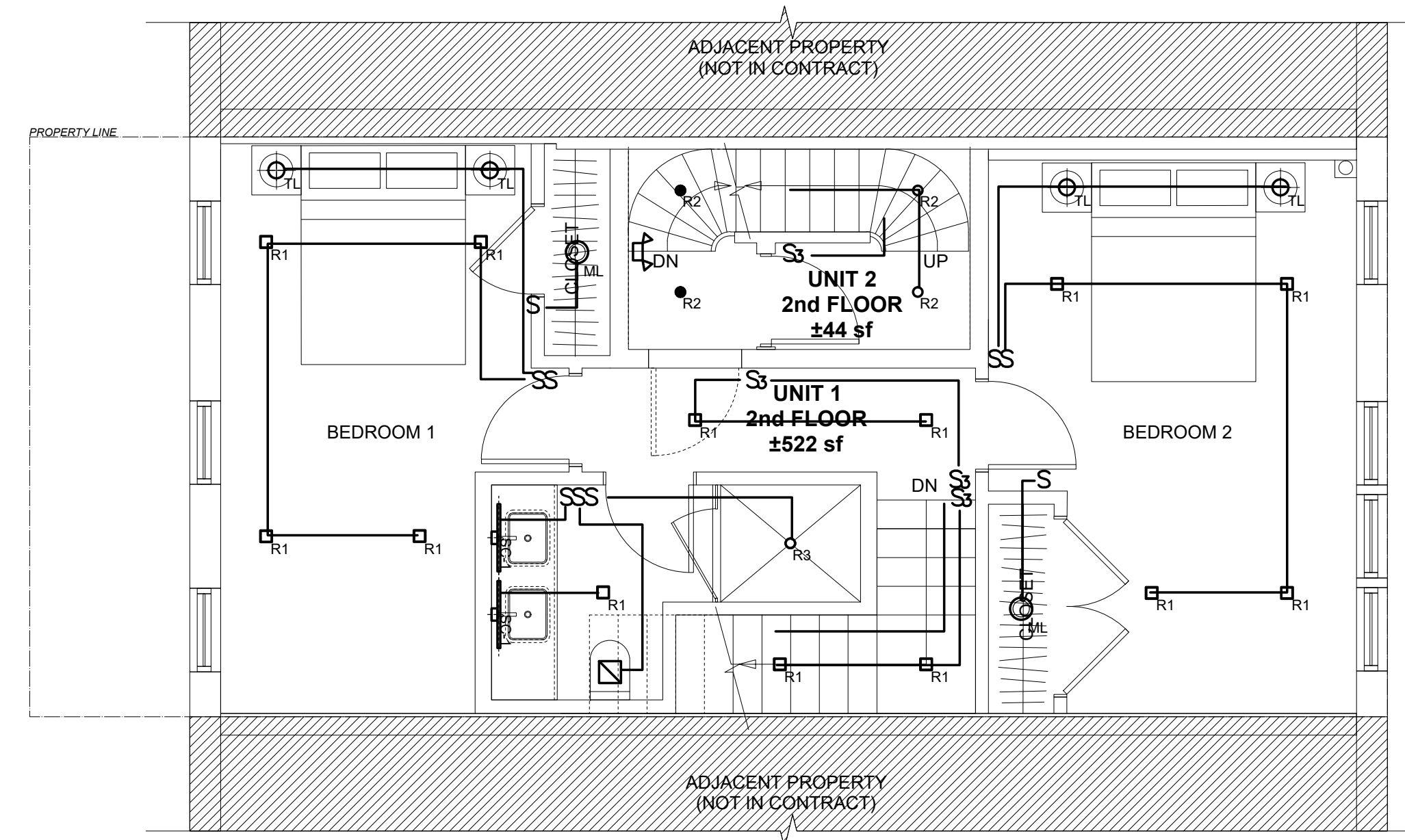
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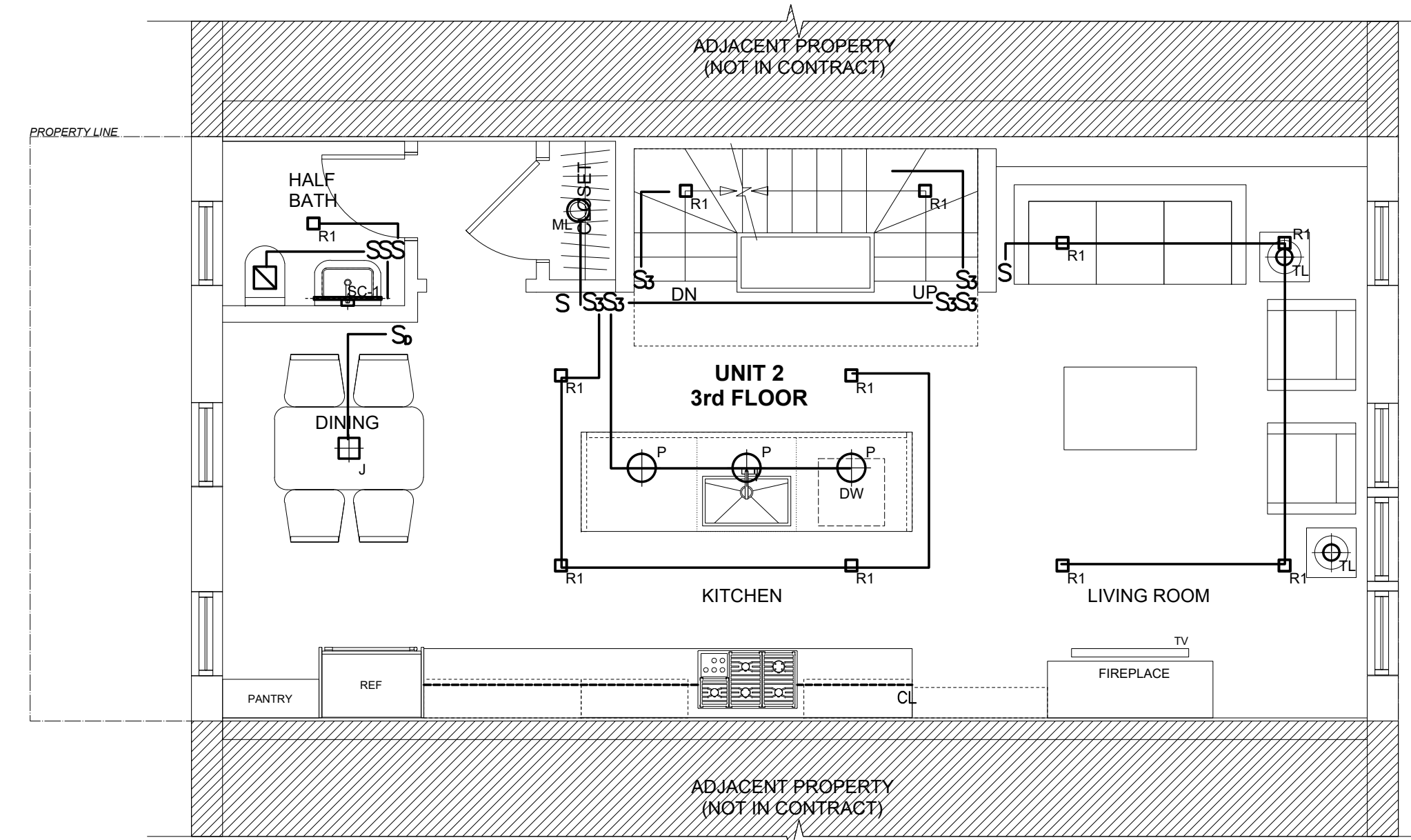
Revisions

NO	REVISION	DATE
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21

LIGHTING PLANS



2 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN  
Scale: 1/4" = 1'-0"



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THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

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617.879.9100



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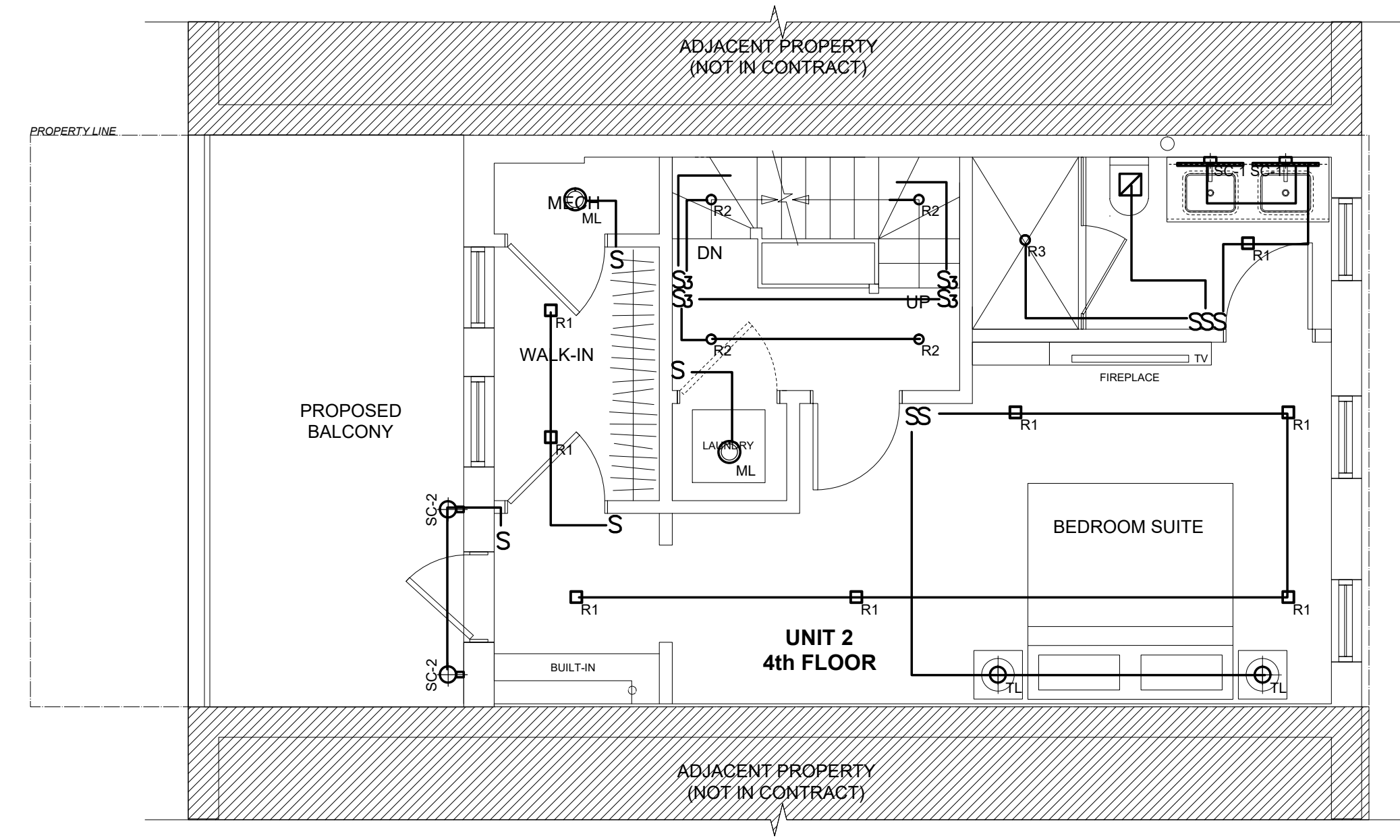
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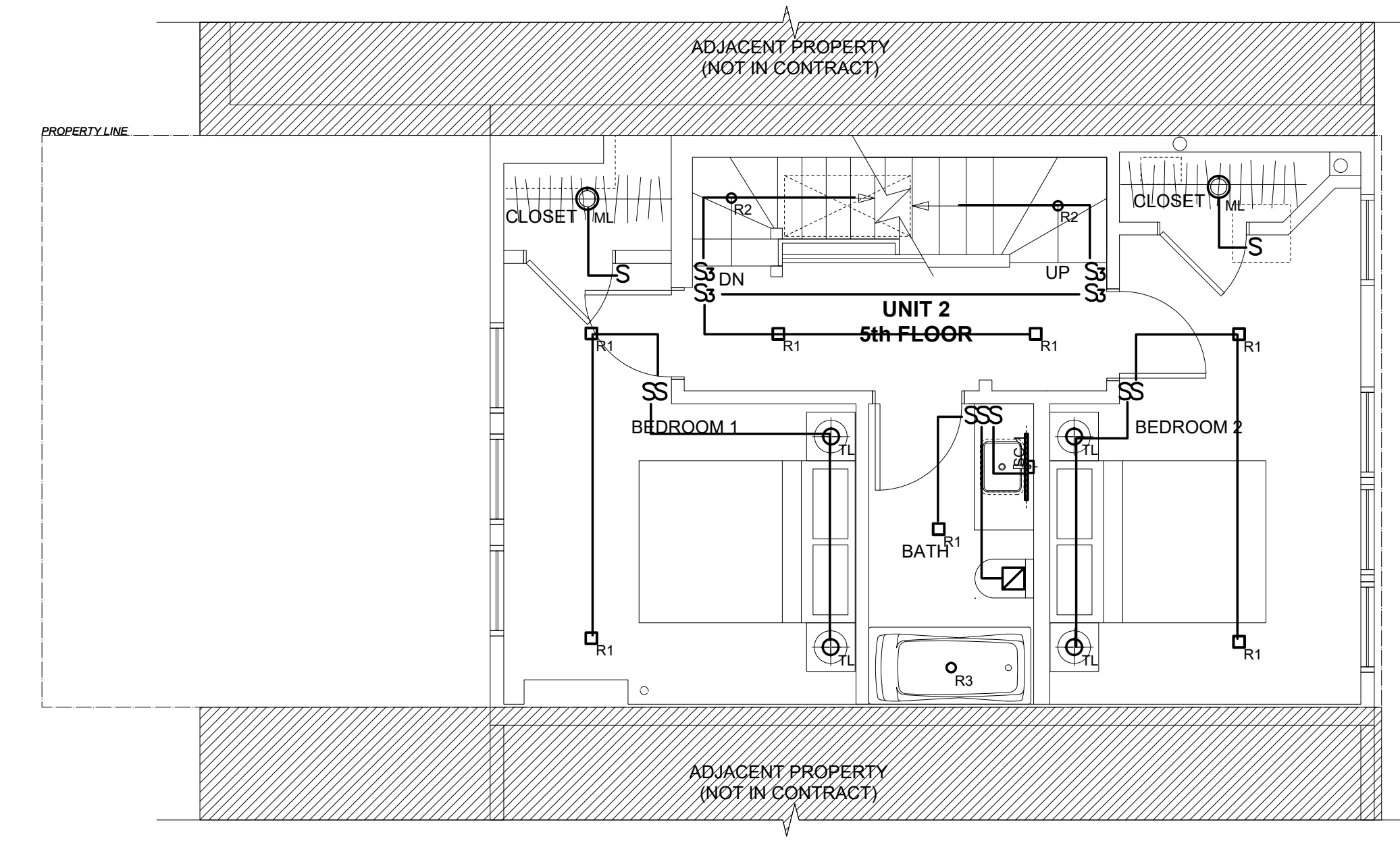
Revisions

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01	ROOF DECK	08.20.21

LIGHTING PLANS



5 FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



4 FIFTH FLOOR PLAN  
Scale: 1/4" = 1'-0"

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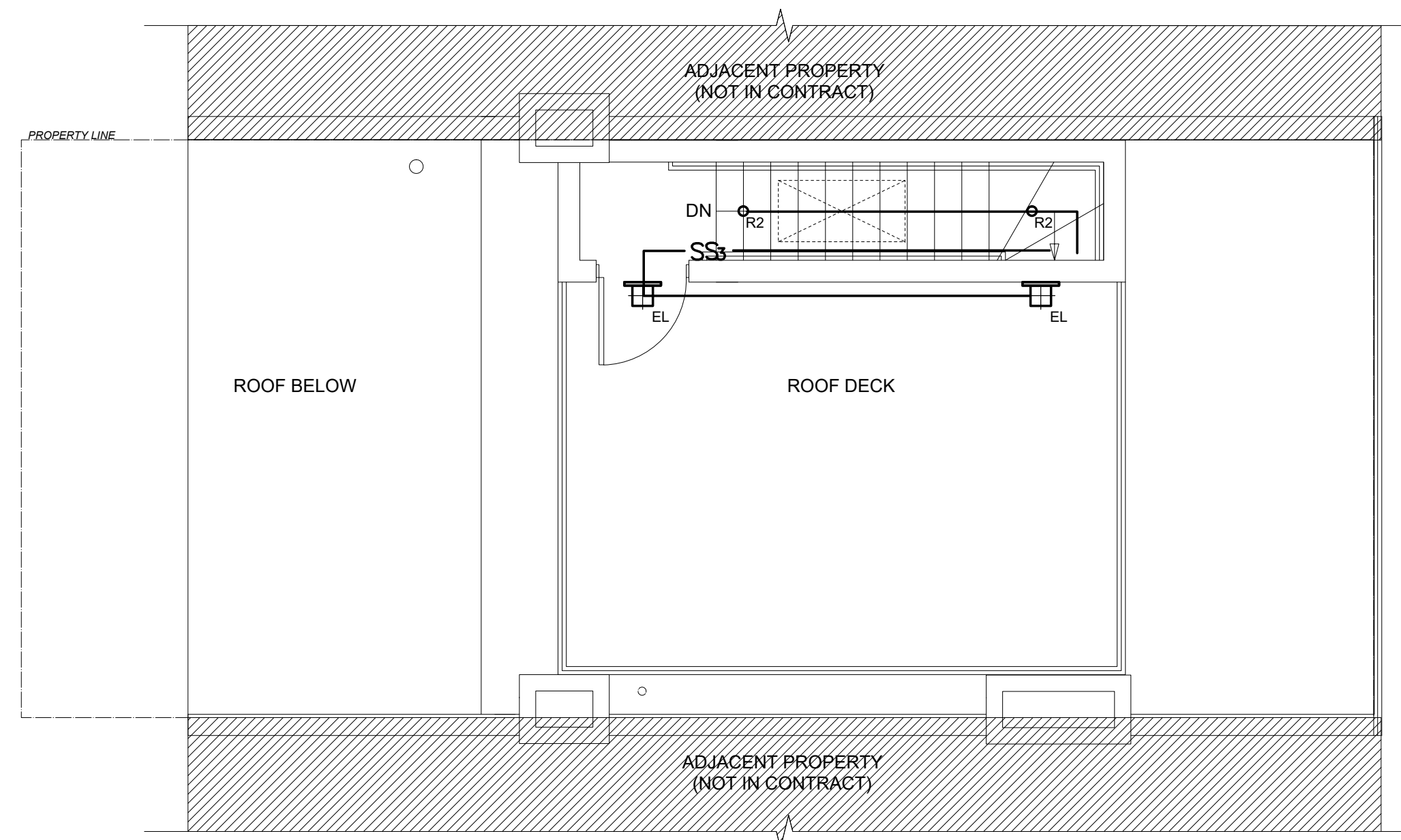
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Revisions



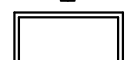



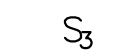
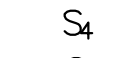

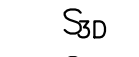
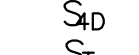
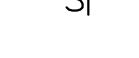




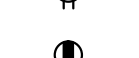









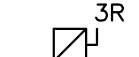





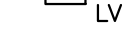

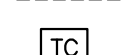
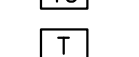
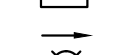


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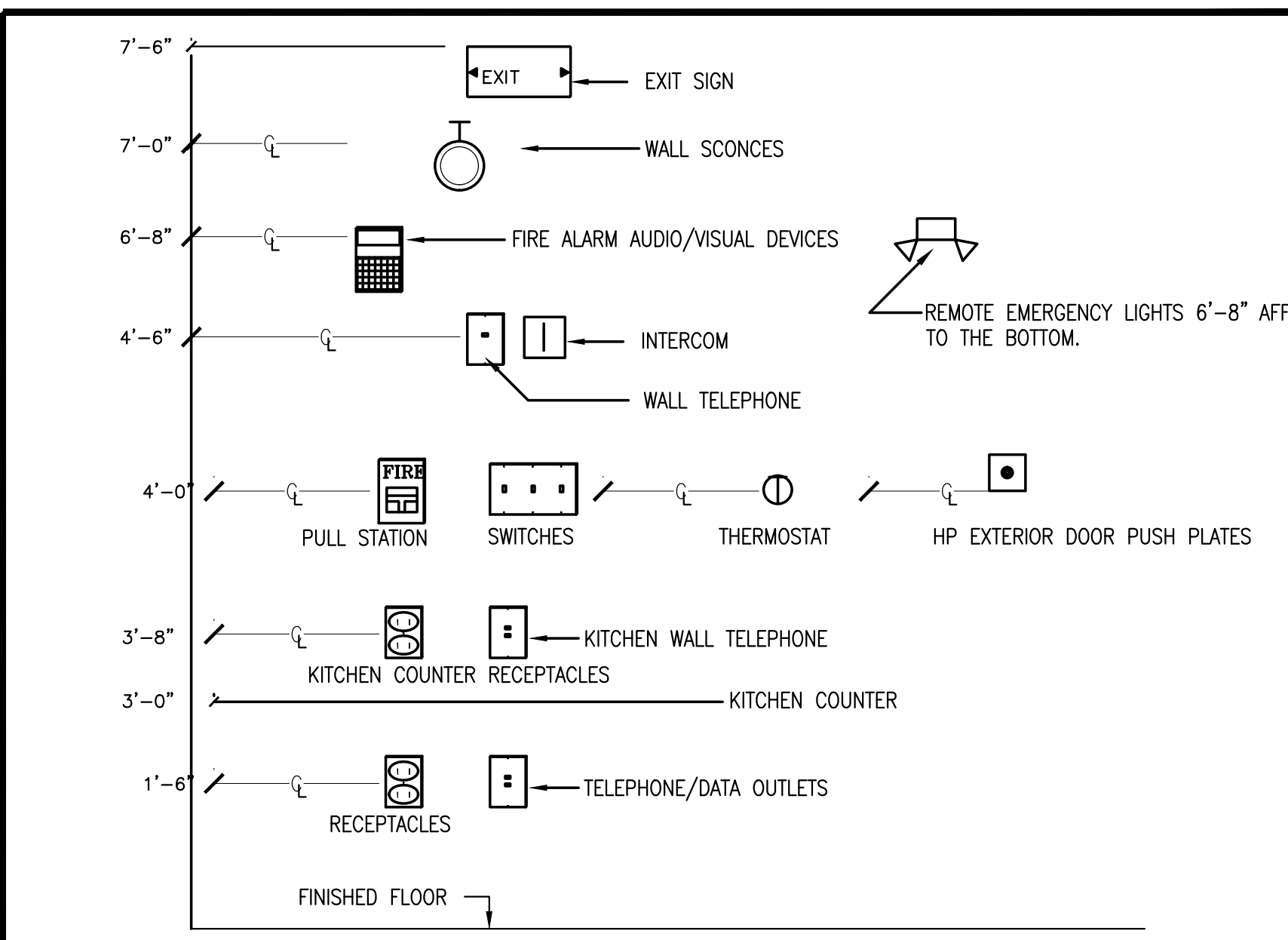
LIGHTING PLANS



6 ROOF PLAN  
Scale: 1/4" = 1'-0"

**SYMBOL LIST**

 CEILING MOUNTED LIGHT FIXTURE.  
 WALL MOUNTED LIGHT FIXTURE.  
 2'x2' OR 2'x4' FLUORESCENT LIGHT FIXTURE.  
 1'x4' FLUORESCENT WALL/CEILING MOUNTED LIGHT FIXTURE.  
 TRACK LIGHT  
 SINGLE POLE LIGHT SWITCH  
 THREE-WAY LIGHT SWITCHES  
 FOUR-WAY LIGHT SWITCHES  
 DIMMER SWITCH MINIMUM 1000W OR AS REQUIRED PER CIRCUIT  
 THREE-WAY DIMMER SWITCHES  
 FOUR-WAY DIMMER SWITCHES  
 TIMER SWITCH  
 DUPLEX RECEPTACLE, 120V, 18" AFF.  
 DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 8" ABOVE COUNTER TO C<sub>L</sub>  
 DUPLEX RECEPTACLE, 120V, 18" AFF., ONE OUTLET SWITCHED  
 120V DOUBLE DUPLEX CONVENIENCE RECEPTACLE  
 DUPLEX RECEPTACLE ABOVE COUNTER, 8" ABOVE COUNTER TO C<sub>L</sub>  
 208V/1P/30A RECEPTACLE  
 DUPLEX RECEPTACLE WITH USB PORT  
 208V/1P/50A RANGE OUTLET  
 TELEPHONE JACK COMPLETE W/JACK AND COVER, ("W" WALL MOUNTED @ 4'-0" A.F.F.)  
 TEL/DATA COMBINATION OUTLET, COMPLETE W/JACK AND COVER, HEIGHT @18" TO C.A.F.  
 MOTOR  
 FUSED DISCONNECT SWITCH, (3R RAIN-PROOF).  
 HOMERUN TO PANEL WITH CONDUCTOR, (HOT, NEUTRAL, GROUND)  
 JUNCTION BOX  
 LIGHTING & POWER PANEL  
 APARTMENT LOAD CENTER, RECESSED  
 LOW VOLTAGE BOX  
 RACEWAY CONCEALED IN CEILING, PLENUM OR WALLS  
 RACEWAY CONCEALED IN SLAB (FLOOR)  
 TIME SWITCH  
 DRY TYPE TRANSFORMER  
 UNIVERSAL MOUNTING EXIT SIGN (DOUBLE FACED), ARROWS AS INDICATED.  
 EMERGENCY BATTERY UNIT WITH MOUNTING BRACKET AND VOLTMETER.  
 OCCUPANCY SENSOR SWITCH  
 OCCUPANCY SENSOR  
 AREA OF REFUGE CENTRAL BASE UNIT  
 AREA OF REFUGE FLOOR ELEVATOR LOBBY UNIT.



**TYPICAL DEVICE MOUNTING HEIGHTS DETAIL**

- NOTES**
- DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHEREVER POSSIBLE.
  - IN ACCESSIBLE UNITS ANY PUBLIC AREAS CONTROL SWITCHES MOUNTING HEIGHT NO HIGHER THAN 48" AFF. HOOD CONTROL SWITCHES (LIGHT/FAN) SHALL BE MOUNTED ON WALL AT COUNTER. KITCHEN COUNTER OUTLETS 2" LOWER THAN REGULAR UNITS.
  - ALL DEVICES SHALL BE INSTALLED AT MOUNTING HEIGHTS AS INDICATED ON THIS DETAIL, UNO IN THESE CONTRACT DOCUMENTS, BY ARCHITECT OR BY OWNER.
  - FIRE ALARM PULL STATION MOUNTING HEIGHT SHALL BE COMPLY WITH NFPA 72. (NOT LESS THAN 42 INCHES AND NOT MORE THAN 48 INCHES ABOVE FINISHED FLOOR.)
  - FIRE ALARM HORN/STROBE OR STROBE ONLY THE ENTIRE STROBE LENS TO BE LOCATED NOT LESS THAN 80 INCHES ABOVE FINISHED FLOOR AND NOT MORE THAN 96 INCHES ABOVE FINISHED FLOOR AND COMPLY WITH NFPA 72.

**AWP** INDICATES EXTERIOR MOUNTED EMERGENCY LIGHTS. CONNECT ALL REMOTE EMERGENCY LIGHTS ON CIRCUITS SO THAT (WATTSXFT) IS LESS THAN 3200 UNITS AND WIRE WITH #10 CU TO REMOTE BATTERY PROVIDE 12V SEALED CALCIUM BATTERY UNIT AS REQUIRED OR AS SPECIFIED. BATTERY SHALL BE LOCATED IN A WARM ROOM AND FED FROM LIGHTING CIRCUIT SERVING THE AREA WHERE REMOTE HEADS ARE LOCATED BATTERY SHALL BE EMERG-LITE 12VSM 220V OUTDOOR LIGHTS SHALL BE EMERG-LITE E11D

LOOP EVERY 8 EXTERIOR BUILDING MOUNTED LIGHT FIXTURE ON ONE CIRCUIT AND FEED FROM TC-S VIA 20A/1P.C.B. WIRE SHALL RUN INSIDE BUILDING

**MS** INDICATES CEILING MOUNTED OCCUPANCY SENSOR. IN EACH SPACE EXCEPT CLOSETS, BATHROOMS, CORRIDORS AND UTILITY ROOMS, PROVIDE CEILING MOUNTED OCCUPANCY SENSOR SHOWN OR OTHERWISE TO COMPLY WITH MASS ENERGY CODE. UNITS SHALL BE SIZED PER CIRCUIT REQUIREMENTS. EQUIPMENT SHALL BE AS MANUFACTURED BY NOVITAS 01-087 OR 01-077 OR EQUAL, AIR FLOW COMPENSATED TYPE.

SHADED AND HALF SHADED FIXTURE INDICATES LIGHT FIXTURE ON NIGHT LIGHT CIRCUIT. LOOP UP TO 1200W/120V ON ONE CIRCUIT AND FEED FROM LIGHTING PANEL

CONNECT ALL EXIT SIGNS AND EMERGENCY BATTERIES TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY CONTROLS TYPICAL FOR ALL AREAS

**CARBON MONOXIDE DETECTORS**  
 IN ALL RESIDENTIAL UNITS  
 PROVIDE CARBON MONOXIDE DETECTORS AT  
 -OUTSIDE EACH BEDROOM WIRED TO SMOKE DETECTOR CIRCUIT AND  
 -ON EVERY HABITABLE LEVEL AT LEAST ONE AND  
 -FOR ALL GAS FIRED UNITS WITH UNIT SHUT DOWN INTERLOCK AND NEAR ALL GAS FIRED FIRE PLACES

WIRING IN ALL EXPOSED AREAS SHALL BE IN METALLIC RACEWAYS AS WIREMOLD OR EQUAL. RACEWAYS SHALL BE PAINTED AS DIRECTED BY THE ARCHITECT. SURFACE RACEWAYS SHALL CLOSELY FOLLOW THE SURFACE AND WRAP AROUND THE BEAMS AS REQUIRED. PRIOR TO ANY INSTALLATION, SUBMIT LAYOUT SKETCH INDICATING PROPOSED ROUTING FOR APPROVAL. ARCHITECT HAS THE RIGHT TO MODIFY OR CHANGE LAYOUT AS NEEDED. ANY CHANGES PRIOR TO ANY INSTALLATION SHALL BE AT NO CHARGE TO CONTRACTOR PRICE.

**INDICATES TEL/DATA COMBINATION OUTLET WITH**  
 CAT 6 TEL/DATA JACK. E.C. SHALL WIRE EACH OUTLET HOME RUN 2 PAIR CAT 6 CLP FOR TELEPHONE TO TELEPHONE TERMINATION BOARDS RESPECTIVELY. TERMINATE AT PUNCH DOWN BLOCKS. ALL WIRING AND TERMINATION SHALL BE PER CAT 6 SPECIFICATIONS. ALL WIRES SHALL BE PROPERLY LABELED AND RINGED OUT. KEEP WIRES MINIMUM 18" FROM POWER FEEDS AND FIXTURE BALLASTS

CONDENSING UNIT SHALL BE WIRED TO APARTMENT PANEL UNIT IS SERVING. CONTRACTOR SHALL COORDINATE WITH HVAC SUB CONTRACTOR FOR EXACT UNIT, CORRESPONDING APARTMENT AND ELECTRICAL CHARACTERISTICS PRIOR TO ANY WORK DONE WITHIN 25FT OF EACH CONDENSING UNIT PROVIDE WP/GFI OUTLET WIRED TO HOUSE PANEL LOOP UP TO 8 SUCH ROOF OUTLETS ON ONE CIRCUIT

LOCATION OF ALL MECHANICAL EQUIPMENTS AND ELECTRICAL CHARACTERISTICS SHALL BE COORDINATED WITH MECHANICAL CONTRACTOR PRIOR TO ANY WORK DONE. ALL EQUIPMENT RELATING TO MECHANICAL COMPONENTS SHALL BE ORDERED ONLY AFTER THE APPROVAL OF MECHANICAL EQUIPMENT SHOP DRAWINGS

PER NEW DEFINITION OF READILY ACCESSIBLE, ALL APPLIANCE CONNECTION POINT WILL BE LOCATED IN THE NEXT BAY OF THE KITCHEN COUNTER OR SIMILAR SO THAT PLUGGING/UNPLUGGING OF THE APPLIANCES WILL NOT REQUIRE REMOVAL OR PULLING OUT OR TAKING PANELS OF THE FRONT FACE OF THE APPLIANCE. PROVIDE GFI BREAKER FOR DISHWASHER

IN RESIDENTIAL BUILDINGS ALL EXTERIOR WALL MOUNTED OUTLETS SHALL HAVE DRAFT BARRIERS  
 -ALL OUTLETS MOUNTED ON FIRE RATED WALLS (UNIT SEPERATION WALLS SHALL HAVE) FIRE BLANKETS ON THEM

AIR TIGHT ELECTRICAL BOXES SHALL BE "ALLIED MOULDED PRODUCTS, INC" VAPOR SEAL SINGLE GANG 22.5 CU.IN., PART#1099-NV2 TWO GANG 37.0 CU.IN., PART#2302-HNVK2 4" ROUND 22.5 CU.IN., PART#9350-BHKV2 KV2 HN 4" ROUND 22.5 CU.IN., PART#9350-

ALL WIRES IN DWELLING ENCLOSURE WALLS SHALL BE FOAM SEALED TO THE BOXES AND THE BOXES SHALL BE FOAM SEALED TO THE DRYWALL.

ALL 120V RECEPTACLES INSTALLED WITHIN A RESIDENTIAL UNIT SHALL BE SHALL BE SAFETY TYPE AS MANUFACTURED BY LEVITON "5262-SG" OR APPROVED EQUAL.

UNLESS NOTED OTHERWISE ALL WIRING SHALL BE #12AWG, CU, AND FED FROM PANEL UP VIA 20A/1P C.B. CIRCUITS LONGER THAN 100FT SHALL BE #10 CU

NO EXPOSED WIRING IS ALLOWED, ALL CONCEALED WIRING SHALL BE IN "MC". ALL WIRING IN BLOCK WALLS SHALL BE CONCEALED, RUN IN CONDUIT.

INDICATES CATV JACK COMPLETE. E.C. SHALL HOME RUN EACH CATV OUTLETS WITH RG 6 COAX CABLE AND CONNECT TO CATV SPLITTER WITHIN EACH UNIT CLOSET AND CONNECT UNIT WITH DOUBLE COAX TO CATV ENTRANCE BOX LOCATED IN ELECTRIC ROOM.

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL LOCATE BOXES FOR EACH TYPICAL UNIT FOR OWNER/ARCHITECT REVIEW.

IN RESIDENTIAL BUILDINGS, UNLESS NOTED OTHERWISE -ALL LIGHT FIXTURES WITHIN BEDROOMS SHALL BE WIRED TO BEDROOM CIRCUIT  
 -ALL OPEN AREA LIGHTS SHALL BE WIRED TO A SINGLE LIGHTING CIRCUIT (DINING ROOM, KITCHEN, HALL WAY)  
 -BATHROOM LIGHTS SHALL BE WIRED TO OPEN AREA CIRCUITS.

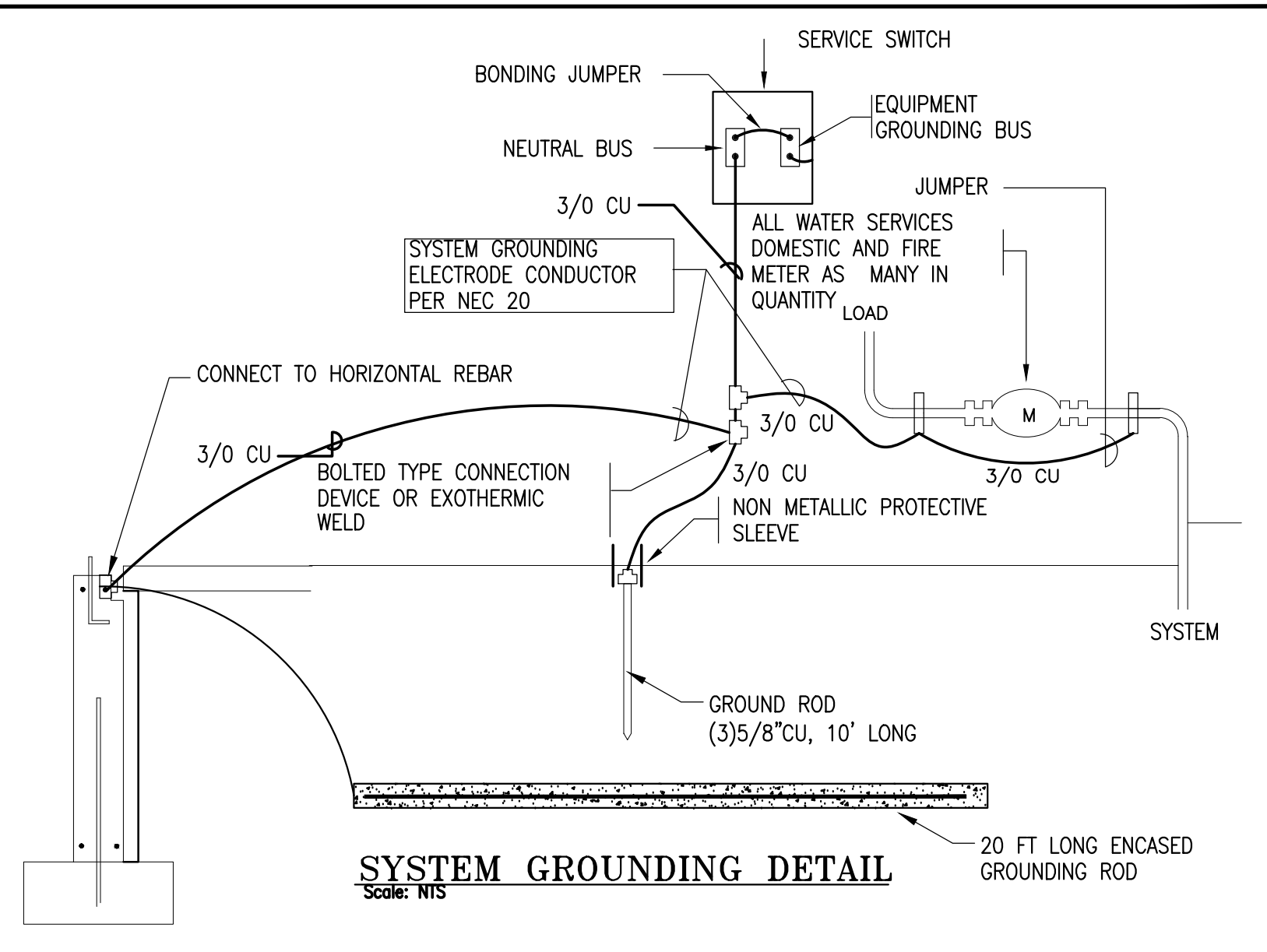
- OUTLETS AT FOLLOWING LOCATIONS SHALL BE GFI TYPE REGARDLESS HOW THEY ARE SHOWN.
- RESIDENTIAL BATHROOMS, 210.8(A)(1)
  - RESIDENTIAL KITCHENS, 210.8(A)
  - LAUNDRY, 210.8(A)(10)
  - DISHWASHERS, 210.8(D) (THROUGH GFI BREAKER)
  - DRINKING FOUNTAIN, 422.57
  - VENDING MACHINES, 422.51
  - ROOF TOPS, 210.8(B)(2)(WP ALSO)
  - BALCONY/EXTERIOR OUTLETS (WP ALSO)
  - ELEVATOR MACHINE ROOMS AND PITS (WP ALSO)
  - GARAGES
  - FINISHED/UNFINISHED BASEMENT OUTLETS

REGARDLESS SHOWN ON PLANS OR NOT PROVIDE CARBON MONOXIDE DETECTORS AT  
 -OUTSIDE EACH BEDROOM WIRED TO SMOKE DETECTOR CIRCUIT AND  
 -IN THE ROOM HOUSING THE GAS APPLIANCE. DETECTORS SHALL BE UL LISTED. DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP CO DETECTORS SHALL BE AS MANUFACTURED BY BRK CO 5120BN

IN RESIDENTIAL BUILDINGS, FOR ALL GAS FIRED VENTILATION/AIR CIRCULATION EQUIPMENT, PROVIDE DUCT MOUNTED CO DETECTOR COMPLETE WITH HOUSING AND SAMPLING TUBE AS MANUFACTURED BY MACQURO CM 15K OR EQUAL AND CONNECT TO FIRE ALARM PANEL VIA MONITOR MODULE

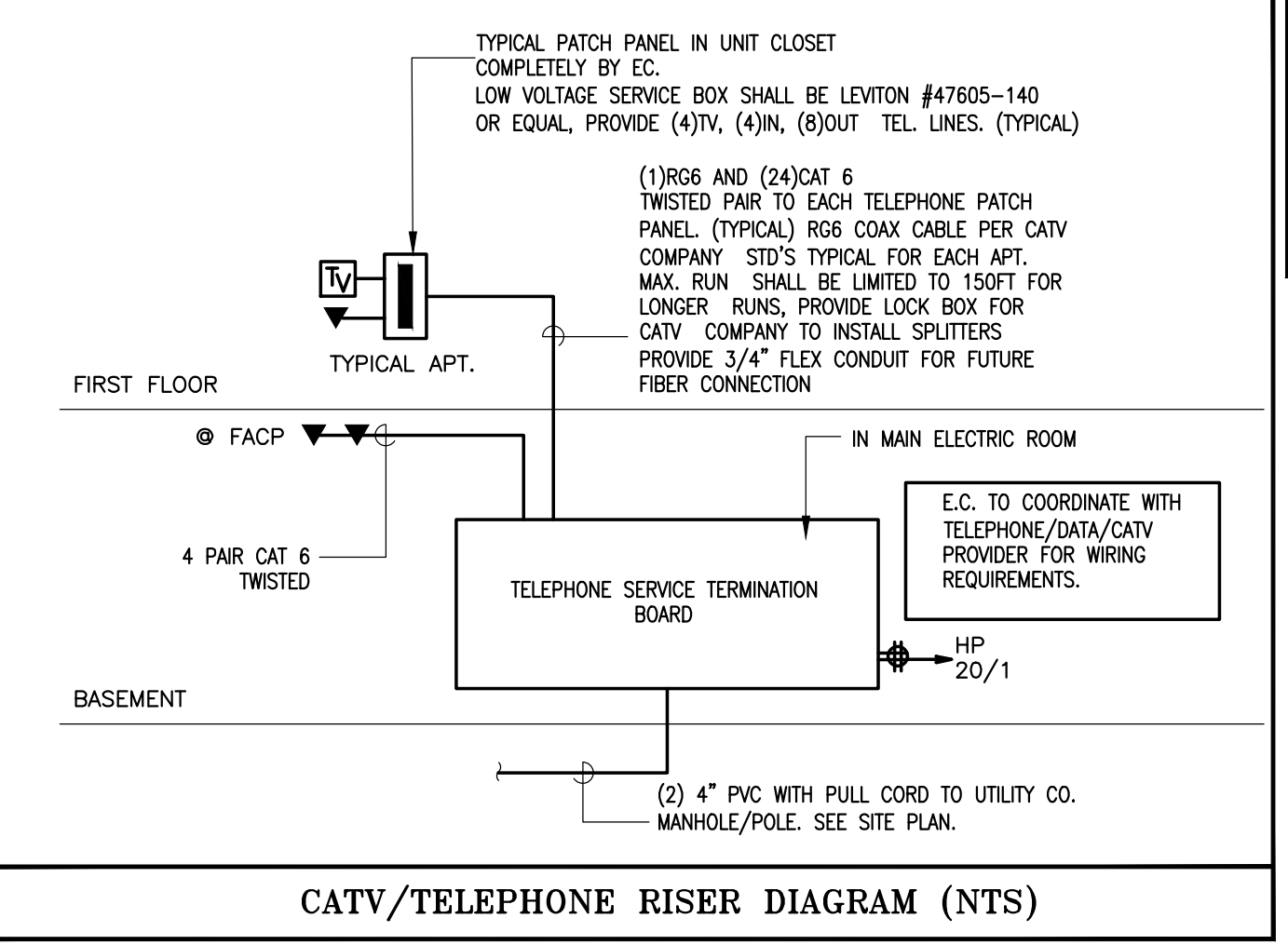
ALL CO DETECTORS MUST "LATCH" AT THE PANEL; THAT IS TO SAY, THE RESPONDER TO A CO DETECTOR SUPERVISORY ALARM MUST BE LEAD TO MITIGATE THE CO ISSUE AT THE DETECTOR AND THEN CLEAR/RESET THE FIRE ALARM PANEL. THIS WILL MEAN THE CO SUPERVISORY ALARM CANNOT BE MITIGATED AT THE POINT LOCATION, BUT REQUIRES A COMPETENT RESPONDER TO ADDRESS THE PANEL IN THE FIRE COMMAND CENTER.

ALARM MONITORING SERVICE RECEIVES A SUPERVISORY CARBON MONOXIDE SIGNAL, THAT IS TO SAY, LITERALLY THE WORDS "CARBON MONOXIDE" MUST BE PREXED AT ALARM COMPANY, THE LETTERS "CO" ARE NOT ACCEPTABLE.



**SYSTEM GROUNDING DETAIL**

Scale: NTS



**CATV/TELEPHONE RISER DIAGRAM (NTS)**

**TELEPHONE SYSTEM**

- FURNISH AND INSTALL A COMPLETE SYSTEM OF CONDUITS AND BACKBOARDS FOR TELEPHONE INSTRUMENTS AS SHOWN ON THE PLANS.
  - TELEPHONE TERMINAL LOCATIONS AS SHOWN ON THE PLANS SHALL BE 30" X 48" X 3/4" PLYWOOD. GROUND CONNECTIONS SHALL BE MADE BY THE TELEPHONE COMPANY. ELECTRICAL CONTRACTOR SHALL PROVIDE PRIMARY ARRESTER WITH FUSE AND #6CU GROUNDING WIRE AND GROUND BOLT CONNECTED TO SERVICE GROUND
  - A NYLON FISH WIRE SHALL BE LEFT IN ALL CONDUITS TO FACILITATE PULLING-IN TELEPHONE WIRES. FURNISH AND INSTALL ONE NYLON PULL WIRE FOR PULLING IN TELEPHONE SERVICE IN ALL CONDUITS. SEE SITE PLAN FOR SERVICE ENTRANCE.
  - LOCAL TELEPHONE COMPANY SHALL BE RESPONSIBLE FOR TELEPHONE WIRING FROM THEIR OUTDOOR TERMINATION CABINET TO A NETWORK INTERFACE LOCATED IN THE TELEPHONE ROOM.
  - EACH TELEPHONE OUTLET SHALL BE WIRED TO DATA INTERFACE TERMINATION BOARD WITH PLENUM RATED CAT 6, #20/8 TWISTED DATA WIRE TERMINATED IN TESTED AND CERTIFIED CAT 6 TERMINATION STYLE AT BOTH ENDS AND CLEARLY RINGED AND TAGGED.
- CONSTRUCTION AND TEST REQUIREMENTS (NEC REQUIREMENTS)
- 800.50 PREVENTS LAYING TELEPHONE WIRES ON CEILING TILES.
- 800.50 REQUIRES PRIMARY PROTECTOR FOR MOST UNDERGROUND AND ALL OVERHEAD SERVICES
- 800.30 (2) REQUIRES FUSED TYPE PRIMARY PROTECTOR AT SERVICE ENTRANCE
- 800.50 REQUIRES ALL METAL SHIELDS TO BE GROUNDING
- 800.50 REQUIRES INSULATED GROUNDING CONDUCTOR TO BE MINIMUM #14, NO LONGER THAN 20FT AND CONNECTED TO BUILDING GROUND SYSTEM. WITH MINIMUM #6 BONDING CABLE.
- 800.50 REQUIRES TYPE CMP FOR PLENUM, CMR FOR RISER APPLICATIONS,
- 800.51 REQUIRES MINIMUM 2" BETWEEN POWER LINES AND COMMUNICATION LINES, RECOMMENDED PRACTICE 6" FROM BALLASTS AND 6FT FROM LIGHTNING WIRES. ALSO KEEP DISTANCE FROM HEAT SOURCES.  
 KEEP MINIMUM 6" FROM 20A/2KW CIRCUITS  
 KEEP MINIMUM 12" FROM 30A/5KW CIRCUITS  
 KEEP MINIMUM 24" FROM ANY FEEDER.  
 FOR SHIELDED CABLES THESE VALUES MAY BE TAKEN IN 1/3.
- CAT 6 INSTALLATION RECOMMENDATIONS INCLUDE
- CAT 6 INSTALLATION REQUIRES MINIMUM 1/2" UNTWISTED MINIMUM 1" BENDING RADIUS FOR FOUR PAIR OR 4X FOR 25 PAIR 10XIDIA. PROVIDE MINIMUM TWO LINES AT EACH LOCATION ONE FOR TELEPHONE OTHER FOR DATA WATCH FOR THAT A KINKED CABLE REDUCES 2.5DB; A SINGLE 1" RADIUS BEND REDUCES 2
- WIRE MAP TEST (TO IDENTIFY INSTALLATION ERRORS)
  - LENGTH TEST (TO VERIFY MAXIMUM OPERATIONAL LENGTH IS 300FT)
  - ATTENUATION TEST (TO MEASURE MAXIMUM SIGNAL LOSS AT 100MHZ LESS THAN 22)
  - NEXT (TO MEASURE SIGNAL COUPLING BETWEEN THE PAIRS AT 100MHZ LESS THAN 32)
  - PROPAGATION TEST (TO MEASURE TIME IT TAKES SIGNAL FROM ONE POINT TO OTHER)

**CATV INTERNAL UNIT WIRING SPECIFICATIONS**

- COAXIAL CABLE**
- ALL COAXIAL CABLE WITHIN THE UNIT, INCLUDING THE DROP CABLES BACK TO THE COMMON DISTRIBUTION ROOM SHOULD MEET OR EXCEED THE FOLLOWING REQUIREMENTS:
- RG-6 QUAD SHIELD FOR DROP LENGTHS OF UP TO 150 FEET.
  - RG-11QUAD SHIELD FOR DROP LENGTHS BETWEEN 151 FEET AND 250 FEET. (DROP LENGTHS SHOULD NOT EXCEED 250 FEET.)
- INTERNAL UNIT WIRING**
- EACH APARTMENT SHALL HAVE IT'S OWN SEPARATE HOME-RUN WIRE. PROVIDE A DUAL CABLE TO BE USED FOR ALL DROP WIRING.
- EACH APARTMENT THAT HAS MORE THAN ONE OUTLET MUST HAVE AN INTERFACE ENCLOSURE. THE INTERFACE ENCLOSURE SHALL BE PLACED IN A CENTRAL LOCATION IN THE UNIT, TYPICALLY THE CLOSET. THE ENCLOSURE SHOULD BE LOCATED AS CLOSE AS POSSIBLE TO THE PHONE INTERFACE WITHIN THE UNIT.
- NO OUTLET SHOULD BE LOOP-WIRED (NO DAISY CHAIN WIRING). EVERY OUTLET IN THE UNIT SHOULD BE WIRED BACK TO AN INTERFACE ENCLOSURE WITHIN THE UNIT.
- ALL OUTLET LOCATIONS SHOULD HAVE A MINIMUM OF 12 " OF EXTRA CABLE BEHIND THE WALLPLATE.
- MUD RINGS SHOULD BE USED AS OPPOSED TO CLOSED BOXES.
- THE COAXIAL HOME RUN AND TWISTED PAIR HOME RUN SHALL BE WIRED TO THE SAME DISTRIBUTION CLOSET ON EACH FLOOR.
- DO NOT KINK, FORM TIGHT NINETY-DEGREE ANGLES, PIERCE THE OUTER JACKET, DAMAGE OR MISHANDLE THE COAXIAL CABLE IN ANY WAY. USE APPROVED COAXIAL FASTENERS ONLY. METAL STUDS REQUIRE THAT PLASTIC BUSHINGS BE INSTALLED PRIOR TO PULLING THE CABLE.

67 REVERE STREET

67 Revere Street  
Boston, MA 02114

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08.20.2021

**SOUSA design**  
Architects  
81 Bayston Street, 2nd Floor  
Boston, MA 02145  
617.879.9100



Job # : 202114

Drawn by: Cld by:

Date: 08.20.2021

Revisions		
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21

**ELECTRICAL NOTES**

**CONSTRUCTION NOTES**

-LOCAL SMOKE DETECTORS SHALL BE WIRED FROM ARC-FAULT CIRCUITS, VERIFY WITH ELECTRICAL INSPECTOR.  
 -BACK TO BACK OUTLETS ON FIRE RATED WALLS SHALL BE INSTALLED TO MAINTAIN FIRE RATINGS, IF NECESSARY, USE FIRE RATED OUTLET BOXES.  
 -ALL FLOOR PENETRATIONS BY CABLES AND CONDUITS SHALL BE SEALED TO MAINTAIN FIRE RATINGS.  
 -RECESSED LIGHT FIXTURES INSTALLED ON FIRE RATED CEILINGS SHALL HAVE FIRE RATED HOODS ON TOP TO MAINTAIN FIRE RATING. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATED AREAS.  
 -ALL WIRING WITHIN UNITS SHALL BE ROMEX. WIRING OUTSIDE UNITS SHALL BE METAL CLAD.

**LOAD CALCULATIONS,**

-LIGHTING AND POWER: 3W/SFX1,500SF=4,500W  
 -KITCHEN =3,000W  
 -ELECTRIC RANGE =8,000W-GAS  
 -DISHWASHER/DISPOSAL: =2,000W  
 -WATER HEATER: =0W-GAS  
 -WASHER: =1,500W  
 -DRYER: =5,000W  
 -INDOOR A/C: =500W  
 -OUTDOOR A/C: =4,500W  
 -MICROWAVE/HOOD: =1,500W  
 TOTAL: =30,500W  
 UNIT DEMAND=(30.5-10KW-5)X.4+10+5=21.2KW  
 89A/125A  
 BUILDING DEMAND=3X30.5X0.44=40KW  
 FACTOR TO BE TAKEN FROM TABLE NEC 220.84

**FOR EACH APARTMENT PROVIDE DEDICATED CIRCUITS**

-(3) 20A/1P KITCHEN COUNTER OUTLETS GFCI AND AFCI PROTECTION  
 -(1) 20A/1P FOR REFRIGERATOR GFCI AND AFCI PROTECTION  
 -(1) 20A/1P FOR DISHWASHER AFCI/GFCI PROTECTION  
 -(1) 20A/1P FOR DISPOSAL RECEPTACLE AFCI/GFCI PROTECTION  
 -(1) 20A/1P FOR MICROWAVE-HOOD AFCI/GFCI PROTECTION  
 -(1) 50A/2P FOR ELECTRIC RANGE, GFCI  
 -(1) 20A/1P FOR DINING ROOM OUTLETS AFCI PROTECTION IF THEY ARE COMBINED WITH KITCHEN COUNTER OUTLETS GFCI AND AFCI PROTECTION.  
 -(1) 30A/2P FOR ELECTRIC WATER HEATER, GFCI  
 -(1) 20A/1P FOR WASHER, AFCI/GFI  
 -(1) 30A/2P FOR DRYER, GFCI  
 -(1) 30A/2P FOR EACH A/C CONDENSER UNIT, GFCI  
 -(1) 15A/1P FOR EACH A/C INDOOR UNIT (VERIFY)  
 -(1) 20A/1P FOR EACH BATHROOM GFCI PROTECTION  
 -(1) 15A/1P FOR LIGHTING AFCI PROTECTION  
 -(1) 15A/1P FOR LIVING ROOM AFCI PROTECTION  
 -(1) 15A/1P FOR EACH BEDROOM AFCI PROTECTION  
 -RECEPTACLES INSTALLED WITHIN 6 FEET OF SINK SHALL BE GFCI PROTECTED IN ADDITION TO AFCI PROTECTION.

**ACCESSIBLE UNIT WIRING NOTES**

SEE ARCHITECTURAL PLANS FOR NUMBER OF HC UNITS AND LOCATIONS.  
 CARRY MINIMUM OF 5% OF UNITS AS ACCESSIBLE IN EACH UNIT PROVIDE  
 -LOCAL TYPE SMOKE DETECTOR WITH BUILT IN STROBE EACH BEDROOM, OUTSIDE BEDROOM  
 -SYSTEM TYPE STROBE IN EACH BEDROOM AND LIVING ROOM  
 -LOCAL TYPE CO DETECTORS OUTSIDE BEDROOMS AND EVERY HABITABLE FLOOR LEVEL, STROBES ARE TO BE LOCATED IN BEDROOMS AND HABITABLE SPACES  
 -MOUNTING HEIGHTS OF ANY CONTROL SWITCH SHALL BE NO HIGHER THAN 48" AFF.  
 -HOOD CONTROL SWITCHES (LIGHT/FAN) SHALL BE MOUNTED ON WALL AT COUNTER  
 -PROVIDE WALL OVEN AND COOK TOP WIRING ON SAME CIRCUIT, 50A/2P  
 -ALL OUTLETS AND CONTROL SWITCHES SHALL BE MINIMUM 18" AWAY FROM AN INTERIOR CORNER REGARDLESS HOW IT IS SHOWN  
 -PROVIDE STROBE LIGHT FOR INTERCOM SYSTEM IN LIVING ROOM AND IN EACH BEDROOM  
 -ALL ELECTRICAL OUTLETS HEIGHTS TO BE A MINIMUM OF 15" TO THE CENTERLINE OF THE LOWEST RECEPTACLE AND MAXIMUM OF 48" TO THE CENTERLINE OF THE HIGHEST RECEPTACLE  
 -ALL ELECTRICAL OUTLETS ARE LOCATED OVER COUNTERTOPS, SHALL BE NO HIGHER THAN 44" TO THE CENTERLINE OF THE HIGHEST RECEPTACLE.  
 -ALL CIRCUIT BREAKER PANELS MUST BE CENTERED ON A 36" BY 48" CLEAR FLOOR SPACE AND IF A PARALLEL APPROACH IS USED, THE HIGHEST CONTROL CAN BE NO HIGHER THAN 54" A.F.F.  
 IF A FRONT APPROACH IS USED, THE HIGHEST CONTROL CAN BE NO HIGHER THAN 48" A.F.F.  
 -PROVIDE STROBE FOR INTERCOM FOR THE HEARING IMPAIRED.

**FIXTURE SCHEDULE - COMMON AREA**

TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP	DESCRIPTION
C1	TBD	CARRY \$150	120	(1)24W LED	COMMON CORRIDOR CEILING LIGHT-SURFACE
C2	TBD	CARRY \$150	120	(1)24W LED	COMMON STAIR LIGHT
C2A	TBD	CARRY \$150	120	(1)13W LED	CORRIDOR UNIT ENTRY LIGHT
G1	TBD	CARRY \$150	120	(1)46W LED	GARAGE/STORAGE/UTILITY LIGHT
SL-1	TBD	CARRY \$150	120	(1)32W LED	EXTERIOR FRONT LIGHT
SL-2	TBD	CARRY \$150	120	(1)32W LED	EXTERIOR REAR LIGHT
⊗	TBD	CARRY \$150	120/12	LED AS REQUIRED	SELF POWERED EXIT SIGN SINGLE FACE
⊕	TBD	CARRY \$150	120/6	(2)5.4W	SELF CONTAINED EMERGENCY LIGHTS AT INTERIOR
⊖	TBD	CARRY \$150	120/6	(2)5W	WP EMERGENCY LIGHTS AT EXTERIOR

EM" INDICATES FIXTURE WITH BUILT IN BATTERY  
 MS" INDICATES FIXTURE WITH BUILT IN OCCUPANCY SENSOR, HALF LIGHT/FULL LIGHT  
 EM/MS INDICATES BOTH FEATURES AS ABOVE

NOTE CEILING IS FIRE RATED, UNLESS RATED FIXTURES ARE USED ALL RECESSED FIXTURES AND EXHAUST FANS SHALL BE INSTALLED WITH FIRE RATED ENCLOSURES 3" MINIMUM LARGER THAN FIXTURES TO MAINTAIN INTEGRITY OF CEILING FIRE RATING AND COOLING OF THE FIXTURES.

**FIXTURE SCHEDULE - APARTMENTS**

U1	TBD	CARRY \$100 EACH	120	(1)13W LED	ENTRY/HALL
U2	TBD	CARRY \$100 EACH	120	(1)13W LED	KITCHEN CEILING
U3	TBD	CARRY \$100 EACH	120	(1)13W LED	KITCHEN PENDANT
U4	TBD	CARRY \$100 EACH	120	(1)18W LED	LIVING/DINING ROOM
U5	TBD	CARRY \$100 EACH	120	(1)18W LED	BEDROOM LIGHT
U6	TBD	CARRY \$100 EACH	120	(1)26W LED	BATHROOM VANITY LIGHT
U7	TBD	CARRY \$100 EACH	120	(1)13W LED	SHOWER LIGHT
U8	TBD	CARRY \$100 EACH	120	(1)13W LED	WALK-IN CLOSET LIGHT
U9	TBD	CARRY \$100 EACH	120	(1)13W LED	BALCONY LIGHT
G1	TBD	CARRY \$150	120	(2)F32T5	GARAGE LIGHT

**FIXTURE NOTES**

ALL LIGHT FIXTURES MODELS, FINISH COLORS SHALL BE VERIFIED BY ARCHITECT. REGARDLESS HOW MODEL NUMBERS ARE WRITTEN ALL FLUORESCENT & PL FIXTURES SHALL HAVE HPF ENERGY SAVINGS BALLAST/ENERGY STAR LABEL.  
 LAMPS AND BALLASTS SHALL BE IN COMPLIANCE WITH LOCAL UTILITY COMPANY REBATE PROGRAMS, SPECIFICATIONS ABOVE FOR THE FIXTURE TYPE ONLY.  
 FLUORESCENT FIXTURES SHALL HAVE ELECTRONIC BALLASTS THD LESS THAN 2%.  
 FIXTURES MOUNTED IN INSULATED CEILINGS, EC SHALL PROVIDE HOODS TO KEEP INSULATION AWAY.  
 FIXTURES MOUNTED IN RATED CEILINGS (SEE ARCHITECTURAL DRAWINGS), EC SHALL PROVIDE HOODS TO MAINTAIN RATINGS.  
 SHADED FIXTURE INDICATES EMERGENCY LIGHT WITH BUILT IN BODINE BALLAST, 700 LUMEN OUTPUT.  
 EMERGENCY LIGHTS SHALL HAVE INTEGRAL TEST SWITCHES BUILT INTO FIXTURE (NOT SEPARATE SWITCH).  
 PROVIDE CONSTANT FEED TO BUILT-IN EMERGENCY BATTERY AS REQUIRED.  
 EXACT LOCATION AND TYPES OF ALL LIGHTING FIXTURES, MOUNTING HEIGHTS AND MOUNTING DETAILS SHALL BE COORDINATED WITH ARCHITECTURAL REFLECTED CEILING PLANS AND ANY CONFLICTS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO ANY WORK DONE. OBTAIN LATEST COPY OF THE CEILING PLAN FROM ARCHITECT PRIOR TO ANY WORK DONE.  
 IN AREAS WHERE FIXTURES ARE MOUNTED INTO INSULATED CEILINGS, THIS CONTRACTOR SHALL PROVIDE HOODS, 3" LARGER THAN FIXTURES TO KEEP INSULATION AWAY FROM THE FIXTURES AND TO MAINTAIN INSULATION INTEGRITY OF THE CEILING. SEE ARCHITECTURAL DRAWINGS FOR AREAS WHERE THESE HOODS MAY BE REQUIRED.

**ARCHITECTURAL CURVED ELECTRIC HEATER SCHEDULE**

TYPE	KW	VOLT/PH	WIRE	CB	DIMENSIONS	MODEL NUMBER-COLOR BY ARCH
RWH-1	1	120/1	2#12 20/1		19"HX16"WX4"D	Q'MARK#CRA 1512-T2
RWH-2	2	120/1	2#12 20/1		19"HX16"WX4"D	Q'MARK# MCSSARWH1802/HTWHS1
RWH-4	4	208/1	2#10 30/2		19"HX16"WX4"D	Q'MARK# MCSSARWH4808/HTWHS1
SWH-4	4	208/1	2#12 30/2		19"HX16"WX4"D	Q'MARK# MCSSARWH4808/HTWHSM
EBB-2	0.4	120/1	2#12 20/1			Q'MARK#QMK-2512W-W/T/STAT
EBB-3	0.75	120/1	2#12 20/1			Q'MARK#QMK-2513W-W/T/STAT
EBB-4	1	120/1	2#12 20/1			Q'MARK#QMK-2514W-W/T/STAT
EBB-6	1.5	120/1	2#12 20/1			Q'MARK#QMK-2516W-W/T/STAT
CCH-4	4	208/1	2#10 30/2			Q'MARK#CDF548-W/T/STAT
EUH-5	5	208/1	2#10 30/2		22"HX20"WX8"D	Q'MARK#MUH-35-W/T/STAT
EUH-10	5	208/3	2#10 30/3		22"HX20"WX8"D	Q'MARK#MUH-108-W/T/STAT

**(CU) WIRE SCHEDULE**

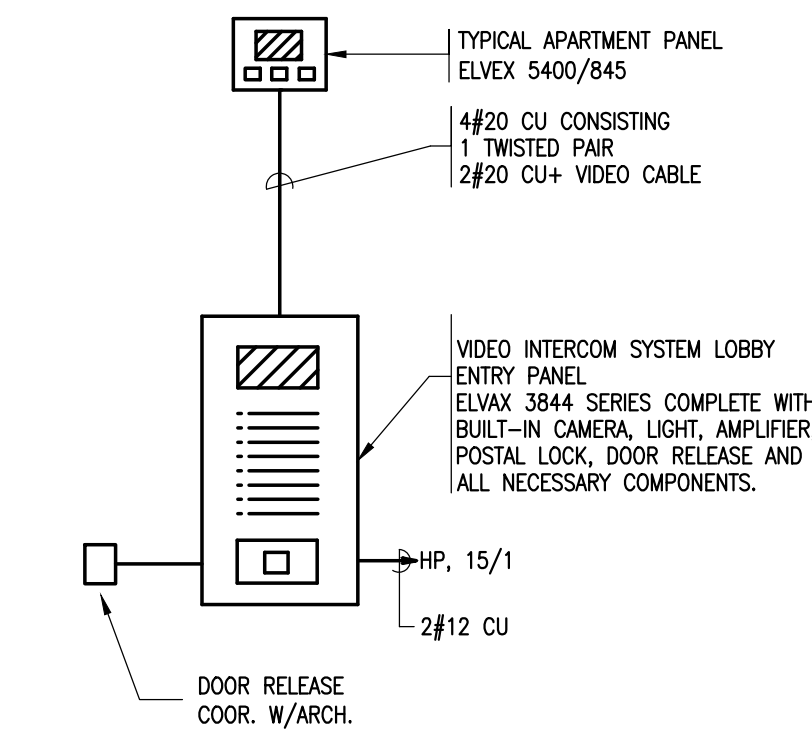
AMPS CB	CU	CMIL	MAX LENGT*
20	#12	6,530	70 FT
30	#10	10,380	70 FT
40	#8	16,510	90 FT
50	#6	26,240	110 FT
60	#6	26,240	95 FT
70	#4	41,740	120 FT
80	#3	52,620	125 FT
100	#2	66,360	140 FT
125	#1	83,690	145 FT
150	#1/0	105,600	145 FT
200	#3/0	167,800	165 FT
225	#4/0	211,600	175 FT
300	#300	300,000	200 FT
350	#400	400,000	225 FT
400	#500	500,000	250 FT

**GENERAL POWER DISTRIBUTION NOTES**

-BEFORE ORDERING ANY EQUIPMENT AND/OR START ANY CONSTRUCTION OR EXCAVATION ELECTRICAL CONTRACTOR AND/OR GENERAL CONTRACTOR SHALL CONTACT ELECTRIC/TELEPHONE/CAV COMPANIES FOR SERVICE POINT AND ROUTING, SERVICE AVAILABILITY.  
 THIS ENGINEER HAS MADE APPLICATION TO UTILITY COMPANY BUT YET NO CONFIRMATION HAS BEEN MADE BY THE UTILITY COMPANY. CONTRACTOR SHALL NOT PROCEED WITHOUT SUCH CONFIRMATION.  
 -FEEDERS ARE SIZED BASED ON 75% VD.  
 CONTRACTOR SHALL FOLLOW THE FOLLOWING CRITERIA.  
 50A, UP TO 100FT #6, INCREASE BY ONE SIZE FOR EVERY 30FT.  
 100A, UP TO 100FT #3, INCREASE BY ONE SIZE FOR EVERY 30FT.  
 200A, UP TO 150FT #3/0, INCREASE BY ONE SIZE FOR EVERY 50 FT.  
 400A, UP TO 200FT #500, INCREASE BY ONE SIZE FOR EVERY 50FT.

**GENERAL POWER DISTRIBUTION NOTES**

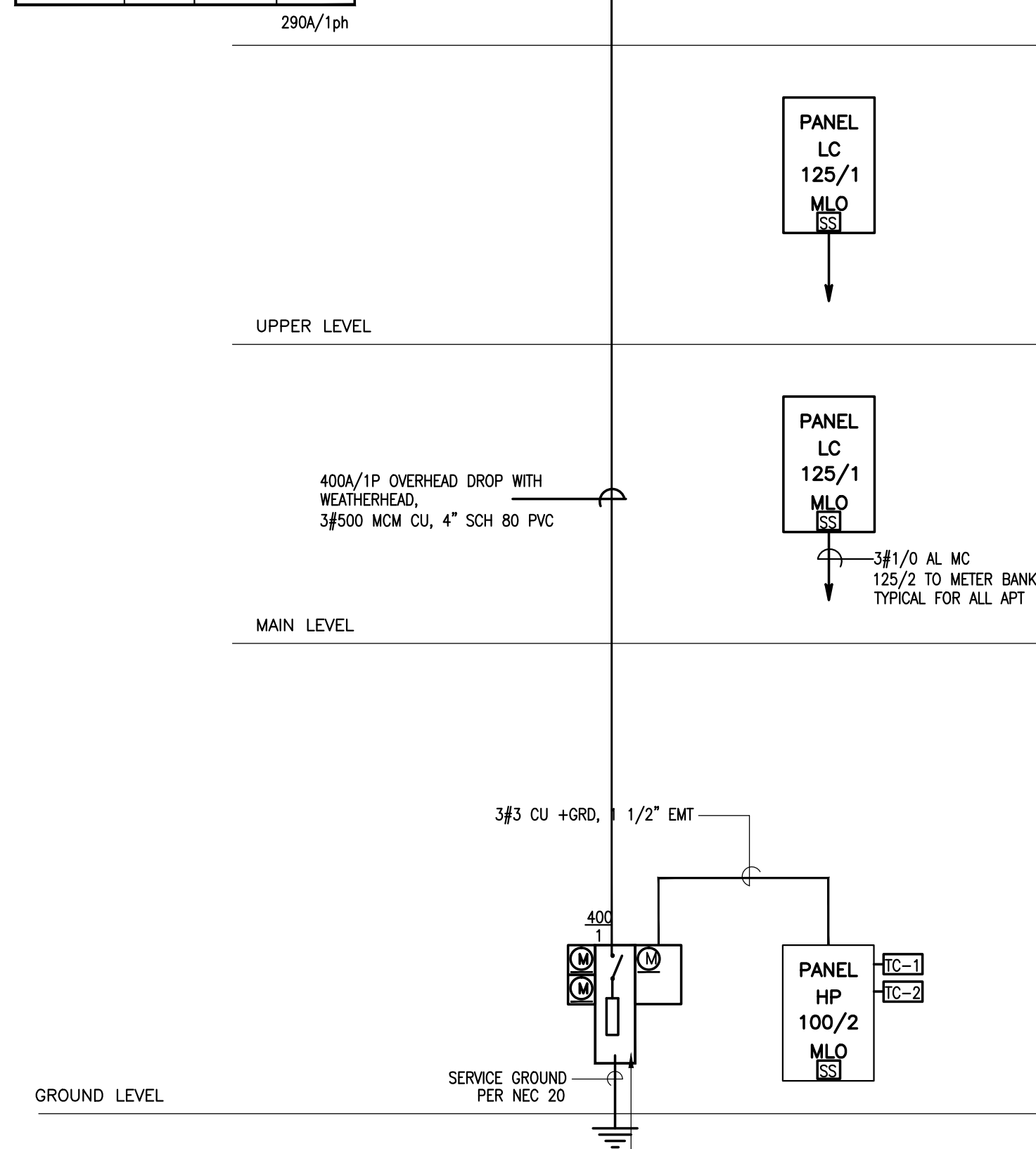
-FOR SWITCHGEAR SHORT CIRCUIT RATINGS, SEE NOTES UNDER PANEL SCHEDULES.  
 -PRIOR TO ORDERING ANY SWITCHGEAR ELECTRICAL CONTRACTOR SHALL CONFIRM CIRCUIT BREAKER SIZES WITH HVAC AND OTHER MECHANICAL EQUIPMENT SHOP DRAWINGS. DUE TO SUBMITTAL TIMING FROM VARIOUS CONTRACTORS, ENGINEERS APPROVAL IS GIVEN FOR QUALITY ONLY.  
 -CONTRACTOR SHALL COORDINATE WITH OTHER TRADES SO THAT NO OTHER TRADE SHALL PASS THROUGH ELECTRIC ROOM OR ABOVE DEDICATED SPACES. INFORM ARCHITECT/ENGINEER ABOUT ANY INFRINGEMENTS PRIOR SUCH INSTALLATIONS OCCUR.  
 -ELECTRIC ROOM DIMENSIONS ARE BASED ON CERTAIN MANUFACTURER EQUIPMENT DIMENSIONS. CONTRACTOR SHALL CONFIRM ROOM DIMENSIONS PRIOR TO ORDERING EQUIPMENT



**VIDEO INTERCOM RISER DIAGRAM**

**LOAD BREAKDOWN**

LOAD	KVA	FACTOR	KVA
RESIDENTIAL	60	1	60
HOUSE	10	1.00	10
ELEVATOR	-	1.00	-
COMMERCIAL	-	1.00	-
TOTAL	70	-	70



**POWER RISER DIAGRAM**  
 NTS

**PANEL SCHEDULE**

ITEM	VOLT/PHS/W	MLO	MCB	CIRC	SCHEM	BRK	BRNCH BRKRS	SPR=SPARE	SFC=SPACE
PANEL HP	120-240/1/3	100	-	30	S	B	(4)30/2, (1)20/2, (20)20/1		
PANEL LC	120-208/1/3	125	-	30	F	P	(1)50/2 GFCI, (2)30/2 GFCI, (4)20/1 AF/GFI, (2)20/1, (4)20/1 AF, (7)15/1 AF		

SWITCHGEAR AND PANELBOARDS SHALL BE MANUFACTURED BY SQUARE D, SIEMENS OR GENERAL ELECTRIC  
 MAIN SWITCH AND MAIN DISTRIBUTION PANEL AND ALL CONSECUTIVE PANELS UP TO LAST TWO PANELS IN THE DISTRIBUTION GRID SHALL BE FULLY RATED AND LAST TO PANELS MAY BE SERIES RATED FOR AVAILABLE SHORT CIRCUIT RATINGS.  
 IF SERIES RATINGS ARE APPLIED SUPPLIER SHALL BE RESPONSIBLE FOR PROVIDING PROPER SERIES RATED EQUIPMENT AS REQUIRED.  
 AVAILABLE SHORT CIRCUIT CURRENT FOR THE MAIN SERVICE IS 42KA.  
 SEE RISER DIAGRAM FOR CONNECTION DIAGRAM OF THE PANELS. NO LINE IMPEDANCES ARE TO BE CONSIDERED IN SERIES RATING APPLICATIONS.  
 FOR ALL RESIDENTIAL LOAD CENTERS, 15A AND 20A CIRCUITS SERVING THE UNIT EXCEPT BATHROOMS CIRCUITS SHALL BE ARC FAULT INTERRUPTER TYPE AS REQUIRED PER NEC 210-12(B)

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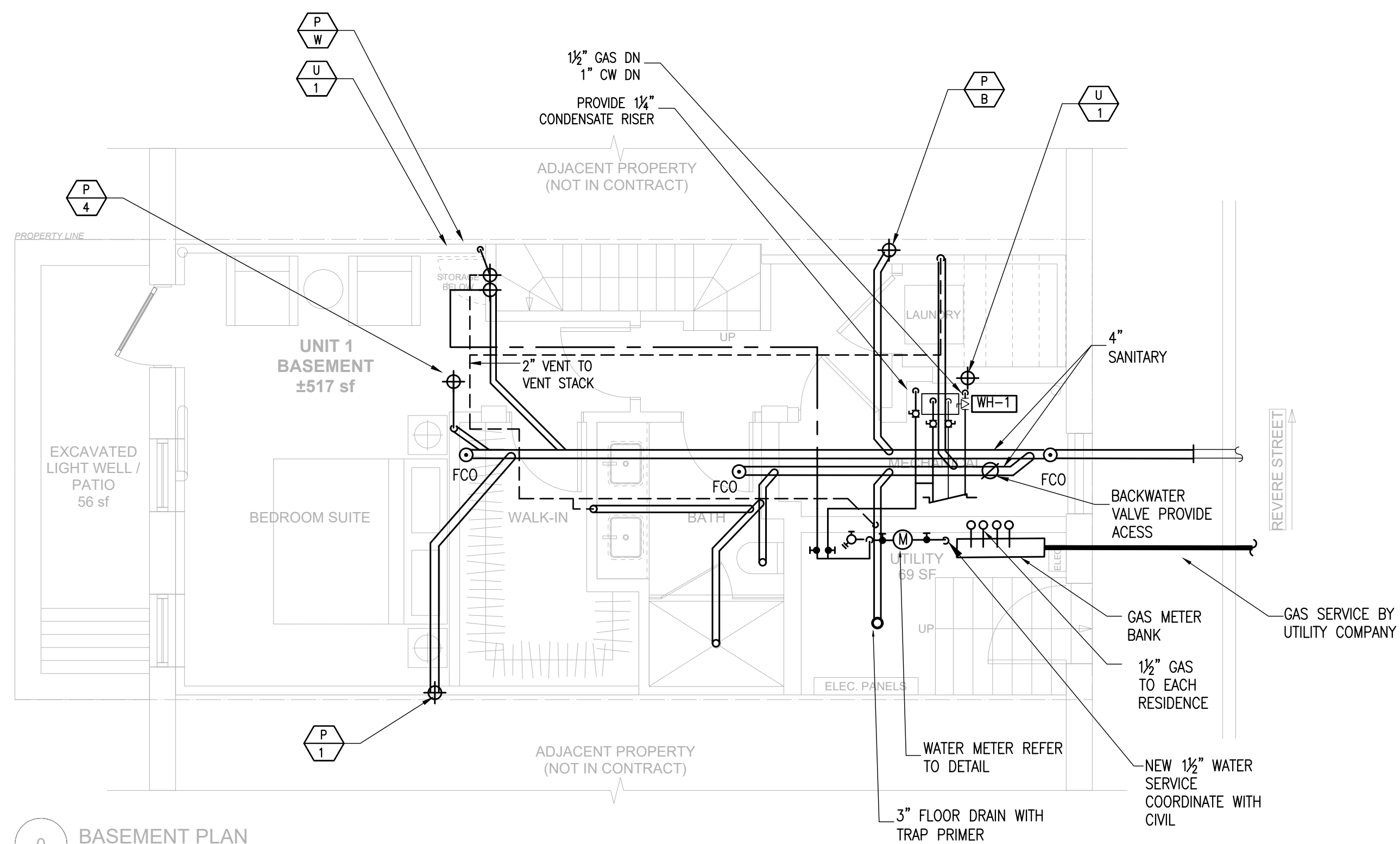
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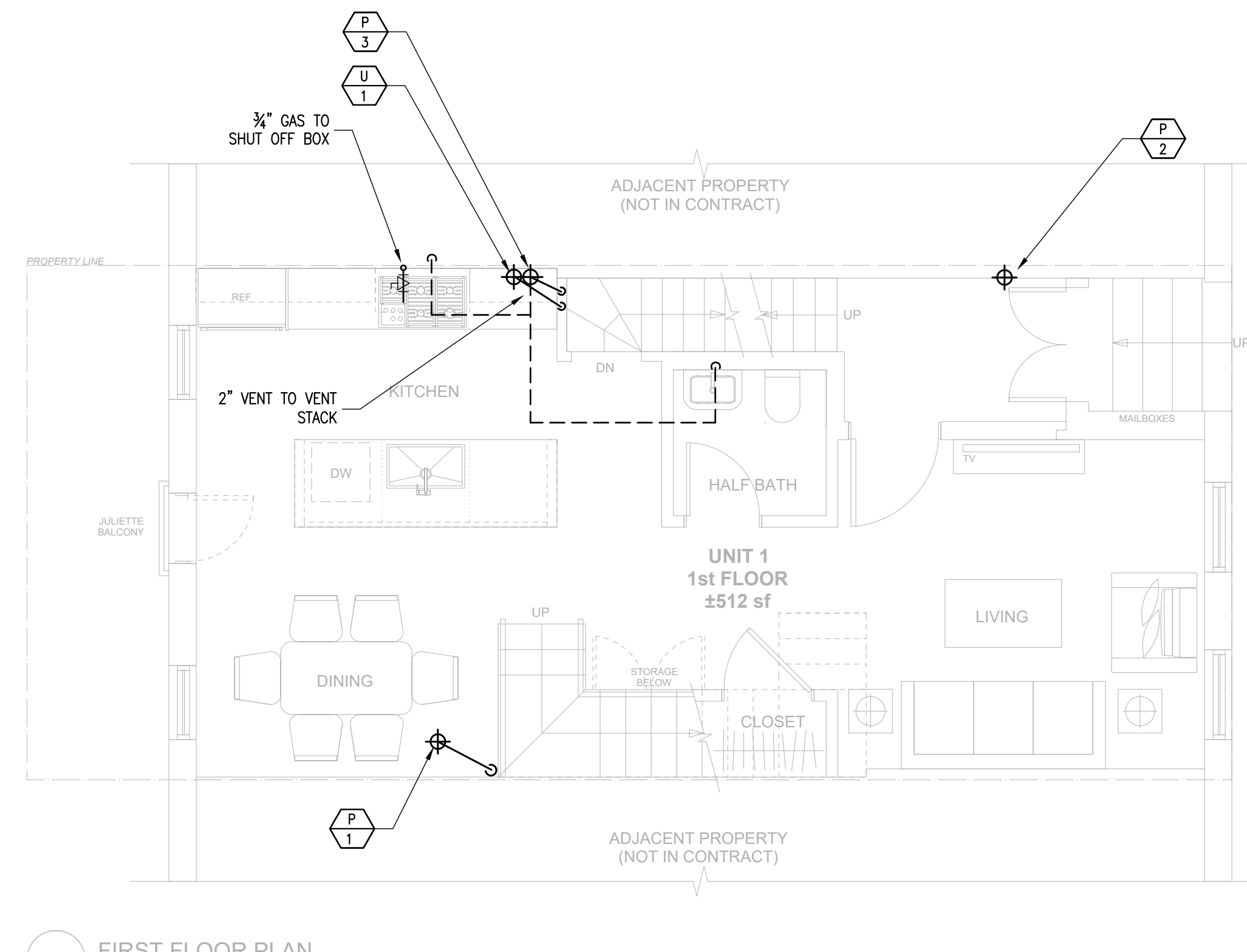
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**BASEMENT & FIRST FLOOR PLUMBING PLANS**

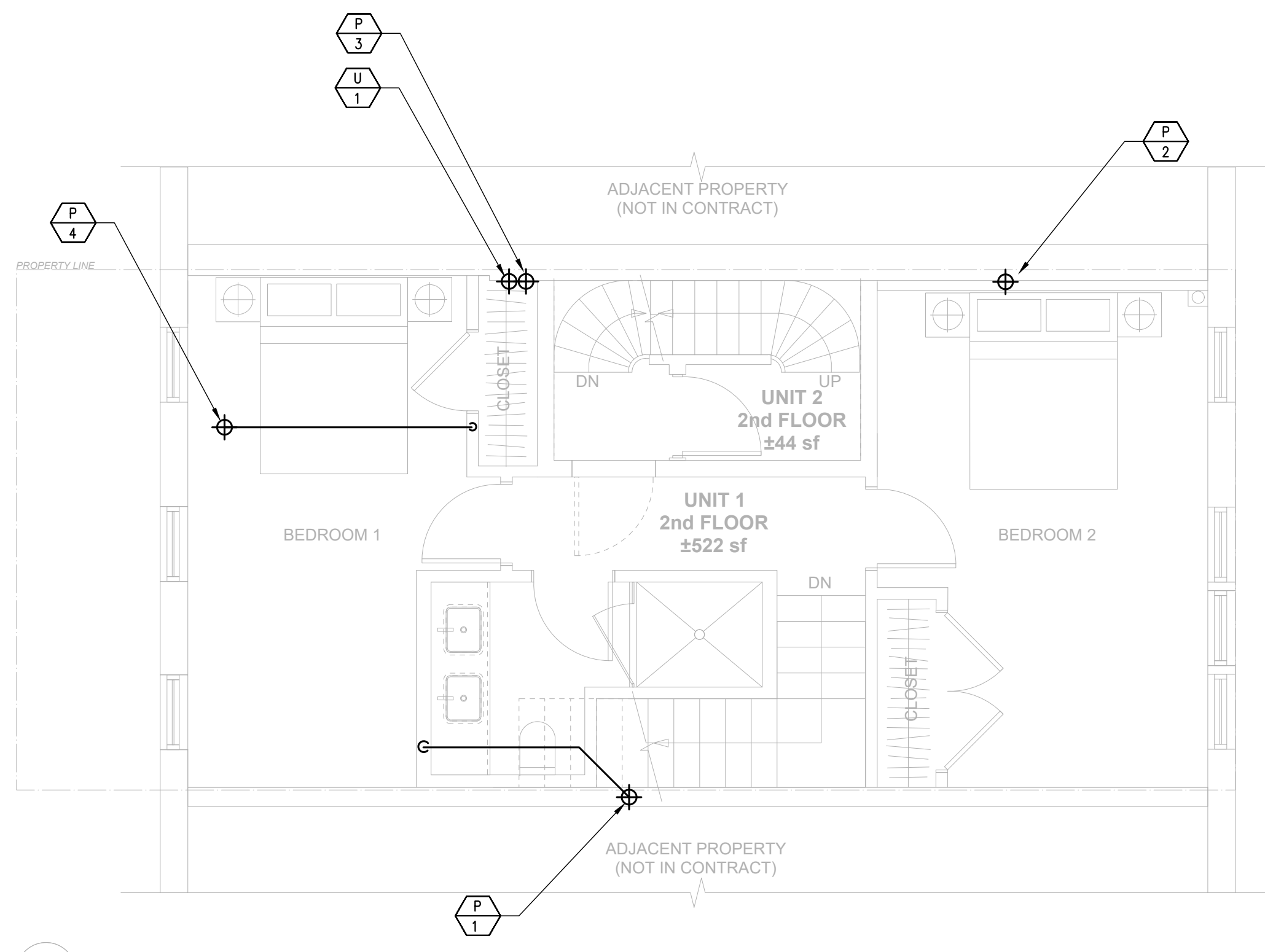
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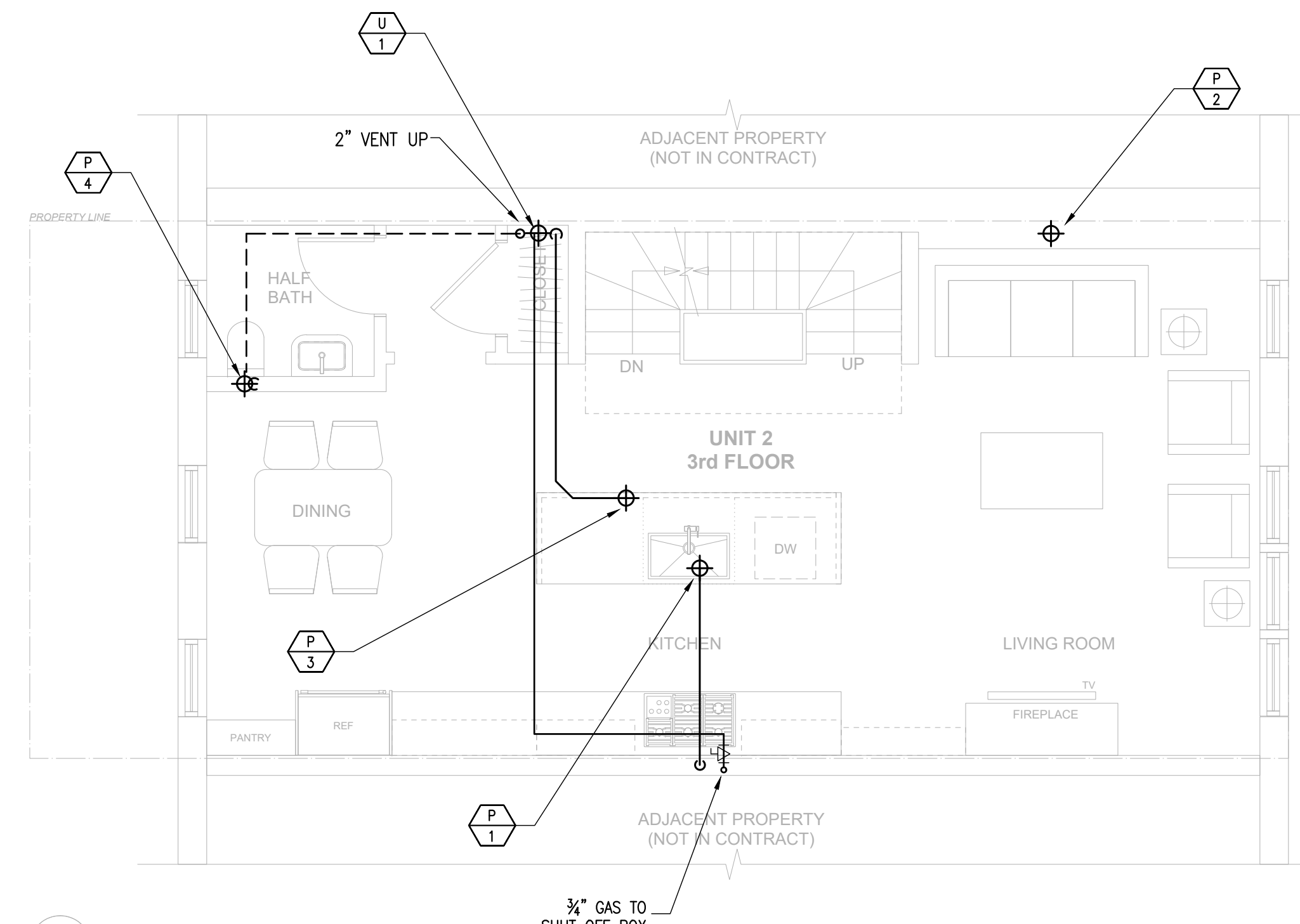
0 BASEMENT PLAN  
Scale: 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN  
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3 THIRD FLOOR PLAN  
Scale: 1/4" = 1'-0"

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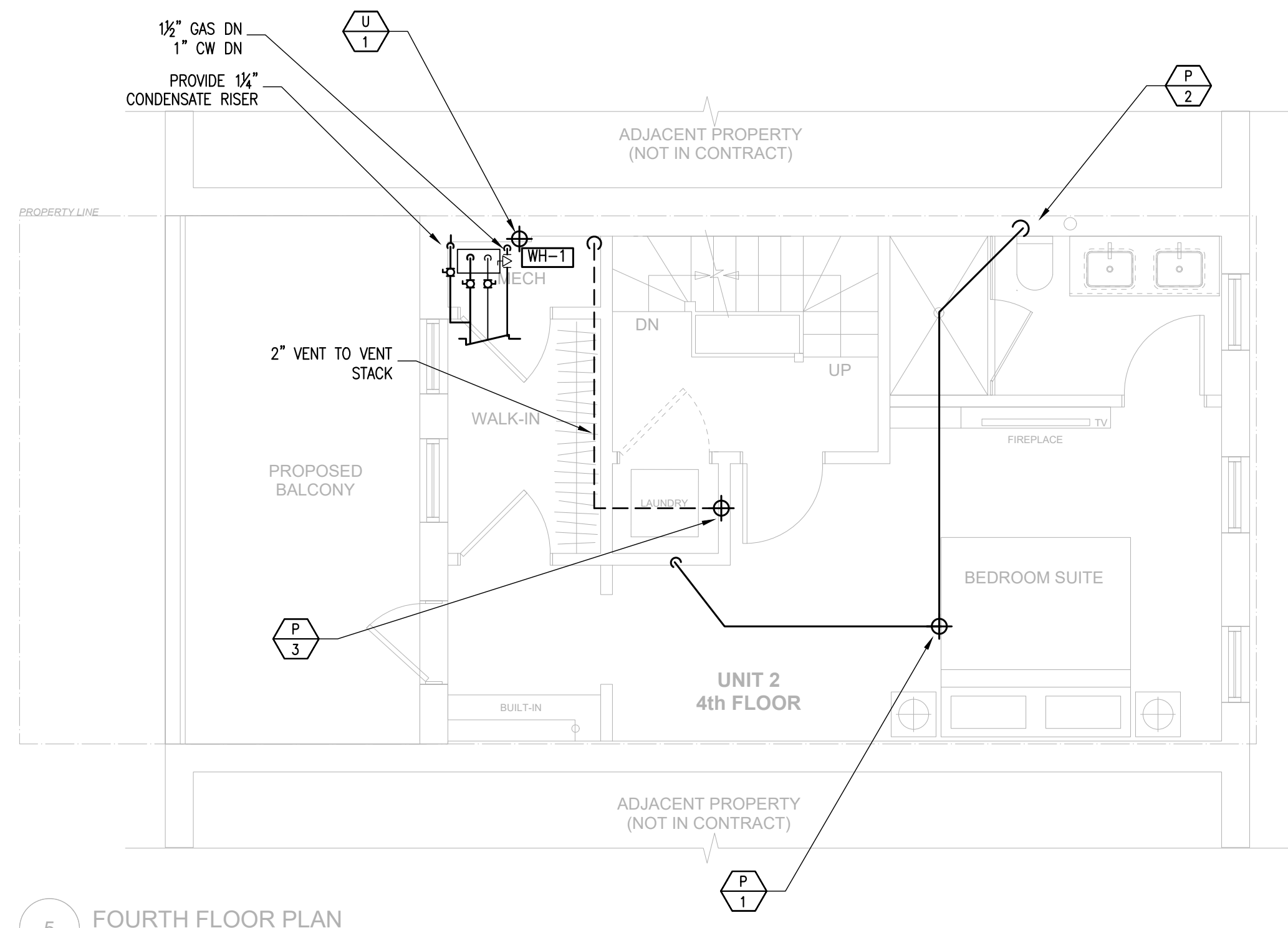
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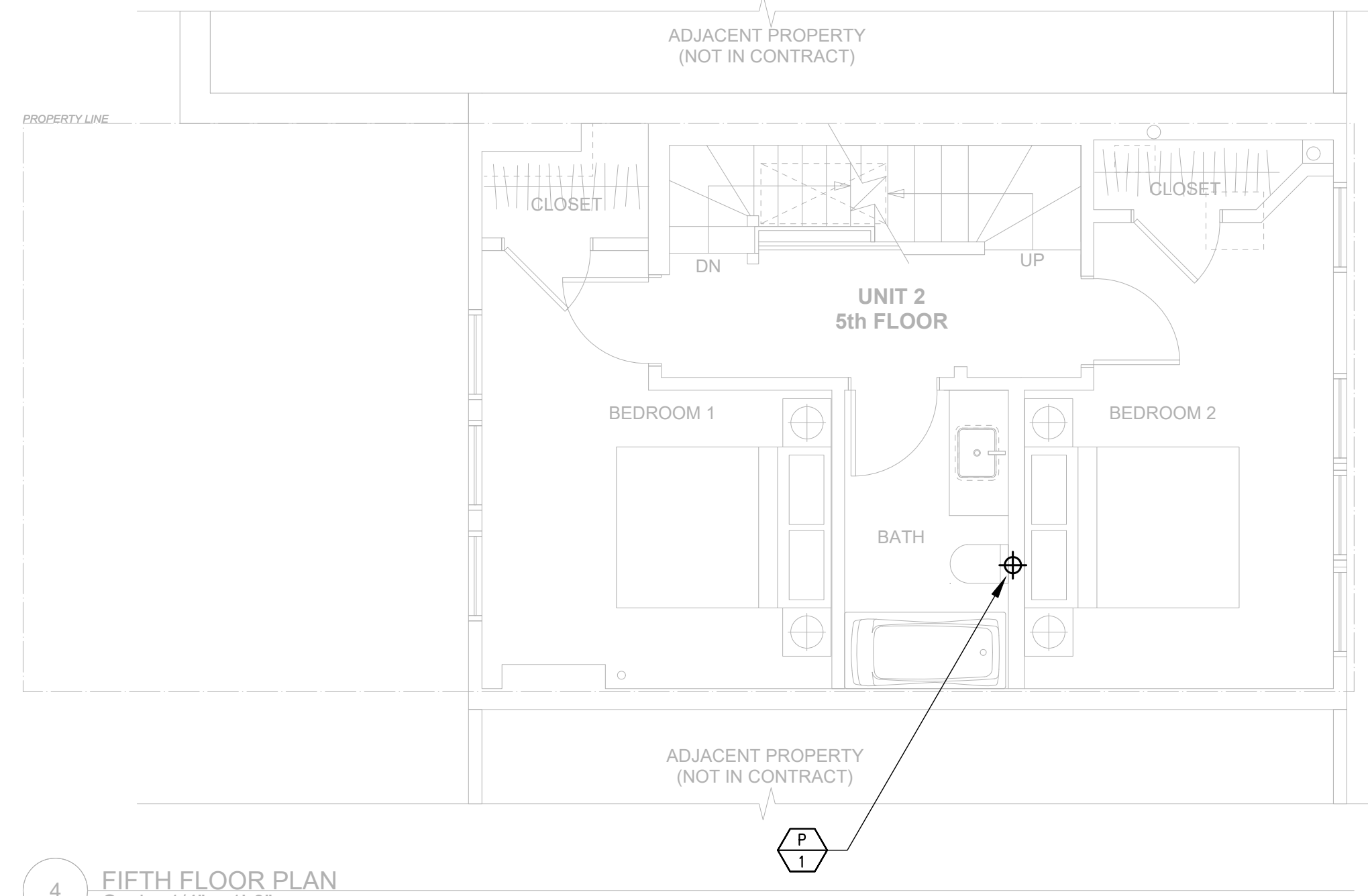
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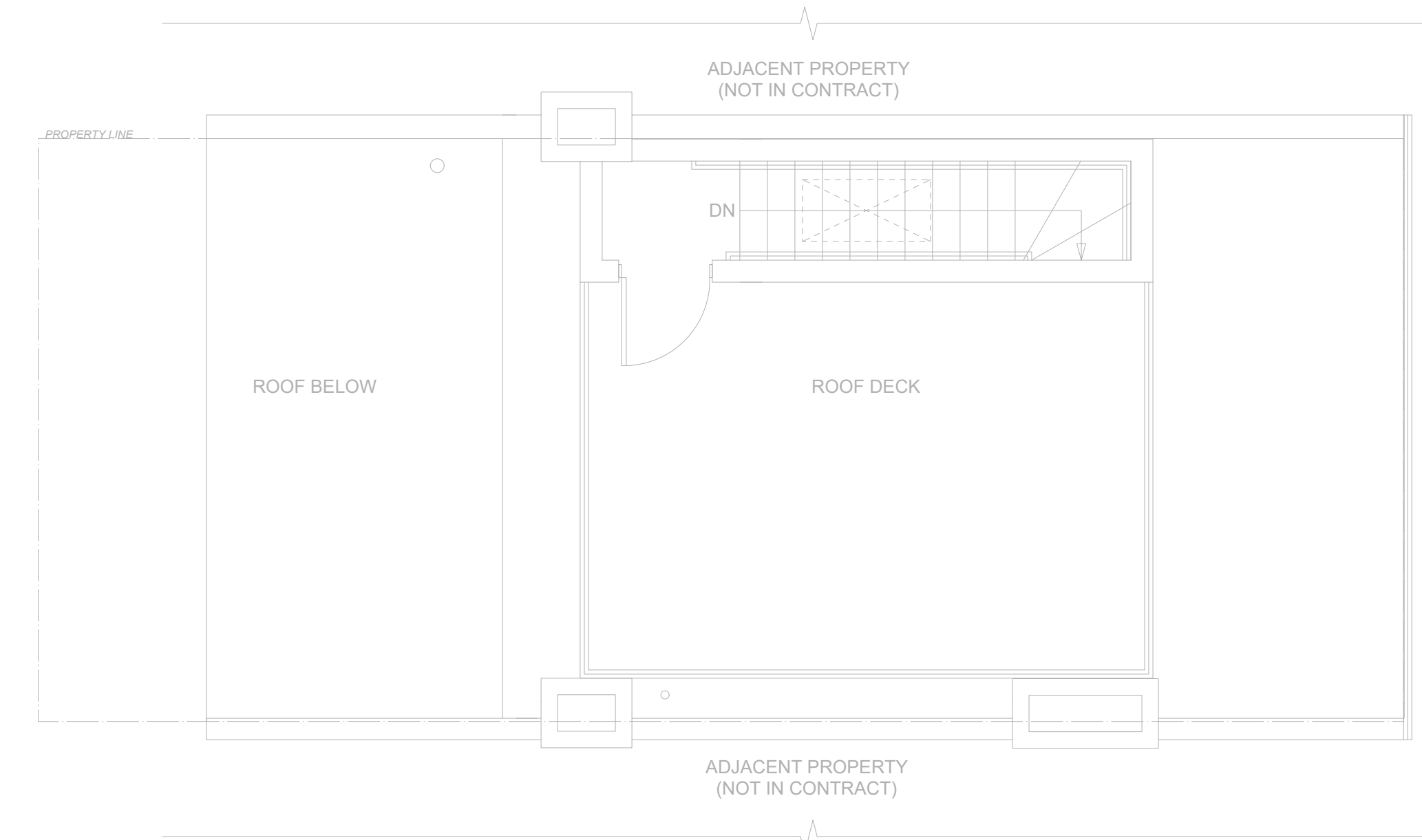
BASEMENT & FIRST  
FLOOR PLUMBING  
PLANS



5 FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



4 FIFTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



6 ROOF PLAN  
Scale: 1/4" = 1'-0"

BASIC PLUMBING REQUIREMENTS

PART 1. - GENERAL

1.1 RELATED DOCUMENTS

ALL APPLICABLE REQUIREMENTS OF OTHER PORTIONS OF THE CONTRACT DOCUMENTS APPLY TO THE WORK OF THIS SECTION INCLUDING, BUT NOT LIMITED TO, ALL DRAWINGS, ALL SPECIFICATIONS, GENERAL CONDITIONS, AND GENERAL REQUIREMENTS INCLUDING SUBMITTALS.

1.2 APPLICABLE CODES AND STANDARDS

APPLICABLE CODES: ALL LOCAL AND STATE BUILDING CODES, INCLUDING THE INTERNATIONAL PLUMBING CODE MASSACHUSETTS STATE PLUMBING CODE AND THE MASSACHUSETTS STATE BUILDING CODE. APPLICABILITY OF STANDARDS: EXCEPT WHERE THE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE CONSTRUCTION INDUSTRY STANDARDS HAVE THE SAME FORCE AND EFFECT AS IF BOUND OR COPIED DIRECTLY INTO THE CONTRACT DOCUMENTS. SUCH STANDARDS ARE MADE A PART OF THE CONTRACT DOCUMENTS BY REFERENCE.

CONFLICTING REQUIREMENTS: WHERE COMPLIANCE WITH TWO OR MORE STANDARDS IS SPECIFIED, AND THE STANDARDS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, REFER REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, AND UNCERTAINTIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING.

PUBLICATION DATES: WHERE THE DATE OF ISSUE OF A REFERENCED STANDARD IS NOT SPECIFIED, COMPLY WITH THE STANDARD IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS.

ABBREVIATIONS AND NAMES: TRADE ASSOCIATION NAMES AND TITLES OF GENERAL STANDARDS ARE FREQUENTLY ABBREVIATED. THE FOLLOWING ACRONYMS OR ABBREVIATIONS AS REFERENCED IN CONTRACT DOCUMENTS ARE DEFINED TO MEAN THE ASSOCIATED NAMES, NAMES AND ADDRESSES ARE SUBJECT TO CHANGE AND ARE BELIEVED TO BE BUT ARE NOT ASSURED TO BE ACCURATE AND UP TO DATE AS OF DATE OF CONTRACT DOCUMENTS.

- AGA - AMERICAN GAS ASSOCIATION
ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE
ARI - AIR CONDITIONING AND REFRIGERATION INSTITUTE
ASHRAE - AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS
ASME - AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASSE - AMERICAN SOCIETY OF SANITARY ENGINEERING
ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS - AMERICAN WELDING SOCIETY
AWWA - AMERICAN WATER WORKS ASSOCIATION
CISPI - CAST IRON SOIL PIPE INSTITUTE
NEC - NATIONAL ELECTRIC CODE
NFPA - NATIONAL FIRE PROTECTION ASSOCIATION
NSF - NATIONAL SANITATION FOUNDATION
PDI - PLUMBING AND DRAINAGE INSTITUTE
UL - UNDERWRITERS LABORATORIES
DOT - DEPARTMENT OF TRANSPORTATION
EPA - ENVIRONMENTAL PROTECTION AGENCY
OSHA - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION

1.3 SUBMITTALS

PRIOR TO THE PERFORMANCE OF ANY WORK OR INSTALLATION OF ANY MATERIALS, OBTAIN APPROVAL FROM THE ARCHITECT BY SUBMITTING SHOP DRAWINGS AND DATA SHEETS.

SUBMITTAL OF SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES WILL BE ACCEPTED ONLY WHEN SUBMITTED BY THE GENERAL CONTRACTOR. DATA SUBMITTED FROM SUBCONTRACTORS AND MATERIAL SUPPLIERS DIRECTLY TO THE ARCHITECT WILL NOT BE PROCESSED. CERTIFIED DRAWINGS AND CATALOG DATA SHEETS SHALL SHOW:

- 1. SPECIFICALLY WHAT ITEMS AND FEATURES ARE TO BE PROVIDED.
2. APPLICABLE SPECIFICATION SECTION NUMBER AND EQUIPMENT TAG NUMBER.
3. PRINCIPAL DIMENSIONS AND DETAILS OF CONSTRUCTION.
4. WEIGHTS: INFORMATION REQUIRED FOR THE DESIGN OF SUPPORTS AND FOUNDATIONS.
5. SIZES AND LOCATIONS OF PIPING AND CONNECTIONS.
6. PERFORMANCE DATA CERTIFIED BY THE MANUFACTURER.
7. SUBMIT SCHEDULE OF PROPOSED PIPING, VALVES, SPECIALTIES, ETC.
8. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE SEPERATLY IDENTIFIED.

PLUMBING SUBMITTALS SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:

- 1. PIPING AND FITTING MATERIALS.
2. PLUMBING VALVES AND SPECIALTIES.
3. PIPING HANGER AND ATTACHMENT ASSEMBLIES.
4. PIPING INSULATION.
5. ALL SCHEDULED PLUMBING FIXTURES, DRAINS, AND CLEANOUTS.
6. UTILITY CONNECTION DETAILS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

APPROVAL OF SHOP DRAWINGS DOES NOT RELEASE RESPONSIBILITY OF COORDINATING HIS WORK AT JOBSITE AND TAKING FIELD MEASUREMENTS. IN CASES WHERE INTERFERENCES BECOME APPARENT, NOTIFY ARCHITECT SO THAT SUCH INTERFERENCES MAY BE RESOLVED PRIOR TO PROCEEDING WITH SHOP WORK. NO CLAIM WILL BE ALLOWED FOR WORK THAT MIGHT HAVE TO BE MOVED OR REPLACED BASED ON A CLAIM THAT WORK WAS PLACED IN ACCORDANCE WITH DIMENSIONS INDICATED ON AN APPROVED SHOP DRAWING.

1.4 COORDINATION

COORDINATE WITH THE BUILDING TRADES:

- 1. STRUCTURAL MEMBERS, PADS, AND BUILDING OPENINGS FOR FIXTURES, EQUIPMENT, PIPING, ETC., FOR USE BY THIS INDICATED ON THE ARCHITECTURAL AND STRUCTURAL PLANS ARE THE COORDINATION RESPONSIBILITY OF THIS INSTALLER. PAY FOR ANY CHANGES IN THE ABOVE REQUIREMENTS AFTER LETTING AND ACCEPTING THE CONTRACT.
2. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT, DIRECTIONS AND SIZES OF EQUIPMENT, PIPING, ETC. IT IS NOT INTENDED TO SHOW EVERY OFFSET AND FITTING OF EVERY SITE DIFFICULTY THAT MAY BE ENCOUNTERED. PROVIDE ALL MATERIALS AND PERFORM ALL LABOR NECESSARY TO MAKE COMPLETE WORKING SYSTEMS, READY FOR USE, WITHOUT EXTRA CHARGE. ALL MEASUREMENTS MUST BE VERIFIED ON THE JOBSITE.
3. EXAMINE THE SITE AND ALL DRAWINGS BEFORE PROCEEDING WITH THE LAYOUT AND INSTALLATION OF THIS TO SUIT ACTUAL CONDITIONS. CONFER AND COOPERATE WITH OTHER TRADES ON THE JOB SO THAT ALL WORK WILL BE INSTALLED IN PROPER RELATIONSHIP. COORDINATE PRECISE LOCATION OF PARTS WITH OTHER WORK. ALL SYSTEMS SHALL BE INSTALLED TO PROVIDE MAXIMUM HEADROOM, EXCEPT WHERE DIMENSIONED OTHERWISE ON THE DRAWINGS.

1.5 RECORD DOCUMENTS

RECORD DRAWINGS: MAINTAIN A CLEAN, UNDAMAGED SET OF PRINTS OF CONTRACT DRAWINGS AND SHOP DRAWINGS. MARK THE SET TO SHOW THE ACTUAL INSTALLATION WHERE THE INSTALLATION VARIES SUBSTANTIALLY FROM THE WORK AS ORIGINALLY SHOWN. MARK WHICHEVER DRAWING IS MOST CAPABLE OF SHOWING CONDITIONS FULLY AND ACCURATELY; WHERE SHOP DRAWINGS ARE USED, RECORD A CROSS-REFERENCE AT THE CORRESPONDING LOCATION ON THE CONTRACT DRAWINGS. GIVE PARTICULAR ATTENTION TO CONCEALED ELEMENTS THAT WOULD BE DIFFICULT TO MEASURE AND RECORD LATER.

- 1. MARK INFORMATION THAT IS IMPORTANT TO THE OWNER, BUT WAS NOT SHOWN ON CONTRACT DRAWINGS OR SHOP DRAWINGS.
2. ORGANIZE RECORD DRAWING SHEETS INTO MANAGEABLE SETS, BIND WITH DURABLE PAPER COVER SHEETS, AND PRINT SUITABLE TITLES, DATES AND OTHER IDENTIFICATION ON THE COVER OF EACH SET.
3. MAINS AND BRANCHES OF PIPING SYSTEMS, WITH VALVES AND CONTROL DEVICES LOCATED AND NUMBERED, CONCEALED UNIONS LOCATED, AND WITH ITEMS REQUIRING MAINTENANCE LOCATED (I.E., TRAPS, STRAINERS, EXPANSION COMPENSATORS, TANKS, ETC.).
4. EQUIPMENT LOCATIONS (EXPOSED AND CONCEALED), DIMENSIONED FROM AT LEAST TWO PROMINENT BUILDING LINES.
5. APPROVED SUBSTITUTIONS, CONTRACT MODIFICATIONS, AND ACTUAL EQUIPMENT AND MATERIALS INSTALLED.
6. INCLUDE ALL "CORRECTED FOR RECORD" SHOP DRAWINGS TO REFLECT APPROVALS RECEIVED.

1.6 MAINTENANCE MANUALS

ORGANIZE OPERATING AND MAINTENANCE DATA INTO SUITABLE SETS OF MANAGEABLE SIZE. BIND PROPERLY INDEXED DATA IN INDIVIDUAL HEAVY-DUTY 2-INCH, 3-RING VINYL-COVERED BINDERS, WITH POCKET FOLDERS FOR FOLDED SHEET INFORMATION. MARK APPROPRIATE IDENTIFICATION ON FRONT AND SPINE OF EACH BINDER. INCLUDE THE FOLLOWING TYPES OF INFORMATION:

- 1. COPIES OF WARRANTIES.
2. WIRING DIAGRAMS.
3. INSPECTION PROCEDURES.
4. APPROVED SHOP DRAWINGS AND PRODUCT DATA.
5. DESCRIPTION OF FUNCTION, NORMAL OPERATING CHARACTERISTICS AND LIMITATIONS, PERFORMANCE CURVES, ENGINEERING DATA AND TESTS, AND COMPLETE NOMENCLATURE AND COMMERCIAL NUMBERS OF REPLACEMENT PARTS.
6. MANUFACTURER'S PRINTED OPERATING PROCEDURES TO INCLUDE START-UP, BREAK-IN, AND ROUTINE AND NORMAL OPERATING INSTRUCTIONS; REGULATION, CONTROL, STOPPING, SHUTDOWN, AND EMERGENCY INSTRUCTIONS; AND SUMMER AND WINTER OPERATING INSTRUCTIONS.
7. MAINTENANCE PROCEDURES FOR ROUTINE PREVENTATIVE MAINTENANCE AND TROUBLESHOOTING; DISASSEMBLY, REPAIR, AND REASSEMBLY; ALIGNING AND ADJUSTING INSTRUCTIONS.
8. SERVICING INSTRUCTIONS AND LUBRICATION CHARTS AND SCHEDULES.

1.7 REGULATIONS AND PERMITS
PROVIDE NOTICES, FILE PLANS, OBTAIN PERMITS AND LICENSES, PAY FEES, AND OBTAIN NECESSARY APPROVALS FROM AUTHORITIES HAVING JURISDICTION.

PAY FOR AND OBTAIN ALL REQUIRED PERMITS & SCHEDULE INSPECTIONS IN A TIMELY MANNER AS TO NOT DELAY THE PROJECT. OBTAIN ALL NECESSARY PERMITS INCLUDING BUT NOT LIMITED TO ENTERING MANHOLES, USE OF WATER FROM LOW PRESSURE HYDRANTS, DEMOLITION AND NEW WORK, ETC. PRIOR TO COMMENCE OF WORK.

PART 2. - PRODUCTS

2.1 GENERAL PRODUCT REQUIREMENTS

ALL EQUIPMENT AND MATERIALS, EXCEPT AS OTHERWISE SPECIFIED, SHALL BE NEW, OF CURRENT PRODUCTION, FIRST QUALITY AND OF THE BEST OF EACH CLASS SPECIFIED. MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE DELIVERED TO JOBSITE WITH FACTORY PACKAGING BEARING MANUFACTURER'S NAME OR LABEL, AND UNION LABEL WHENEVER PRACTICAL.

PART 3. - EXECUTION

3.1 PLUMBING INSTALLATIONS
GENERAL: SEQUENCE, COORDINATE, AND INTEGRATE THE VARIOUS ELEMENTS OF PLUMBING SYSTEMS, MATERIALS, AND EQUIPMENT. COMPLY WITH THE FOLLOWING REQUIREMENTS:

- 1. COORDINATE SYSTEMS, EQUIPMENT, AND MATERIALS INSTALLATION WITH OTHER BUILDING COMPONENTS.
2. VERIFY ALL DIMENSIONS BY FIELD MEASUREMENTS.
3. ARRANGE FOR CHASES, SLOTS, AND OPENINGS IN OTHER BUILDING COMPONENTS DURING PROGRESS OF CONSTRUCTION, TO ALLOW FOR MECHANICAL INSTALLATIONS.
4. COORDINATE THE INSTALLATION OF REQUIRED SUPPORTING DEVICES AND SLEEVES TO BE SET IN POURED-IN-PLACE CONCRETE AND OTHER STRUCTURAL COMPONENTS, AS THEY ARE CONSTRUCTED.
5. INSTALL SYSTEMS, MATERIALS, AND EQUIPMENT LEVEL AND PLUMB, PARALLEL AND PERPENDICULAR TO OTHER BUILDING SYSTEMS AND COMPONENTS, WHERE INSTALLED EXPOSED IN FINISHED SPACES.
6. INSTALL EQUIPMENT TO FACILITATE SERVICING, MAINTENANCE, AND REPAIR OR REPLACEMENT OF EQUIPMENT COMPONENTS, AS MUCH AS PRACTICAL, CONNECT EQUIPMENT FOR EASE OF DISCONNECTING, WITH MINIMUM OF INTERFERENCE WITH OTHER INSTALLATIONS.
7. PROVIDE ACCESS PANELS OR DOORS WHERE UNITS ARE CONCEALED BEHIND FINISHED SURFACES.
8. COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS, TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN REQUIREMENTS CONTAINED IN CONTRACT DOCUMENTS.
9. INSPECT MATERIALS OR EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS.

3.2 FINAL INSPECTION
PRIOR TO FINAL ACCEPTANCE, ALL SYSTEMS SHALL BE OPERATED TO TEST PERFORMANCE TO THE SATISFACTION OF THE ARCHITECT

- 1. WATER SHALL CIRCULATE THROUGHOUT SYSTEMS WITHOUT NOISE, WATER HAMMER, LEAKS, TRAPPING, OR AIR-BINDING.
2. MOTORS AND OTHER EQUIPMENT SHALL OPERATE WITHOUT EXCESSIVE NOISE OR VIBRATION.
3. DRAINS SHALL FLOW FREELY, WITHOUT EXCESSIVE NOISE, LEAKS OR STOPPAGES.

CORRECT DEFECTS DEMONSTRATED BY INSPECTIONS AND TESTS TO THE SATISFACTION OF THE ARCHITECT.

3.3 CLEANING OF SYSTEMS AND PREMISES

ALL EQUIPMENT AND FIXTURES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS AT THE COMPLETION OF THE PROJECT AND PRIOR TO ACCEPTANCE BY THE OWNER.

3.4 PROTECTION

GUARDS, BARRICADES, LIGHTS, SERVICES, ETC., NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY SHALL BE FURNISHED AND MAINTAINED.

EXISTING WORK SUCH AS PAVEMENTS, LAWNS, SIDEWALKS, FLOORS, CURBS, AND OTHER STRUCTURES AND UTILITIES WHICH ARE DAMAGED OR DISTURBED DUE TO MAKING CONNECTIONS OR ANY PHASE OF OPERATIONS SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER AND THE GOVERNING AUTHORITIES.

GENERAL NOTES

NOTE FOLLOWING LINE ITEMS ARE LISTED FOR QUALITY PURPOSES AND APPLICABLE WHERE COMPONENTS PRESENT IN THE PROJECT.

REGARDLESS HOW THE DETAILS ARE SHOWN, CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS.

CONTRACTOR SHALL PAY ATTENTION TO GAS FIRED EQUIPMENT DISCHARGE LOCATIONS RELATIVE TO AIR INTAKES BEFORE ANY INSTALLATION AND MAINTAIN CODE REQUIRED OR MANUFACTURER REQUIRED CLERANCES.

1-ALL HOT WATER PIPING IN RECIRCULATION TYPE SYSTEMS SHALL BE INSULATED, INCLUDING TAKE OFFS FROM RE-CIRCULATION LINE. ALL HORIZONTAL COLD WATER MAINS OR BRANCH LINES ABOVE CEILINGS SHALL BE INSULATED. ALL HORIZONTAL STORM DRAINS SHALL BE INSULATED. INSULATE 3 FT PIPING ABOVE AND BELOW THE OFFSET. INSULATE ROOF DRAIN BODIES UNDER DECK AND 3 FT PIPING IF NO OFFSET.

2-HOT WATER PIPING IN SYSTEMS WITHOUT RECIRCULATION SHALL BE FULLY INSULATED TO MAINTAIN TEMPERATURE (IECC 2014)

3-ALL TRAPS SHALL HAVE CLEAN OUTS

4-ALL COMMON AREA FAUCETS SHALL HAVE POINT OF USE MIXING VALVES, ZURN LEAD FREE SERIES LFUSG-B OR EQUAL

5-ALL ADA SINKS AND LAVATORIES SHALL HAVE LAVGUARD PROTECTION COVERS, COMPLETE

6-ALL FIXTURES SHALL HAVE MULTI TURN LEAD FREE WATER STOPS AS MANUFACTURED BY ZURN LF SERIES.

7-ALL PREFABRICATED SHOWERS AND TUB SURROUNDS SHALL HAVE BUILT IN GRAB BAR RE-INFORCEMENTS, OR

8-WALLS BEHIND THE WATER CLOSETS, TUBS, SHOWERS SHALL BE RE-INFORCED FOR FUTURE GRAB BAR INSTALLATION

9-ALL KITCHEN SINKS SHALL HAVE 30" CLEAR KNEE SPACE UNDER

10-IN ALL ELEVATOR BUILDINGS OR GROUP 2 UNITS, SINKS SHALL BE NO DEEPER THAN 6 1/2"

11-WATER CLOSET CONTROLS FOR ADA UNITS SHALL BE ON THE ACCESSIBLE SIDE

12-GROUP 2 TUBS SHALL BE 60" LONG WITH RIM 16-18" AFF.

13-FOR GROUP 2 APARTMENTS, ALL TUBS AND SHOWERS SHALL HAVE HOT/COLD WATER PIPING CAPPED BEHIND TO LONGER DIMENSION OF THE STALL

14-A HAND HELD SHOWER HEAD WITH FLOW REGULATOR ATTACHED TO 60" LONG FLEXIBLE HOSE AND AN ADJUSTABLE MOUNTING BAR SHALL BE PROVIDED OR BE CAPABLE OF BEING INSTALLED ON THE LONG WALL OF THE TUB.

15-ALL VENT THROUGH THE ROOF LOCATIONS SHALL BE FIELD COORDINATED WITH HVAC EQUIPMENT INTAKES AND IF NECESSARY SHALL BE EXTENDED 3FT ABOVE THE EQUIPMENT WITHIN 10FT OF THE VENT.

16-ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS.

17-ALL PUBLIC TOILETS SHALL HAVE HOSE BIBS AND FLOOR DRAINS, FLOOR DRAINS SHALL BE WITHIN 3FT OF THE URINALS.

18-ALL FLOOR PENETRATIONS SHALL BE FIRE RATED WITH FIRE STOP MATERIAL OR INTUMESCENT TYPE COLLARS AS REQUIRED.

19-UNLESS NOTED OTHERWISE PVC MAY BE USED FOR RESIDENTIAL TYPE BUILDINGS UP TO TEN FLOORS FOR DRAINAGE. CPVC MAY BE USED FOR DOMESTIC HOT/COLD WATER IN RESIDENTIAL TYPE BUILDINGS UP TO 60 FT, OR 6 STORY BUILDINGS. PROVIDE SOUND INSULATION ON ALL PVC VERTICAL DRAIN LINES

20-PROVIDE DRAIN PAN FOR ALL STORAGE TYPE WATER HEATERS AND WASHING MACHINES W/DRAINS CONNECTED TO SEWER DRAIN, PROVIDE TRAP PRIMERS..

21-PROVIDE COMPLETE PIPING FOR DISHWASHER AND DISPOSAL CONNECTIONS, OBSERVE CLEARANCE REQUIREMENTS UNDER KITCHEN SINKS.

22-ALL DRAINS LOCATED BELOW THE STREET GRADE SHALL HAVE LOCAL OR CENTRAL TYPE BACK WATER VALVES. DRAINS FROM UPPER FLOORS WILL CONNECT AT EXIT

23-ALL PLUMBING FIXTURES SHALL BE APPROVED TYPE IN THE STATE OF PROJECT BEING USED, SPECIFICATIONS ARE FOR QUALITY, LOOK AND PERFORMANCE PURPOSES ONLY. IF SPECIFIED EQUIPMENT IS NOT THE APPROVED TYPE, CONTRACTOR SHALL PROVIDE SIMILAR APPROVED FIXTURE.

24-ALL FLOOR DRAINS IN BOILER ROOMS SHALL BE COORDINATED WITH BOILER PLACEMENTS SO THAT CONDENSATE DRAINS WILL BE DRAINED TO FLOOR DRAIN.

25-ALL PENETRATIONS THROUGH FIRE RATED WALLS AND CEILINGS SHALL BE FIRE SAFED. USE FIRE PUDDY WITH FIRE WOOL FILLING FOR 2" AND SMALL PIPES, USE INTUMESCENT COLLAR FOR LARGER PIPES.

26-ALL LAUNDRY DRAINS FOR BUILDINGS 4 STORIES AND HIGHER SHALL HAVE DEDICATED DRAIN LINES CONNECTED TO SEWER LINES AT BUILDING DISCHARGE.

27-ALL BASEMENT DRAINS WILL HAVE BACK WATER VALVES AND UN UPPER FLOORS WILL BE CONNECTED TO SEWER DISCHARGE SEPERATELY FROM BASEMENT DRAIN

28- PROVIDE BALL TYPE SHUT OFF VALVES FOR ALL RISERS AND WATER BRANCHES OFF THE MAIN PIPES. RISERS SHALL HAVE DRAIN VALVES WITH CAP AND CHAIN

Table with 2 columns and 11 rows of general notes. Note 1: GENERAL PROVISIONS OF CONTRACT... Note 2: COORDINATE WORK WITH THAT OF OTHER TRADES... Note 3: ALL WORK AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING AND GAS CODES... Note 4: FURNISH AND INSTALL A COMPLETE SANITARY DRAINAGE AND VENT SYSTEM... Note 5: FURNISH AND INSTALL A COMPLETE HOT WATER AND COLD WATER SYSTEM... Note 6: FURNISH AND INSTALL A COMPLETE GAS SYSTEM... Note 7: FURNISH TO OWNER A WRITTEN GUARANTEE... Note 8: SUBMIT SHOP DRAWINGS ON PLUMBING FIXTURES AND VALVES SPECIFIED... Note 9: FURNISH AND INSTALL ALL PIPE OPENINGS, PIPE HANGERS AND HANGER RODS... Note 10: BURIED STORM, SANITARY AND VENT PIPING SHALL BE CAST IRON PIPE... Note 11: HOT AND COLD WATER PIPING SHALL BE TYPE L SEAMLESS COPPER TUBING...

GENERAL NOTES

NTS

67 REVERE STREET

67 Revere Street
Boston, MA 02114

ALL DRAWINGS, SPECIFICATIONS AND ARCHITECTURAL DESIGNS ARE THE PROPERTY OF SOUSA DESIGN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK, AND SHALL EXCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

EACH CONTRACTOR SHALL SUBMIT TO SOUSA DESIGN ARCHITECTS OR THE OWNER FOR APPROVAL: SHOP DRAWINGS, SAMPLES, CUTS OF ALL THE ITEMS TO BE INCLUDED IN THE WORK, PRIOR TO CONSTRUCTION. ALL ITEMS TO BE INCLUDED SHALL BE APPROVED FOR USE IN THE CITY OF BOSTON AND SHALL HAVE AN ASTM AND UL NUMBER WHEN SUCH ITEMS REQUIRE THIS DESIGNATION. EACH CONTRACTOR SHALL CO-ORDINATE HIS WORK WITH ALL OTHER CONTRACTORS.

THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

ISSUED FOR:
COORDINATION ONLY
08.20.2021

SOUSA design
Architects

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Mohammed Zade

Job # 202114

Drawn by OJ Ckd by RC

Date 08.20.2021

Revisions table with 3 columns: No., Description, Date. Row 00: COORDINATION SET 08.04.21. Row 01: ROOF DECK 08.20.21.

PLUMBING NOTES

PLUMBING FIXTURE SPECIFICATION SCHEDULE

DESIGNATION	FIXTURE SYMBOL	SYMBOL	MANUFACTURER	FIXTURE			FITTING				CARRIER	LOCATION	REMARKS
				MODEL	TYPE	SIZE	MANUF./MODEL#	TYPE	SUPPLY	TRAP			
REFER TO ARCHITECTURAL SPECIFICATION FOR PLUMBING FIXTURES													
TRAP PRIMER	P-6	T.P.	PRECISION PLUMBING PRODUCTS	PR-500	-	-	-	-	1/2" CW SUPPLY	-	-	AS SHOWN	PROVIDE DU-4 FOR MULTIPLE TRAP PRIMERS

NOTE: ALL WASHER MACHINES TO BE PROVIDED WITH AQUA MANAGERS "FLOODSTOP" (FS 3/4-H) AUTOMATIC FLOOD PROTECTION KIT

GENERAL NOTES

- FOR EXACT LOCATION OF PLUMBING FIXTURES SEE ARCHITECTURAL DRAWINGS.
- EXAMINE ALL CONTRACT DRAWINGS, GENERAL CONDITIONS AND SPECIFICATIONS WHICH MAY AFFECT THE WORK.
- ALL PLUMBING WORK MUST BE COORDINATED WITH ALL OTHER TRADES BEFORE PROCEEDING WITH INSTALLATION.
- CHECK INVERT ELEVATIONS AND EXACT LOCATIONS OF ALL OUTSIDE UTILITIES BEFORE INSTALLING ANY UNDERGROUND.
- NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
- ALL PLUMBING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE LOCAL AND STATE PLUMBING CODES.
- ROUGHING DIMENSIONS OF TOILET FIXTURES MUST BE COORDINATED WITH GENERAL CONTRACTOR.
- INSTALL ALL HOT AND COLD WATER PIPING AS PER SPECIFICATIONS.
- INSTALL SHUTOFF GATE VALVES ON ALL BRANCH SUPPLY LINES AND AT THE BASE OF HOT AND COLD WATER RISERS.
- PLUMBING CONTRACTOR SHALL REQUIRE PANELS TO ACCESS THE CONCEALED PLUMBING CLEANOUTS, DRAINS, DEVICES AND CONTROLS. ACCESS PANELS SHALL BE FIRE RATED TO MATCH THE PENETRATING PARTITION OR CEILING TYPE. GENERAL CONTRACTOR SHALL INSTALL THE ACCESS PANELS.
- INSTALL ALL FLOOR CLEANOUTS TO CLEAR EQUIPMENT.
- PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES AND CHARGES IN CONNECTION WITH THE WORK.
- PLUMBING CONTRACTOR SHALL PROVIDE WATERTIGHT SLEEVES FOR ALL PIPES PASSING THRU BASEMENT WALLS.
- INSTALL CLEANOUTS AT THE BASE OF ALL SANITARY STACKS.
- INSTALL ALL HORIZONTAL RUNS OF PIPING AS HIGH AS POSSIBLE, PITCH ALL WATER PIPING TO DRAIN, DRAW OFFS AT ALL POINTS.
- PLUMBING CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO OUTSIDE UTILITIES.
- FOR PIPE SIZES NOT SHOWN ON PLANS SEE DETAILS & RISER DIAGRAMS.

PLUMBING LEGEND		N.T.S.
	SANITARY ABOVE FLOOR	
	SANITARY UNDER FLOOR	
	VENT	
	VENT BURIED	
	COLD WATER	
	HOT WATER	
	HOT WATER CIRCULATION	
	SHUT OFF VALVE	
	CHECK VALVE	
	FLOOR CLEANOUT	
	CLEANOUT	
	WALL CLEANOUT	
	VENT RISER	
	VENT THRU ROOF	
	HUB DRAIN	
	FLOOR DRAIN	
	FLOOR CLEANOUT	
	UNION	
	HOSE BIBB	
	ROOF DRAIN	
	VENT STACK	
	WASHER BOX	
	WATER CLOSET	
	LAVATORY SINK	
	SHOWER	
	KITCHEN SINK	

PIPING MATERIAL NOTES

SANITARY AND VENT: BELOW GROUND: -SCH.40 PVC WITH SOLVENT JOINTS  
ABOVE GROUND: -SCH.40 PVC WITH SOLVENT JOINTS  
WATER PIPING: CPVC CHARLOTTE FLOW GAURD  
ALL PIPING TO BE HUNG FROM RESILIENT PIPE SUPPORTS TO PREVENT PIPE FROM RIGIDLY CONTACTING DRYWALL OR FRAMING AND TRANSMITTING VIBRATION AND NOISE TO STRUCTURE. USE HOLDRITE SILENCER SYSTEM OR APPROVED EQUAL

INSULATION NOTES

THE FOLLOWING SYSTEMS SHALL BE INSULATED.  
IECC 2015 REQUIREMENTS:  
1. DOMESTIC HOT WATER MAINS AND BRANCHES:  
PIPING < 1" REQUIRES 1" INSULATION  
PIPING > 1/2" REQUIRES 2" INSULATION  
GENERAL INSULATION REQUIREMENTS:  
CW PIPING: 1/2" INSULATION  
HORIZONTAL STORM: 1/2" INSULATION  
ALL PVC WASTE SHALL HAVE 1 LB PSF REINFORCED-FOIL FACED LOADED VINYL BARRIER BONDED TO A 1" THICK SCRM FACED QUILTED FIBERGLASS ABSORBER:  
SOUND SEAL B-10 LAG/QFA-3, OR EQUAL BY KINETICS NOISE CONTROL OR OTHERS:

SCHEDULE OF WATER HEATER

DESIGNATION	NAME	LOCATION	DESCRIPTION
WH-1	APARTMENT HOT WATER HEATER	APARTMENT MECP. ROOM	NAVIEN NCB-240A, GAS FIRED COMBI-BOILER, 199 MBH INPUT, 120V/1Ø, AFUE 91%, 4.5 GPM @70°F RISE. PROVIDE (2) 3" FLUES THROUGH ROOF FOR EACH UNIT.

DESIGNATION	LOCATION	MANUFACTURER	MODEL NO
FD	AS SHOWN	ZURN	SERIES 415B CAST IRON BODY WITH TYPE "B" STRAINER
FCO	AS SHOWN	ZURN	SERIES ZN-1400-HD
HB	AS SHOWN	ZURN	SERIES 21321 ECOTROL CERAMIC DISC WALL HYDRANT, EXPOSED, NON-FREEZE, ANTI-SIPHON, AUTOMATIC DRAINING
WATER HAMMER ARRESTOR	AS SHOWN	SIOUX CHEF	SERIES 660 SERIES OR EQUAL BY PRECISION PLUMBING PRODUCTS

ISSUED FOR:  
COORDINATION ONLY  
08.20.2021

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Job #: 202114

Drawn by: OJ Ckd by: RC

Date: 08.20.2021

Revisions	
00	COORDINATION SET 08.04.21
01	ROOF DECK 08.20.21

PLUMBING NOTES,  
AND SCHEDULES

PLUMBING NOTES:

- REFER TO ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FIRE WALLS. ANY PENETRATION THROUGH FIRE FLOORS SHALL BE FIRE STOPPED. ANY PENETRATION THROUGH FIRE WALL SHALL BE FIRE CAULKED. REFER TO SECTION 7275 FOR PROCEDURE.
- WITHOUT LIMITATION PAY ATTENTION TO THE FOLLOWING ITEMS:
  - CHASES BEHIND BATHROOM (WALL BETWEEN CORRIDOR AND BATHROOM) AND WALLS BETWEEN UNITS ARE FIRE RATED. FIRE CAULK ALL PENETRATIONS.
  - TOP AND BOTTOM WALL PLATES AT CEILING AND AT FLOOR IS PART OF FIRE SEPARATION. FIRE STOP ALL PENETRATIONS THROUGH PLATES.

GENERAL NOTES:

- SHOULD ANY CONTRADICTION, AMBIGUITY, ERROR, INCONSISTENCY, OMISSION OR INCOMPLETE SYSTEM APPEAR IN OR BETWEEN ANY OF CONTRACT DOCUMENTS THE CONTRACTOR SHALL, BEFORE SUBMITTING THE FINAL BID AND SIGNING THE CONTRACT FOR CONSTRUCTION, NOTIFY THE ARCHITECT AND REQUEST A WRITTEN RESOLUTION AS TO WHICH METHODS OR MATERIALS WILL BE REQUIRED. IN THE EVENT OF CONFLICTING REQUIREMENTS OF STANDARDS, DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT REQUIREMENTS. BEFORE SUBMITTING THE FINAL BID AND THE SIGNING THE CONTRACT FOR THE CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A WRITTEN INTERPRETATION FROM THE ARCHITECT. IN NO CASE SHALL THE CONTRACTOR PROCEED WITH THE AFFECTED WORK UNTIL ADVISED BY THE ARCHITECT.
- IF THE CONTRACTOR FAILS TO MAKE A REQUEST FOR INTERPRETATION OR RESOLUTION NO EXCUSE WILL BE ACCEPTED FOR FAILURE TO CARRY OUT THE WORK IN A SATISFACTORY MANNER, AS INTERPRETED BY THE ARCHITECT. THIS GENERALLY MEANS THE USE OF THE HIGHEST QUALITY MATERIAL, MOST EXPENSIVE WAY OF PERFORMING WORK AND PROVIDING COMPLETE FUNCTIONING SYSTEM FOR PROPER OPERATION.
- EACH AND EVERY TRADE OR SUBCONTRACTOR WILL BE DEEMED TO HAVE FAMILIARIZED THEMSELVES WITH ALL THE CONTRACT DOCUMENTS OF THIS PROJECT, INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND SITE WORK, AND TO HAVE VISITED THE SITE, SO AS TO AVOID ERROR, OMISSIONS AND MISINTERPRETATIONS. RELATED INFORMATION MAY BE PROVIDED ON CONTRACT DOCUMENTS OTHER THAN THOSE ASSOCIATED WITH THE SUBCONTRACTOR'S TRADE. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELATED WORK OF ALL THE CONTRACT DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE AUTHORIZED FOR ALLEGED ERRORS, OMISSIONS AND MISINTERPRETATIONS WHETHER THEY ARE A RESULT OF FAILURE TO OBSERVE THIS REQUIREMENT OR NOT.
- ALL PENETRATIONS OF ASSEMBLIES EXPOSED TO THE EXTERIOR ENVIRONMENT SHALL BE SEALED WITH FOAM SEALANT OR EQUIVALENT SEALER TO PROVIDE ZERO AIR INFILTRATION. COORDINATE WITH FIRE STOPPING REQUIREMENTS.
- NO COMPONENT OF ANY SYSTEM SHALL RUN THROUGH THE STAIR ENCLOSURE THAT DOES NOT RELATE TO OR SERVE THE STAIR ENCLOSURE.

FIRE SAFE THROUGH WOOD FLOORS

TYPE	SIZE	HILTI	MATERIAL	RATING	BOTTOM	TOP	CHASE WALL
STEEL/CAST COPPER/EMT	MAX 4"	FS-ONE	INTUMESCENT SEALANT	2HRS	FIRE STOP	FIRE STOP	REQUIRED
STEEL/CAST 4" EMT/ 2" FLEX	MAX 6"	FS-ONE	INTUMESCENT SEALANT	2HRS	FIRE STOP	FIRE STOP	NOT REQUIRED
STEEL/CAST COPPER/EMT	MAX 4"	CP-620	FIRE FOAM	1HRS	FIRE STOP	FIRE STOP	REQUIRED
PEX	MAX 1"	CP 645	INTUMESCENT STRIP W/COLLAR	1HRS	BOTH SIDES	BOTH SIDES	NOT REQUIRED
PVC PIPE	MAX 2"	FS-ONE	INTUMESCENT SEALANT	1HRS	FIRE STOP	FIRE STOP	NOT REQUIRED
PVC PIPE	MAX 4"	FS-ONE	INTUMESCENT SEALANT	2HRS	FIRE STOP	FIRE STOP	REQUIRED
PVC PIPE	MAX 4"	CP 645	INTUMESCENT STRIP W/COLLAR	1HRS	COLLAR	FIRE STOP	NOT REQUIRED
REFRIGERANT	-	FS-ONE	INTUMESCENT SEALANT	-	1HRS	FIRE STOP	NOT REQUIRED
4" DUCT	MAX 4"	FS-ONE	INTUMESCENT SEALANT	-	1HRS	FIRE STOP	NOT REQUIRED
INSULATED COPPER/STEEL	MAX 2"	FS-ONE	INTUMESCENT SEALANT	-	1HRS	FIRE STOP	NOT REQUIRED
CABLES	MAX 2"	FS-ONE	INTUMESCENT SEALANT	-	1HRS	FIRE STOP	NOT REQUIRED

FIXTURE CONNECTIONS

TYPE	FIXTURE	WASTE	VENT	CW	HW	TEMP
P-X	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	110
P-X	HC-LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	110
P-X	TOILET	3"	2"	1/2"		
P-X	HC-TOILET	3"	2"	1/2"		
P-X	SINK	1 1/2"	1 1/2"	1/2"	1/2"	110
P-X	HC-SINK	1 1/2"	1 1/2"	1/2"	1/2"	110
P-X	SHOWER	1 1/2"	1 1/2"	1/2"	1/2"	110
P-X	HC-SHOWER	1 1/2"	1 1/2"	1/2"	1/2"	110





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08.20.2021

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*Mohammed Zade*

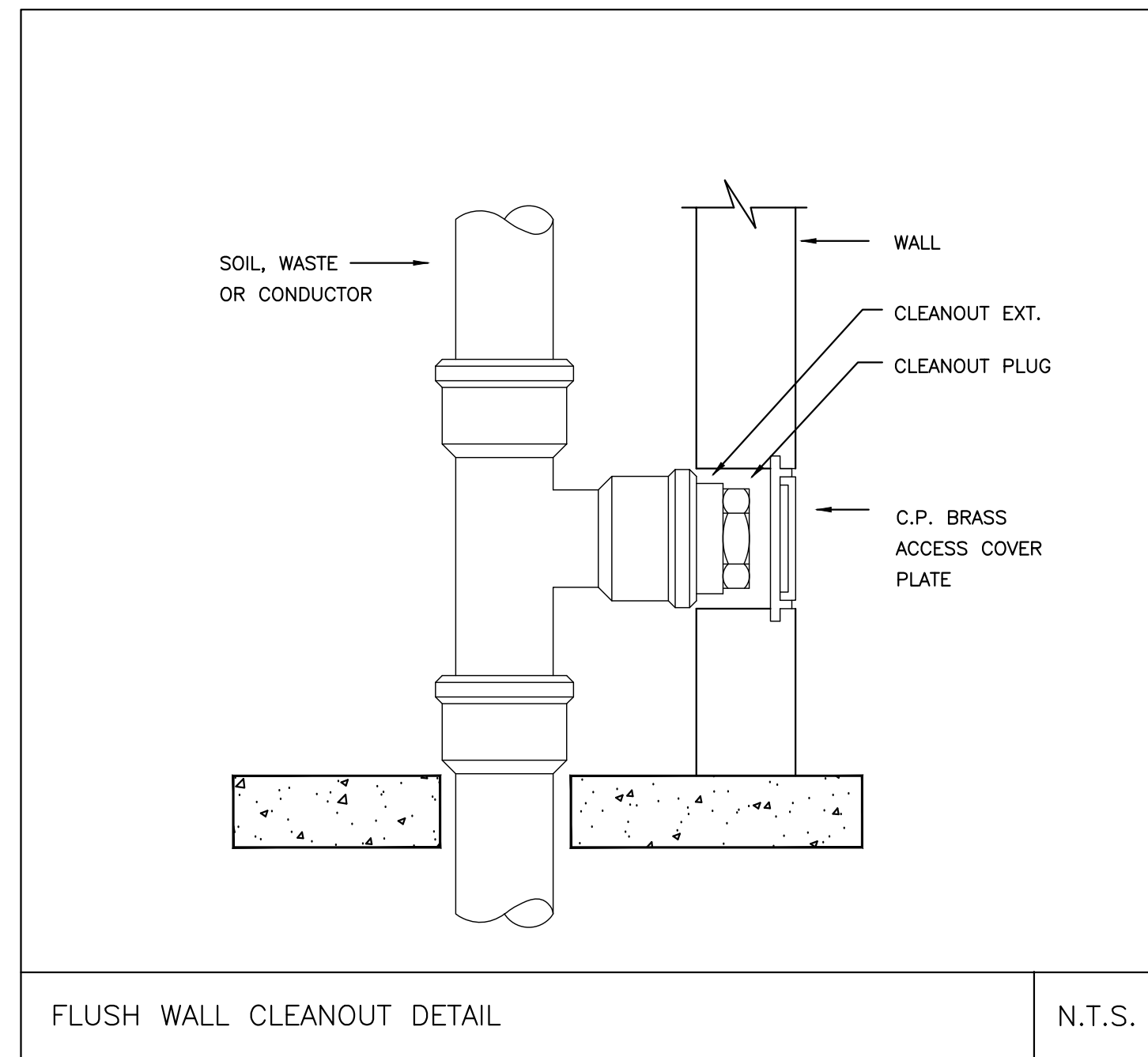
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Date 08.20.2021

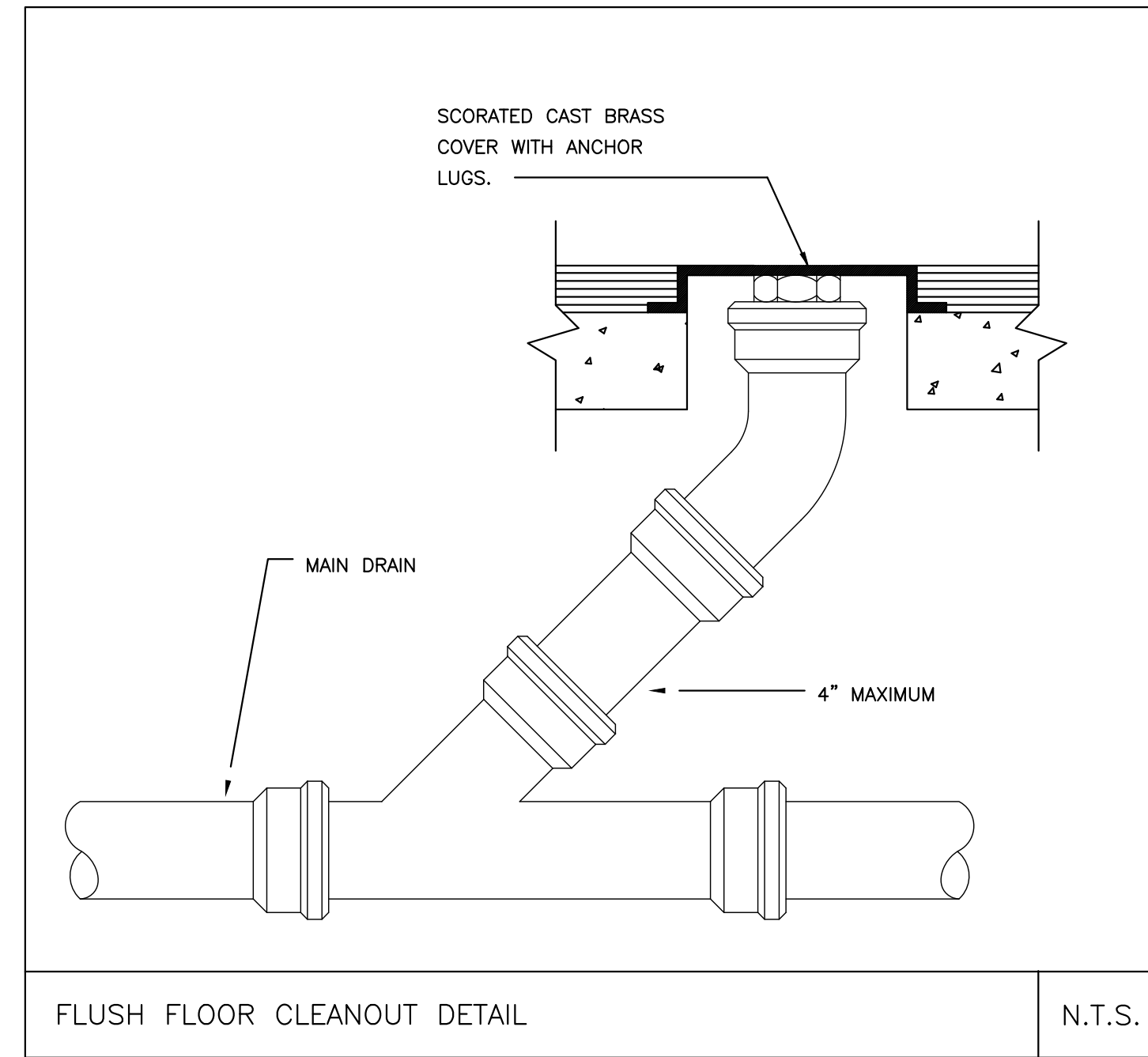
Revisions		
00	COORDINATION SET	08.04.21
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PLUMBING DETAILS



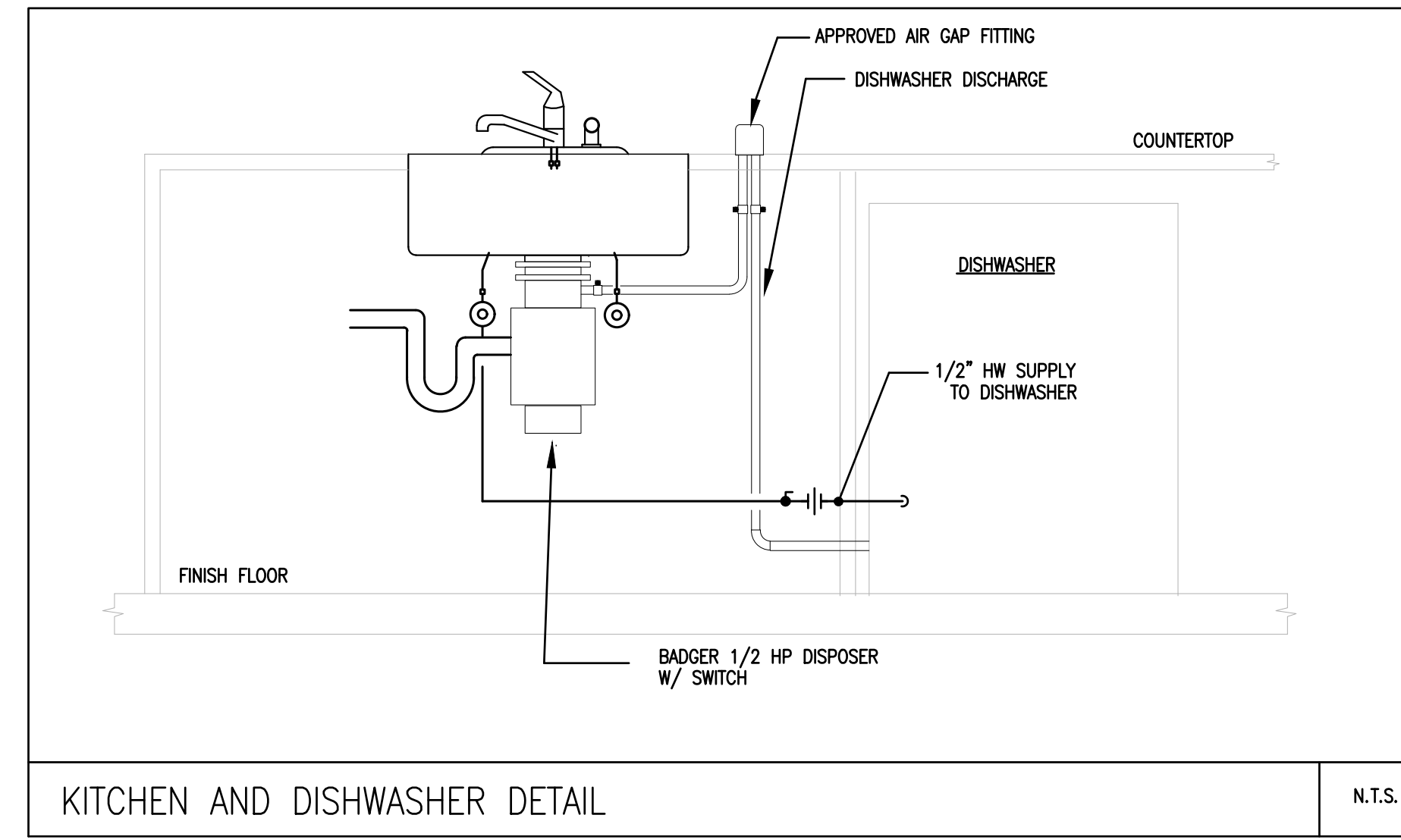
FLUSH WALL CLEANOUT DETAIL

N.T.S.



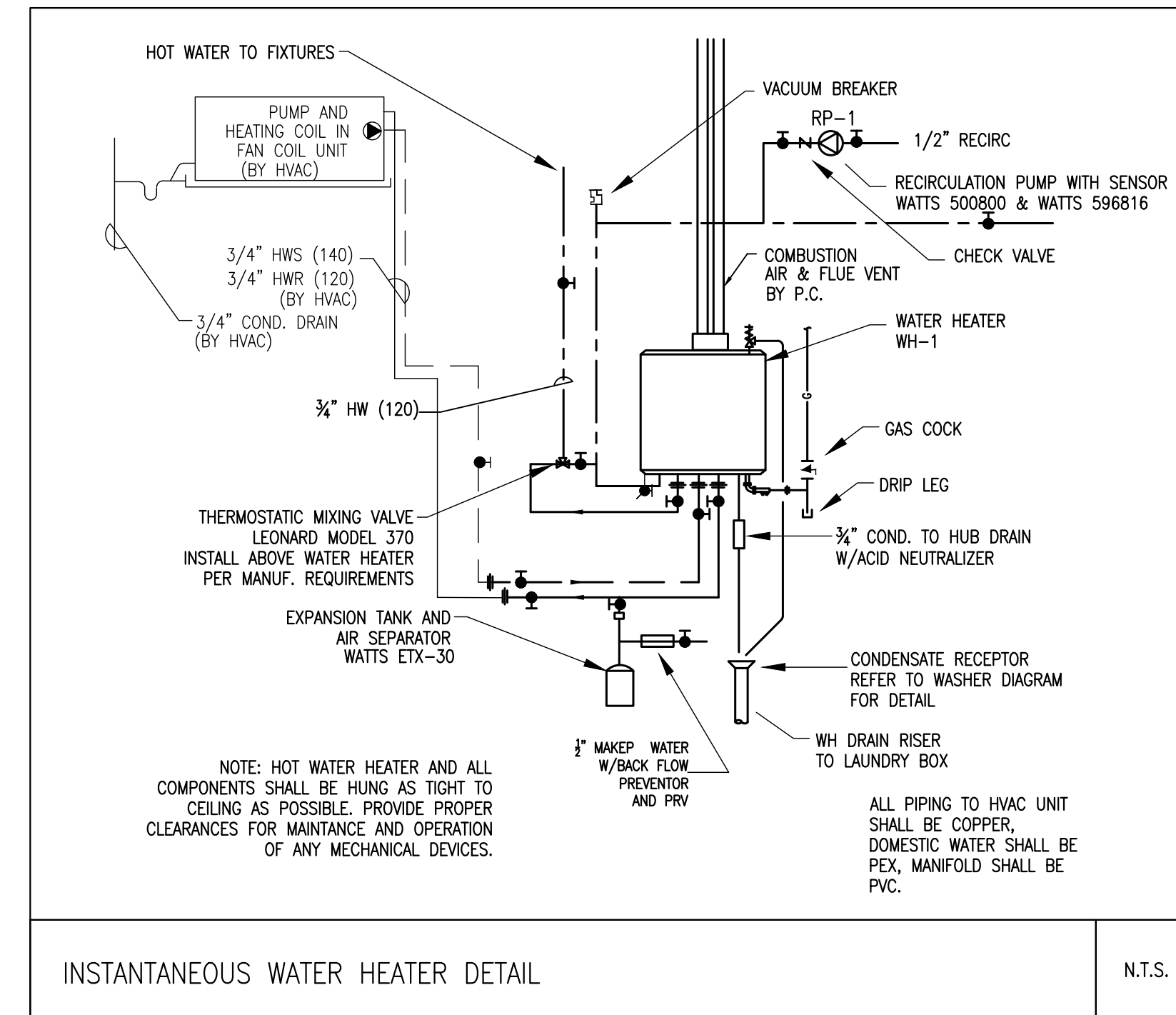
FLUSH FLOOR CLEANOUT DETAIL

N.T.S.



KITCHEN AND DISHWASHER DETAIL

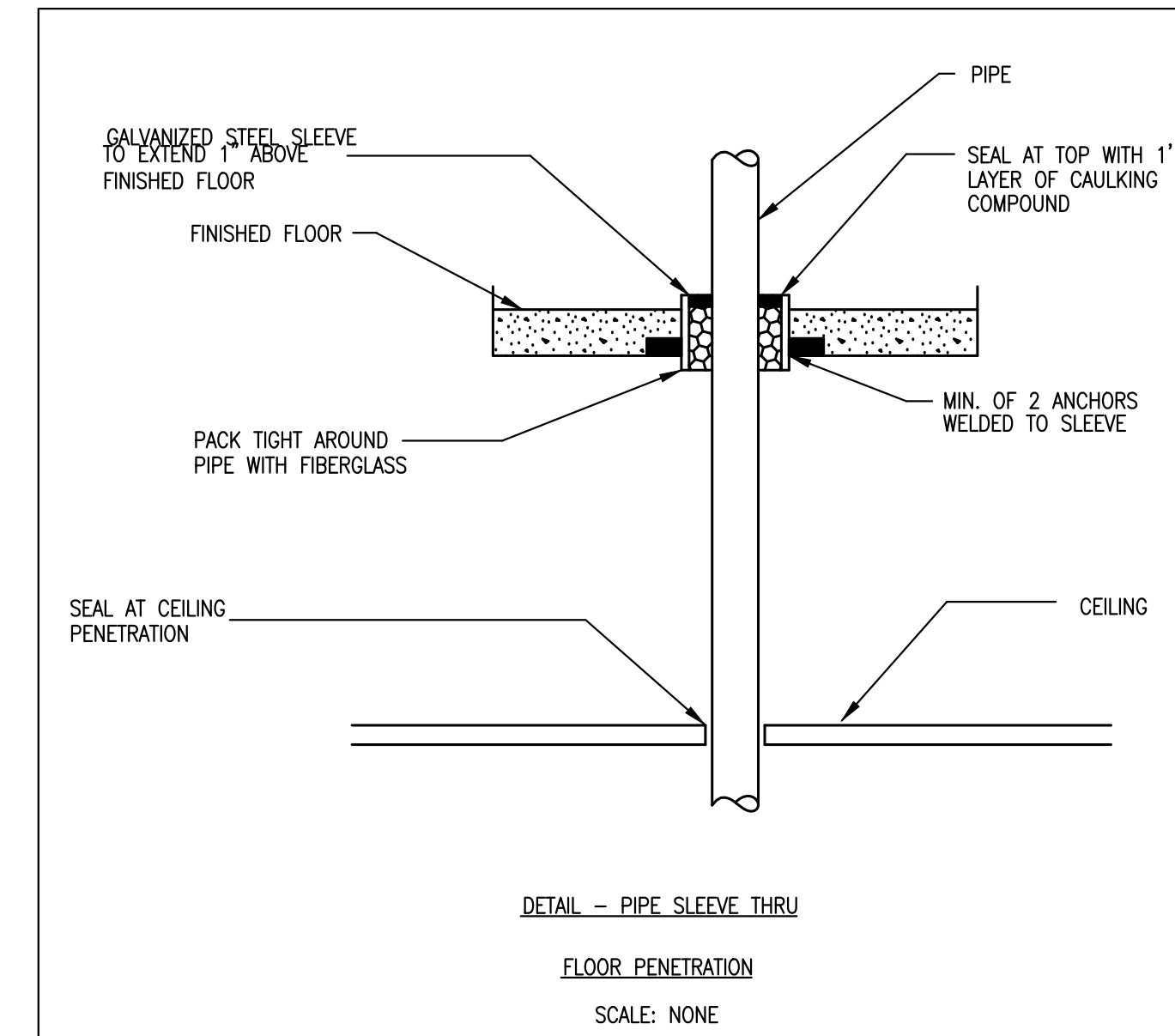
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INSTANTANEOUS WATER HEATER DETAIL

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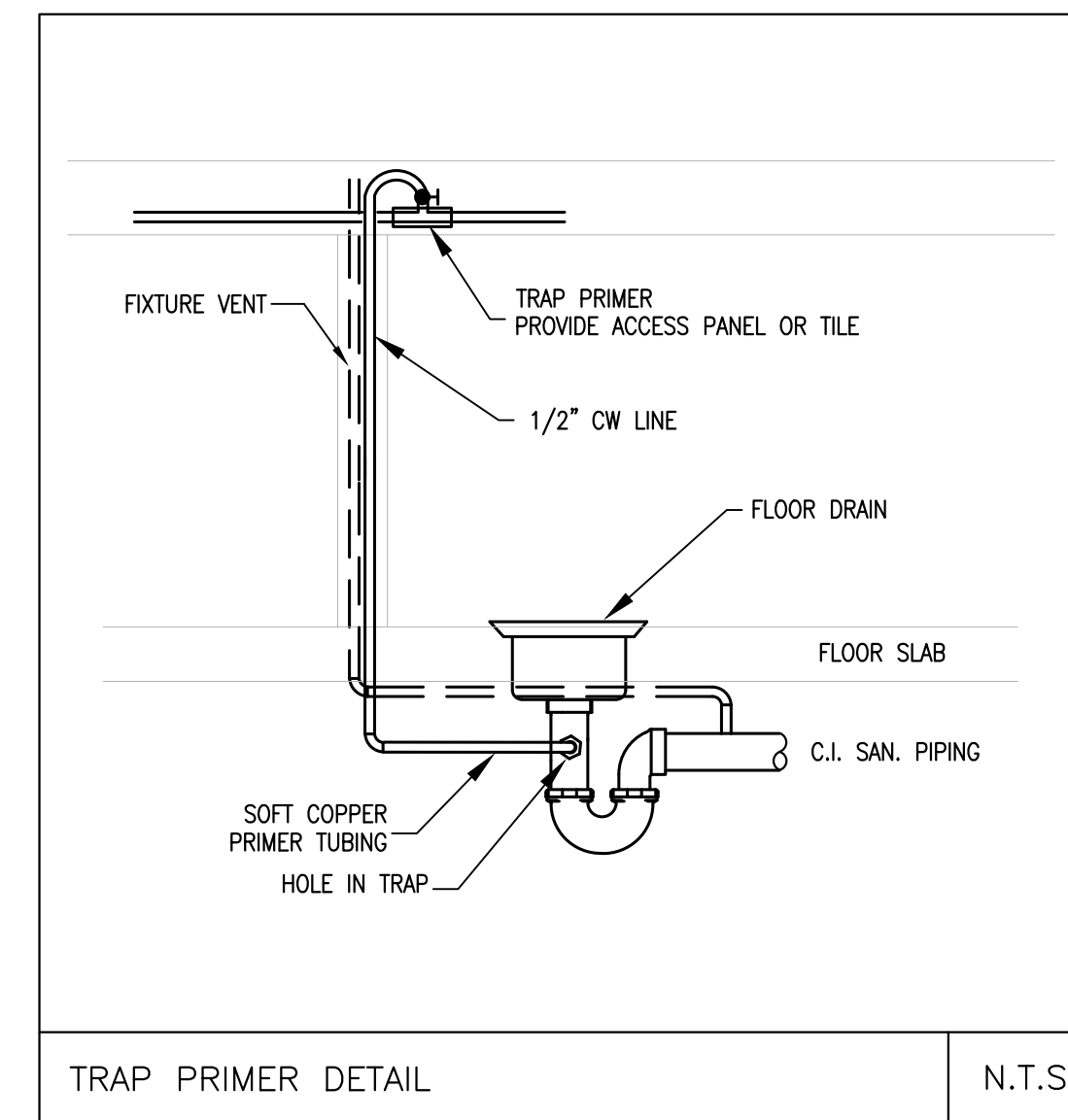
PC SHALL PROVIDE ON DEMAND HOT WATER RECIRCULATION PUMP AS MFG BY TACO, MODEL GENIE, STAINLESS STEEL PUMP, COMPLETE WITH ALL COMPONENTS FOR PROPER INSTALLATION AND OPERATION. PROVIDE ROUND MOTION SENSOR AT EACH FIXTURE LOCATION, WIRELESS TRANSMITTER AND HARD WIRED TRANSMITTER AT PUMP LOCATION, LOCATE PUMP AT REMOTEST FIXTURE LOCATION



DETAIL - PIPE SLEEVE THRU

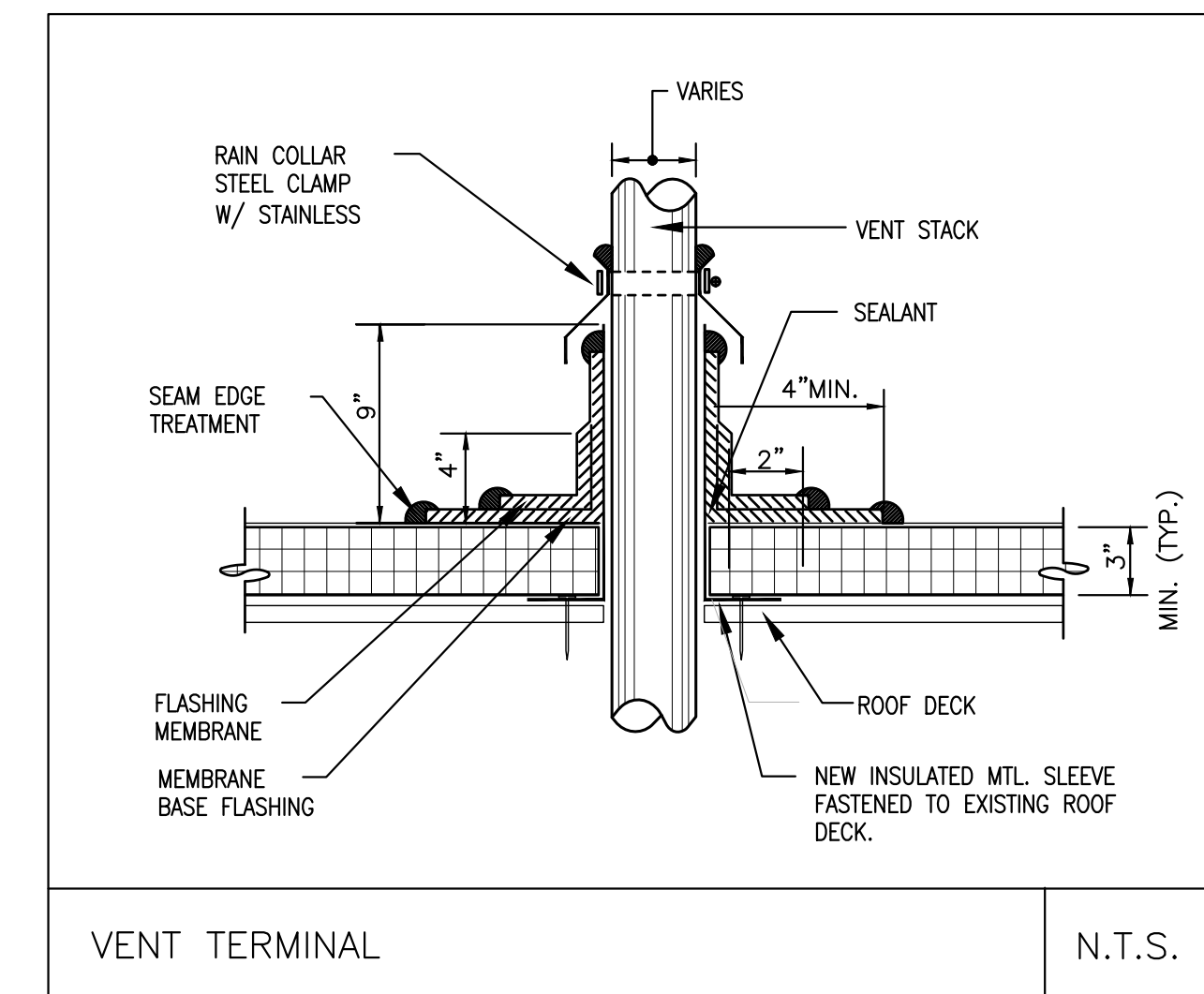
FLOOR PENETRATION

SCALE: NONE



TRAP PRIMER DETAIL

N.T.S.



VENT TERMINAL

N.T.S.

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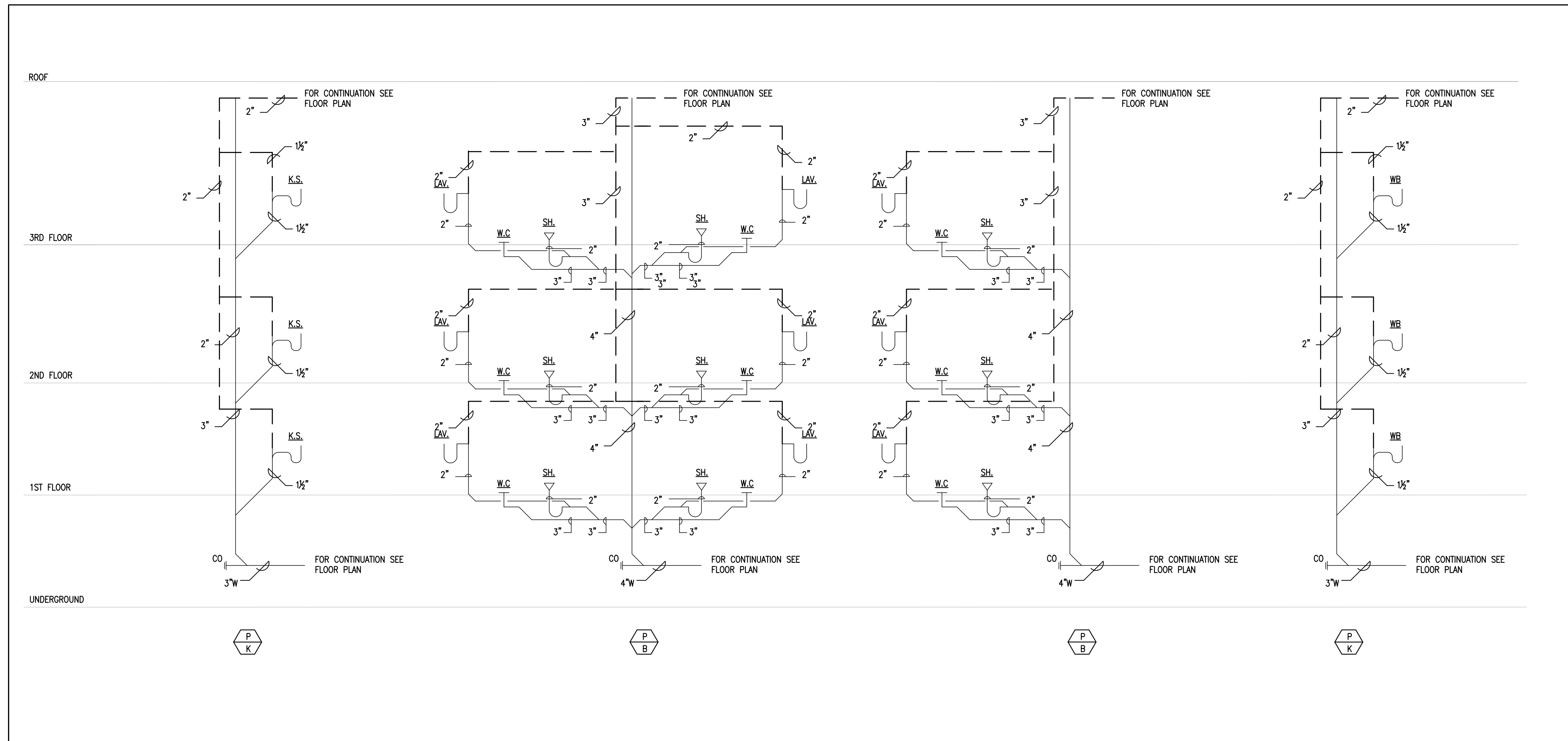
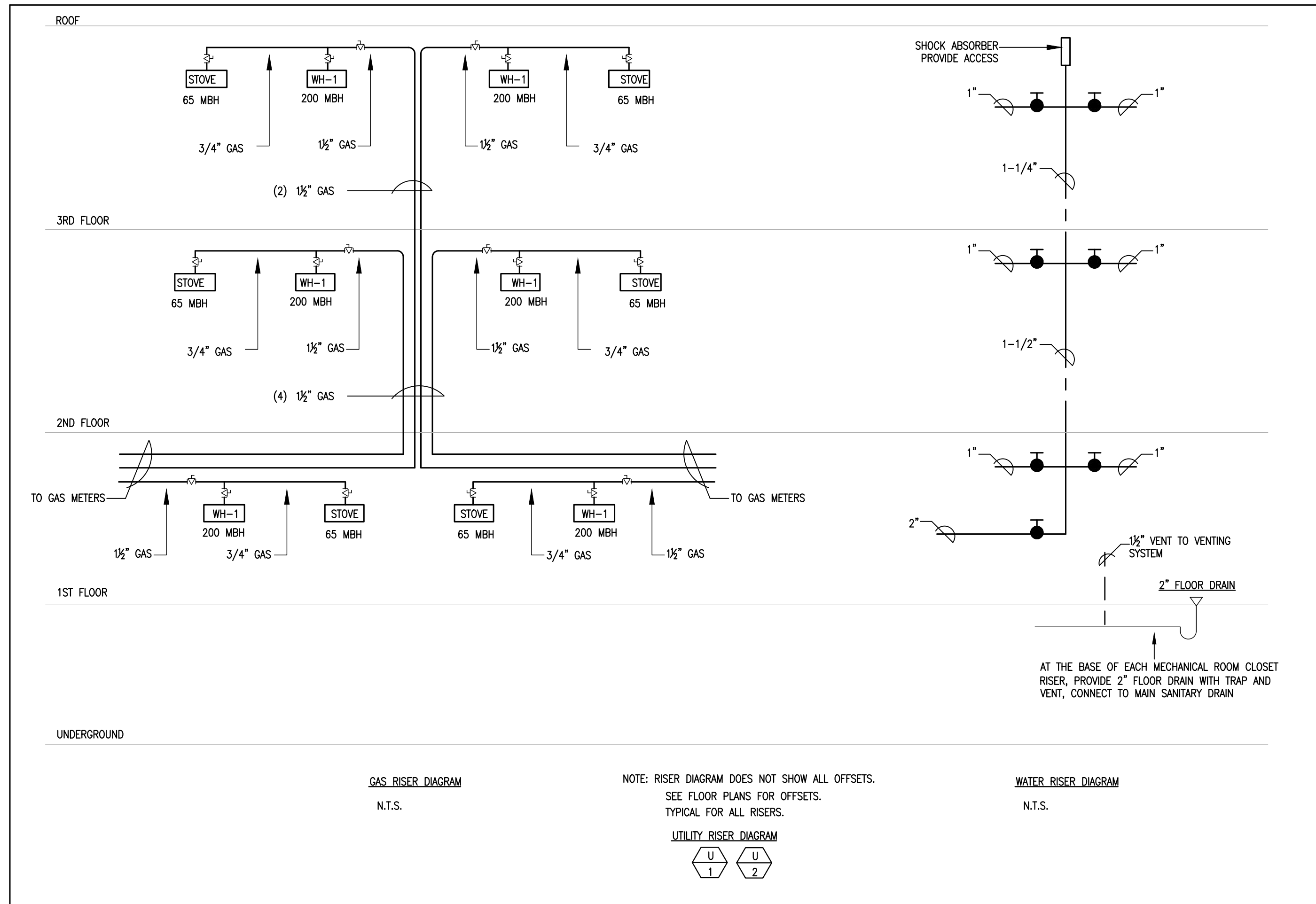
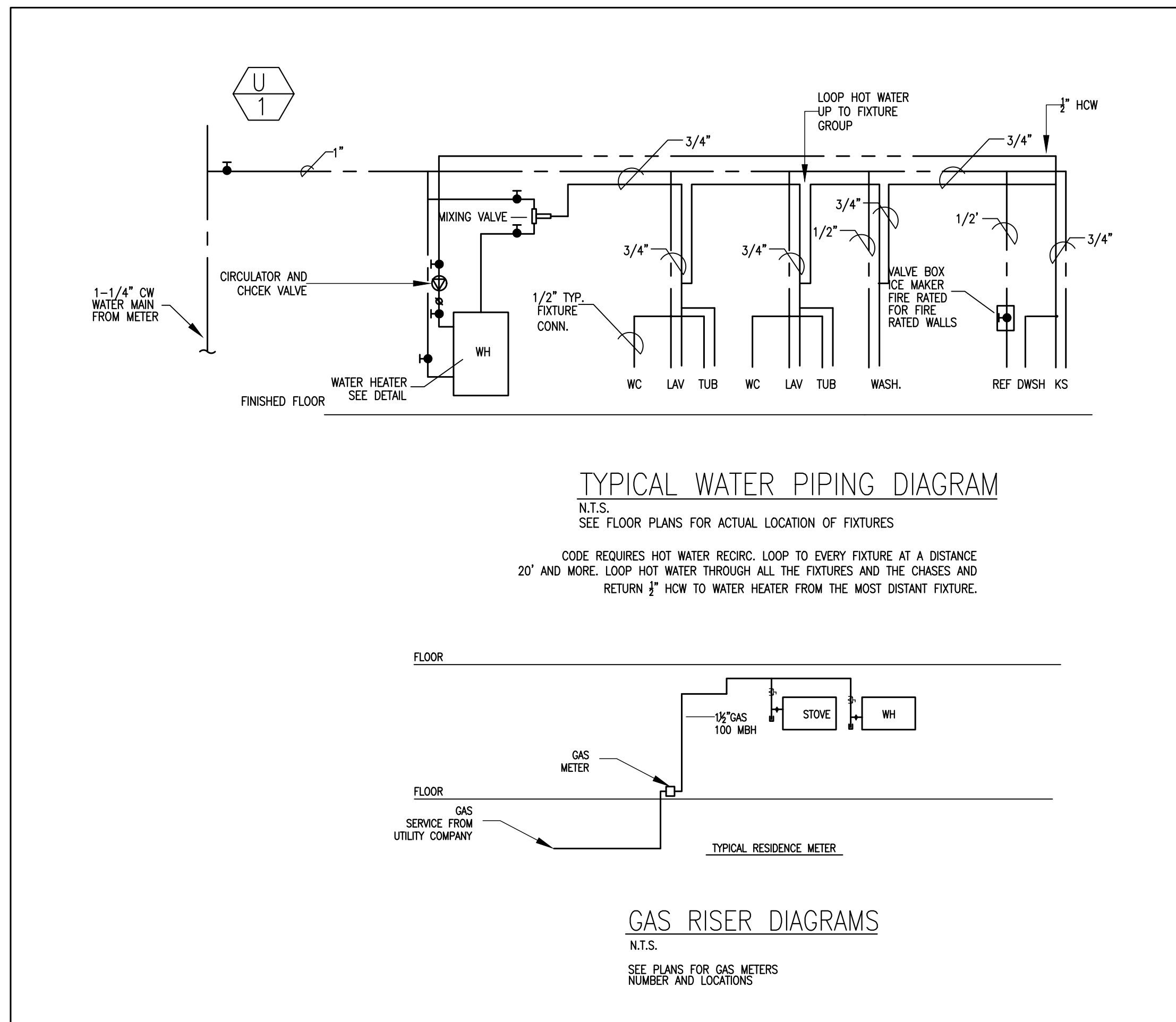
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Revisions		
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PLUMBING RISERS



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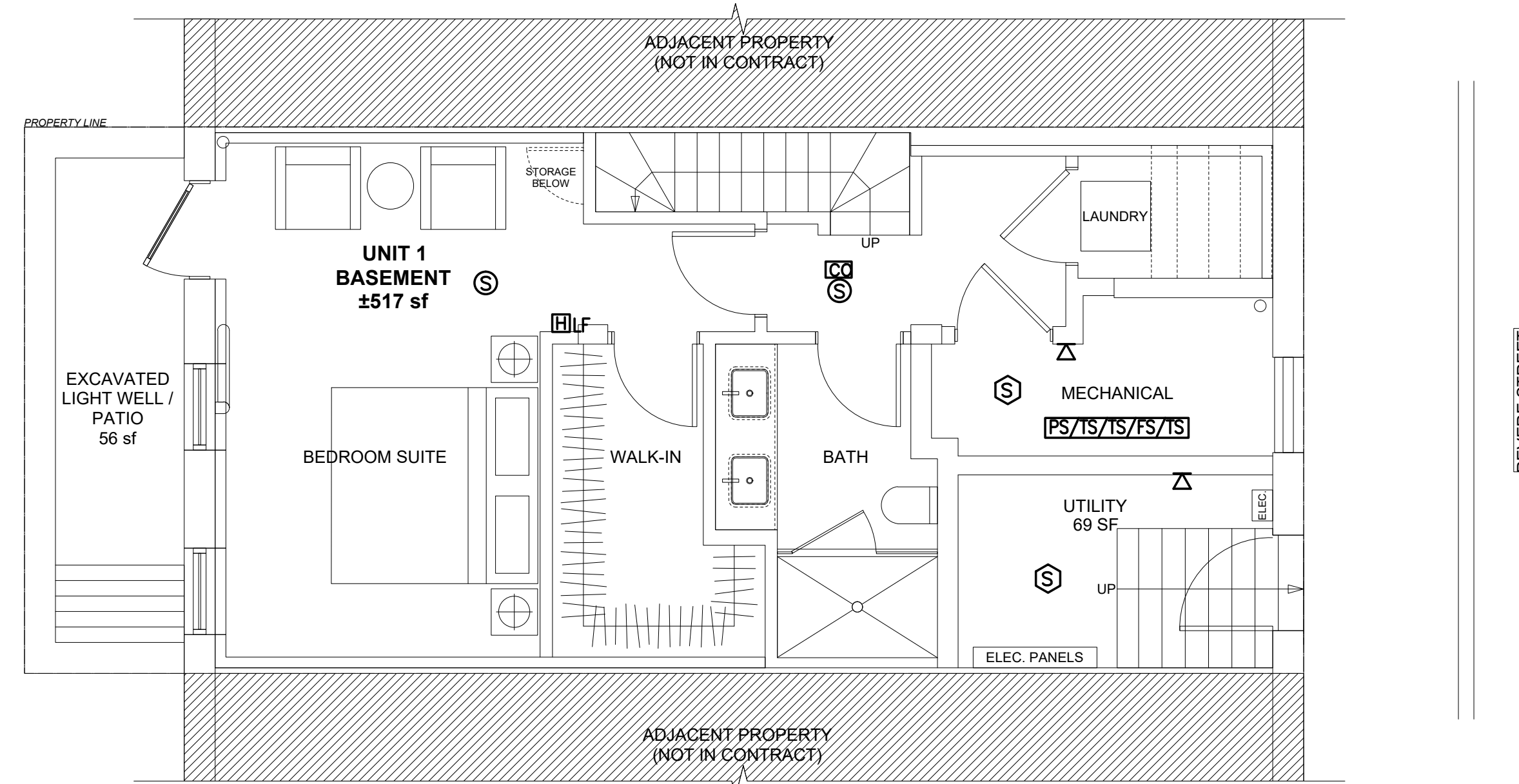
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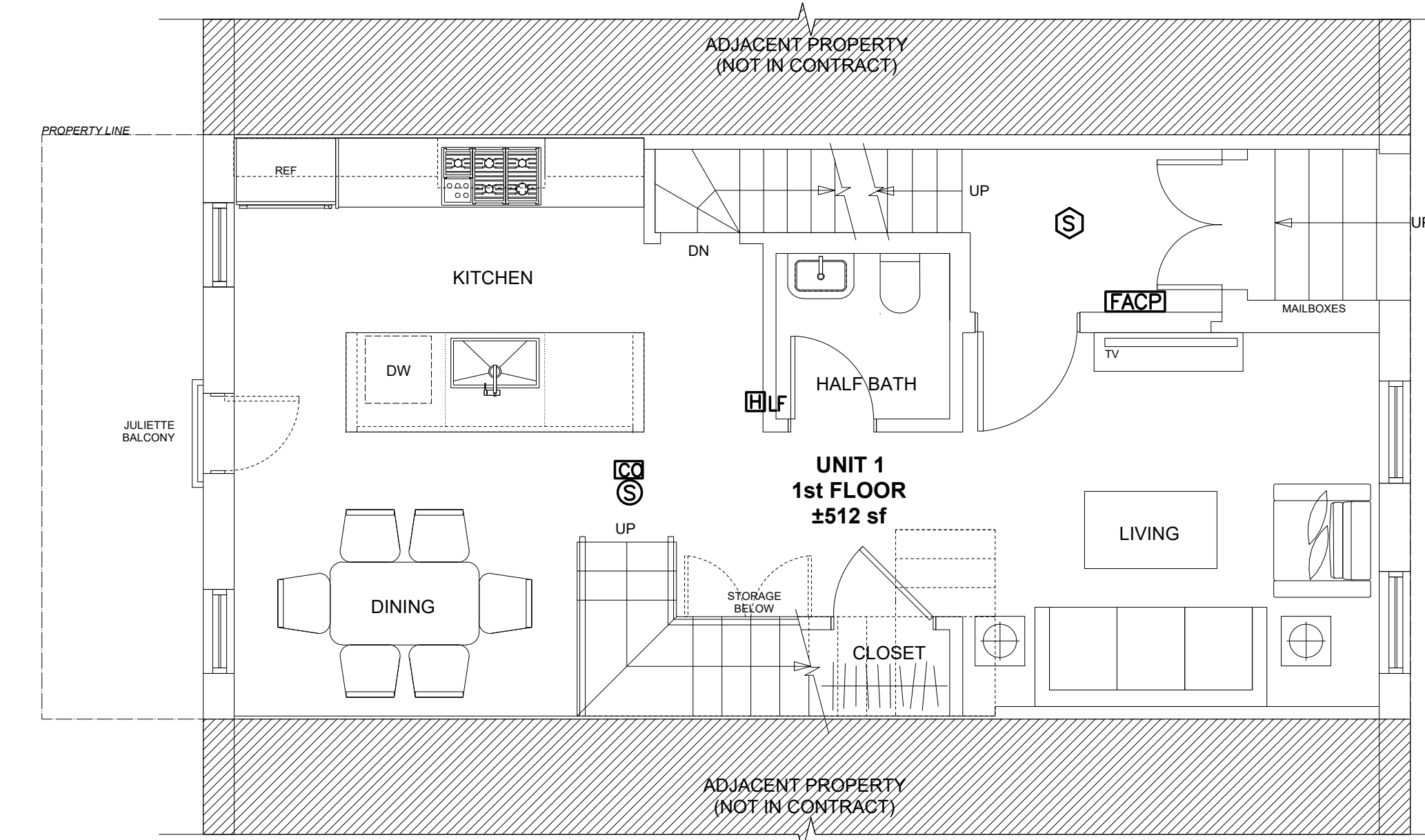
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FIRE ALARM PLANS

FA-100



0 BASEMENT PLAN  
Scale: 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

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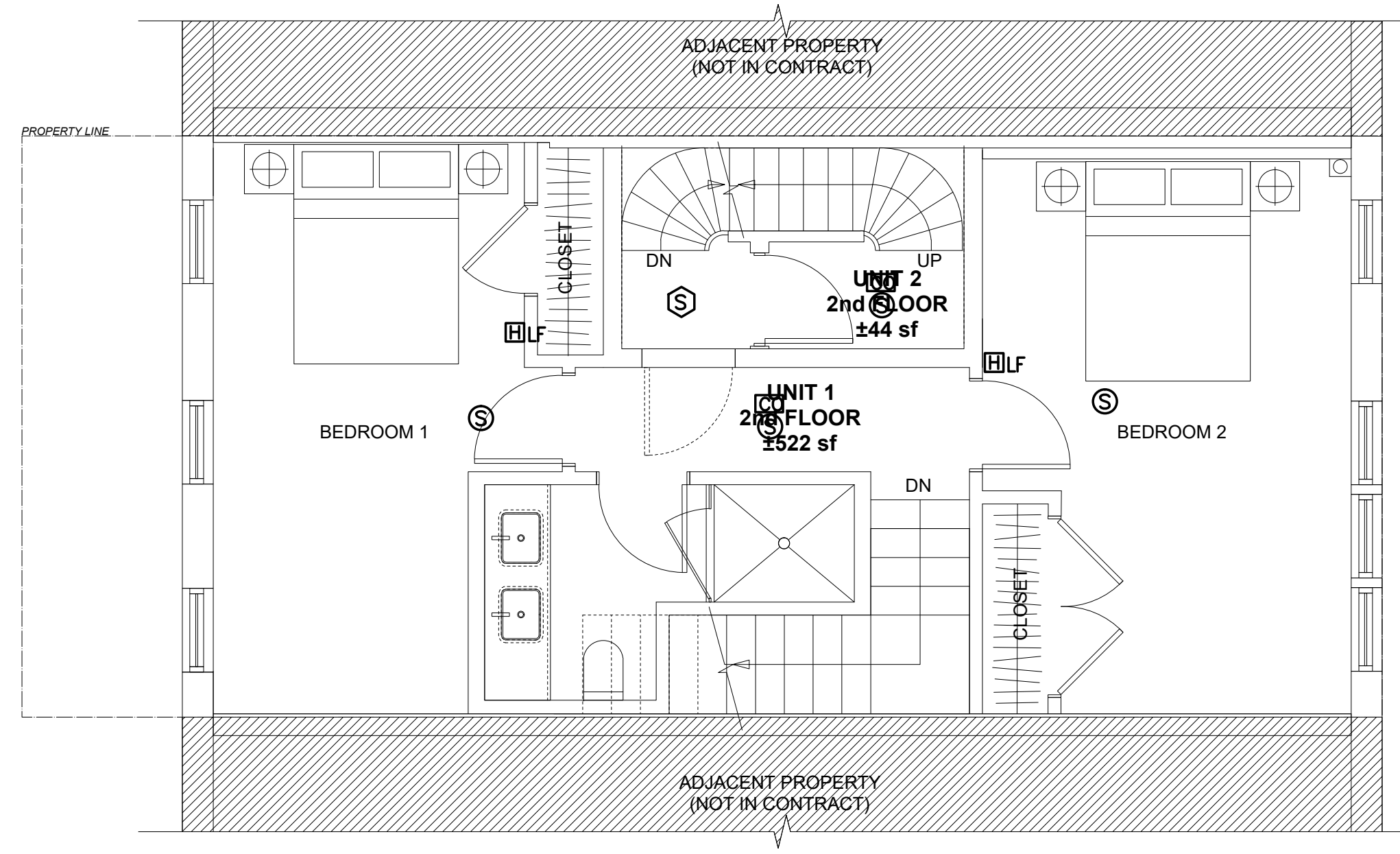
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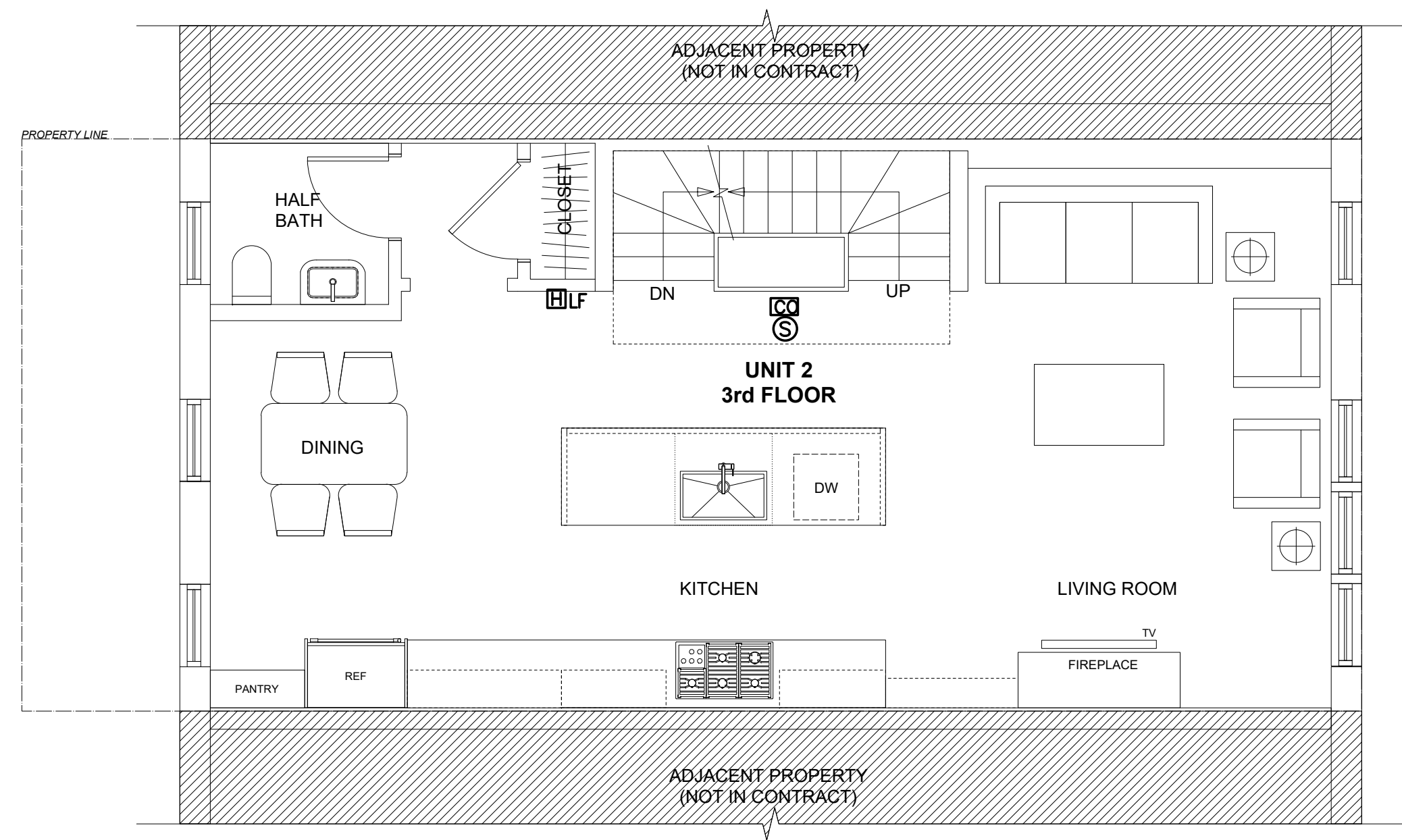
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FIRE ALARM PLANS

FA-101



2 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN  
Scale: 1/4" = 1'-0"

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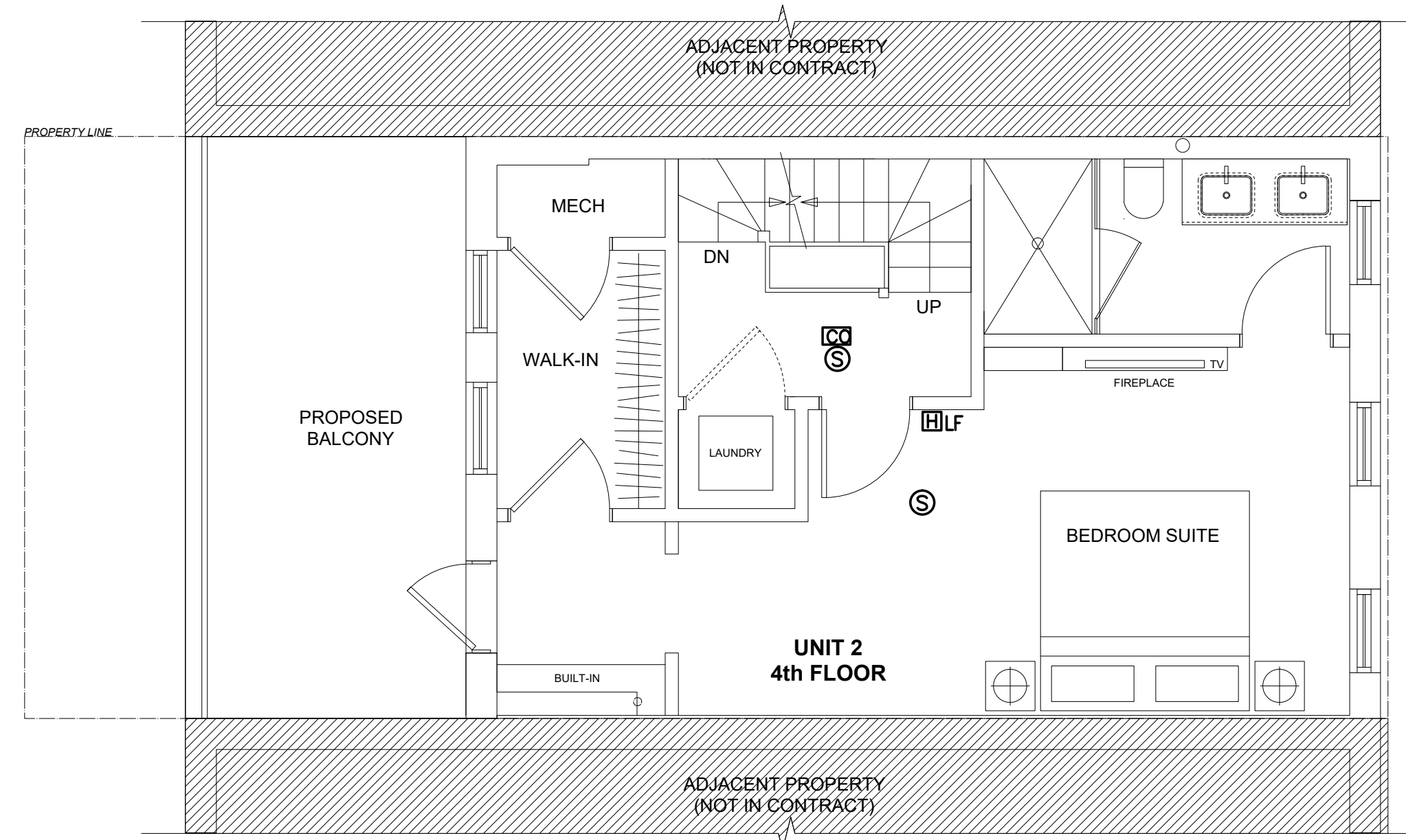
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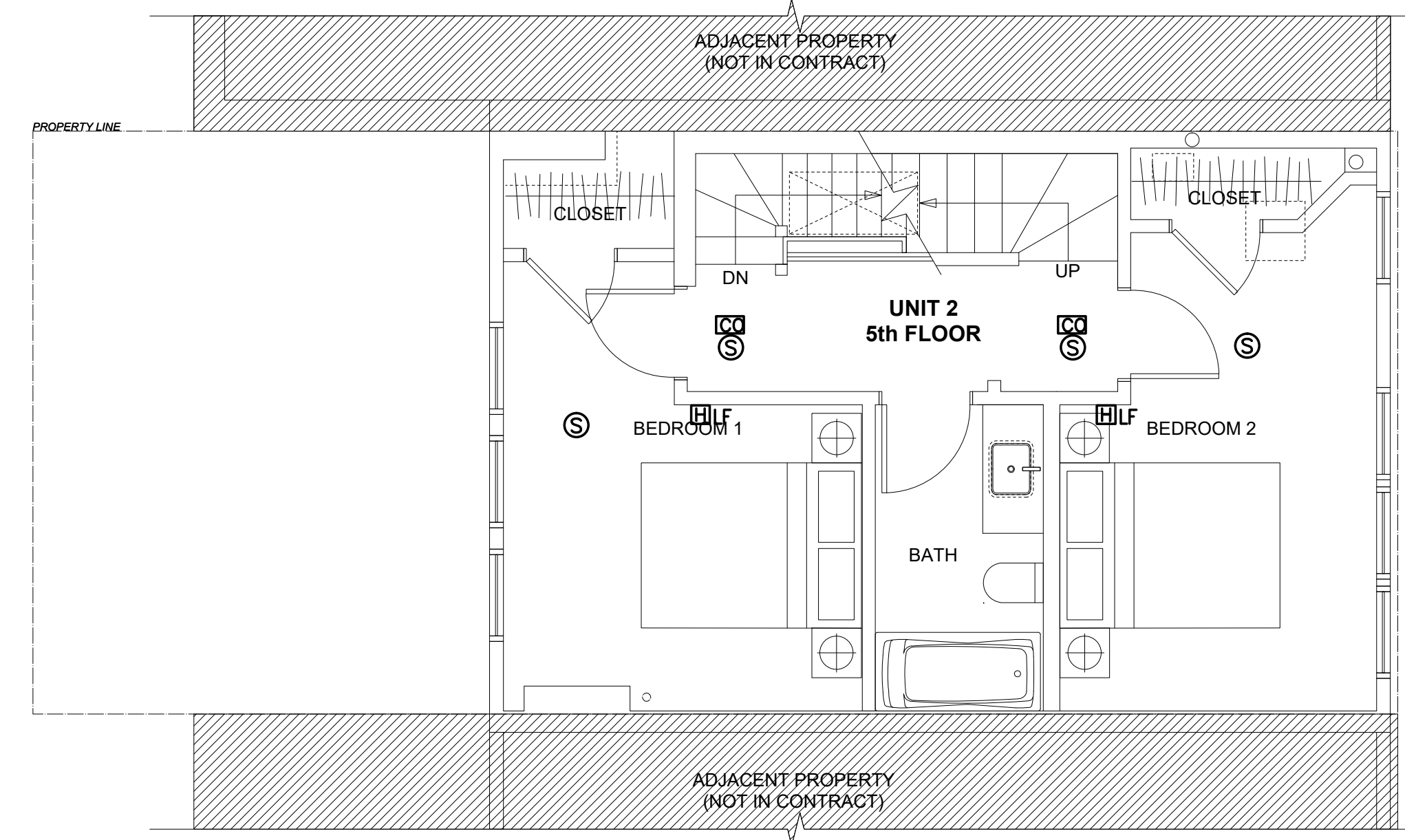
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FIRE ALARM PLANS



5 FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



4 FIFTH FLOOR PLAN  
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FIRE ALARM NOTES

**LEGEND**

- SYSTEM TYPE SMOKE DETECTOR, ANALOG ADDRESSABLE
- HEAT DETECTOR, ADDRESSABLE TYPE
- FIRE ALARM PULL AND HORN/LIGHT DEVICE.  
PER NFPA 72/SYNCHRONIZED. 15CD IN CORR., 60CD IN COMMON AREAS
- FIRE ALARM PULL STATION, ADDRESSABLE, MOUNTED AT 4'-0" AFF.
- FIRE ALARM HORN/LIGHT(SYNCHRONIZED), MTD AT 6'-8" AFF  
15 CD IN CORRIDORS, 60 CD IN COMMON AREAS
- FIRE ALARM LIGHT ONLY(SYNCHRONIZED), MTD AT 6'-8" AFF  
15 CD IN CORRIDORS, MIN 60 CD IN COMMON AREAS
- CEILING MOUNTED A/V DEVICE
- SPRINKLER SYSTEM FLOW SWITCH, WIRING ONLY.
- SPRINKLER SYSTEM TAMPERSWITCH, WIRING ONLY.
- LOW PRESSURE SWITCH WIRED AS SUPERVISORY
- FIRE ALARM CONTROL PANEL.
- FIRE ALARM REMOTE ANNUNCIATOR WITH TROUBLE BUZZER.
- DIALER BY E.C. WIRED TO UL LISTED ALARM CO.
- LOCAL TYPE 110V SMOKE DETECTOR, PHOTOELECTRIC TYPE WITH BATTERY BACK-UP. "L" INDICATES BUILT-IN STROBE 177CD/TANDEM WIRED WITH OTHER LOCAL DETECTORS IN THE UNIT. WIRED TO LIGHTING CIRCUIT
- SYSTEM TYPE CO DETECTOR W/MONITOR MODULE
- LOCAL TYPE SMOKE/CO COMBI DETECTOR, VOICE TYPE

-ALL SMOKE DETECTOR LOCATIONS SHALL BE COORDINATED WITH REFLECTED CEILING PLANS IN FIELD SO THAT DETECTORS SHALL BE MINIMUM 3FT AWAY FROM SUPPLY DIFFUSER.  
-DUCT SMOKE DETECTORS SHALL BE INSTALLED IN HEATED AREAS AT THE SUPPLY SIDE BEFORE THE FIRST TAKE OFF, MINIMUM 5FT AWAY FROM THE UNIT COIL. REMOTE TEST/INDICATOR LOCATIONS SHALL BE NEXT TO FACP PANEL OR AS DIRECTED BY THE FIRE DEPARTMENT.  
-A/V DEVICE LOCATIONS ARE SHOWN BASED ON STANDARD REQUIREMENTS. CONTRACTOR SHALL COORDINATE PHYSICAL STRUCTURES SO THAT VISIBILITY WILL BE MAINTAINED. PROPOSED CHANGES SHALL BE FORWARDED TO ARCHITECT/ENGINEER FOR APPROVAL.

AUDIBLE APPLIANCES PROVIDED FOR THE SLEEPING AREAS TO AWAKEN OCCUPANTS SHALL PRODUCE A LOW FREQUENCY ALARM SIGNAL THAT COMPLIES WITH THE FOLLOWING.

- THE ALARM SIGNAL SHALL BE A SQUARE WAVE OR PROVIDE EQUIVALENT AWAKENING ABILITY.
- THE WAVE SHALL HAVE A FUNDAMENTAL FREQUENCY OF 520 HZ +/- 10 PERCENT.

- 120V LOCAL SMOKE DETECTOR WITH BATTERY BACK-UP. COMBINATION TYPE 120V LOCAL SMOKE/CO DETECTOR WITH BATTERY BACK UP. SMOKE DETECTOR SHALL BE PHOTO ELECTRIC TYPE. TANDEM WIRE ALL COMBINATION TYPE SMOKE/CO AND SMOKE ONLY DETECTORS IN THE SAME UNIT AND FEED FROM BEDROOM RECEPTACLE CIRCUIT, (TYPICAL FOR ALL UNITS)
- CARBON MONOXIDE DETECTOR W/CO-BRK ELECTRONICS CAT#051208N FEED FROM SMOKE DETECTOR.

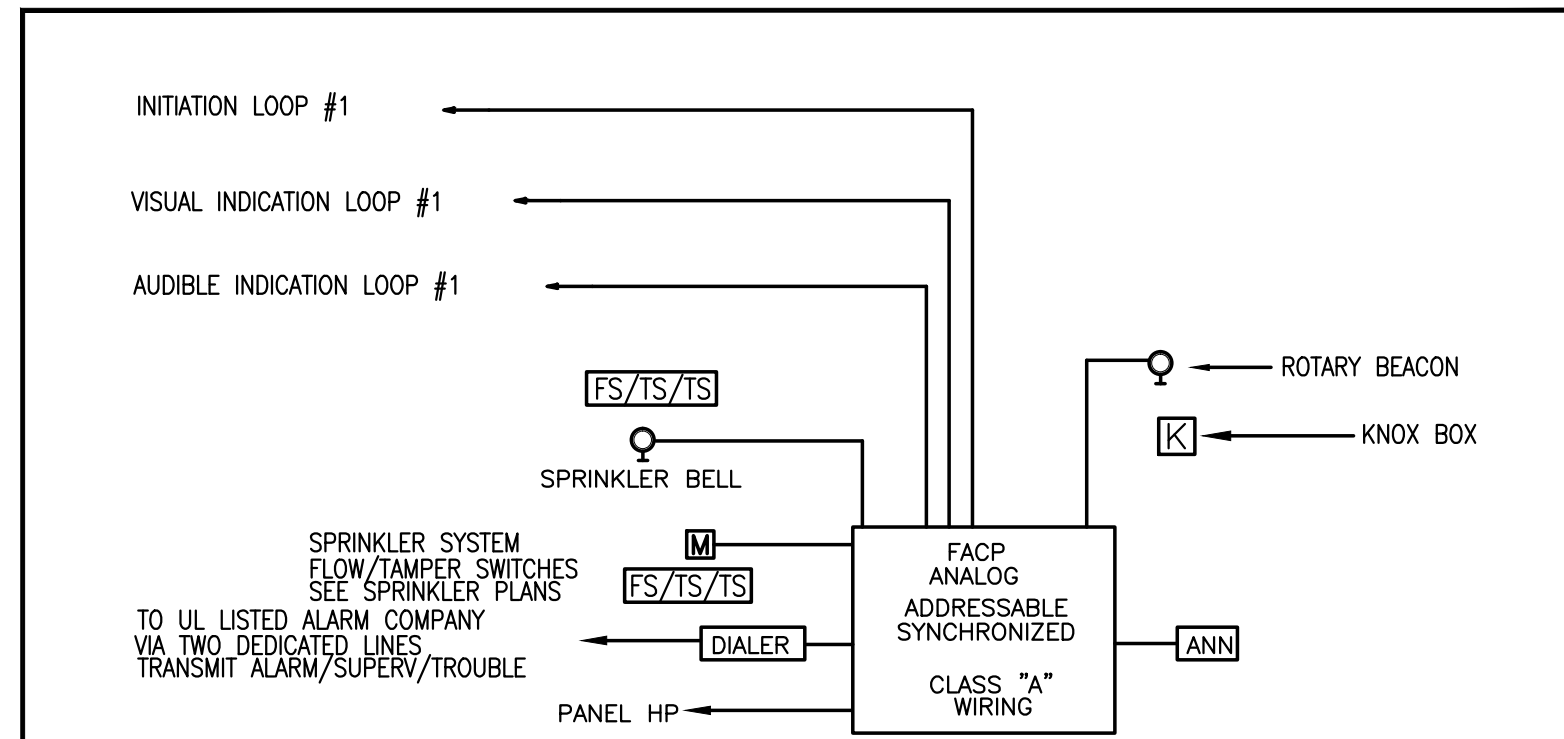
**FIRE ALARM CONSTRUCTION NOTES**  
-LOCAL SMOKE DETECTORS SHALL BE WIRED FROM ARC-FAULT CIRCUITS, VERIFY WITH ELECTRICAL INSPECTOR.  
-BACK TO BACK OUTLETS ON FIRE RATED WALLS SHALL BE INSTALLED TO MAINTAIN FIRE RATINGS, IF NECESSARY, USE FIRE RATED OUTLET BOXES.  
-ALL FLOOR PENETRATIONS BY CABLES AND CONDUITS SHALL BE SEALED TO MAINTAIN FIRE RATINGS.  
-RECESSED LIGHT FIXTURES INSTALLED ON FIRE RATED CEILINGS SHALL HAVE FIRE RATED HOODS ON TOP TO MAINTAIN FIRE RATING. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATED AREAS.  
-ALL WIRING WITHIN UNITS SHALL BE ROMEX. WIRING OUTSIDE UNITS SHALL BE METAL CLAD.

FOR FIRE ALARM SYSTEM A/V WIRING WITHIN THE TENANT SPACE PROVIDE SPARE CAPACITY AT THE PANEL BY WAY OF POWER BOOSTERS ON EACH FLOOR TO SUPPLY POWER TO TENANT A/V DEVICES WITHIN THE TENANT SPACE. SPARE POWER SHALL BE CALCULATED BASED ON (1) 110CD RATED A/V DEVICES PER 1000SQF OF TENANT SPACE. TYPICAL FOR EACH TENANT SPACE

FOR EVERY SMOKE DAMPER SHOWN ON MECHANICAL DRAWINGS, PROVIDE DUCT SMOKE DETECTOR IN THE DUCT TO OPERATE SMOKE DAMPER. PROVIDE 120V POWER TO SMOKE DAMPER FOR OPERATION. IN SITUATIONS WHERE THE AIR SUPPLY FROM THE SHAFT SERVES DIRECTLY A CORRIDOR OR A SPACE WHERE THERE ARE SMOKE DETECTORS FOR COMPLETE COVERAGE, NO DUCT SMOKE DETECTOR IS REQUIRED. INTERLOCK DAMPERS TO CLOSE UPON THESE DETECTOR ACTIVATIONS.

**ACCESSIBLE UNIT AND HEARING IMPAIRED FIRE ALARM NOTES**

SEE ARCHITECTURAL PLANS FOR NUMBER OF HC AND HEARING IMPAIRED UNITS AND LOCATIONS.  
CARRY MINIMUM 5% OF TOTAL UNIT NUMBER IN EACH UNIT PROVIDE  
-LOCAL TYPE SMOKE DETECTOR WITH BUILT IN STROBE/OR SEPARATE 120V STROBE EACH BEDROOM, OUTSIDE BEDROOM FOR LOCAL SMOKE ALARM  
-LOCAL TYPE STROBE IN EACH BEDROOM AND LIVING ROOM FOR CO ALARM  
-SYSTEM TYPE STROBE IN EACH BEDROOM AND LIVING ROOM  
-SYSTEM TYPE STROBE IN EACH BATHROOM  
-LOCAL TYPE STROBE IN EACH BATHROOM FOR LOCAL SMOKE ALARM  
-LOCAL TYPE STROBE IN EACH BATHROOM FOR CO ALARM  
-LOCAL TYPE CO DETECTORS OUTSIDE BEDROOMS AND EVERY HABITABLE FLOOR LEVEL, STROBES ARE TO BE LOCATED IN BEDROOMS AND HABITABLE SPACES



**NOTES**

PROVIDE ADDRESS MODULES FOR ALL FLOW & TAMPERSWITCHES SEE FLOOR PLANS FOR DETECTOR TYPES AND LOCATIONS AND QUANTITIES. SEE SPRINKLER DRAWINGS FOR FLOW/TAMPERSWITCH LOCATIONS AND QUANTITIES.  
PROVIDE SMOKE DETECTORS AT EVERY BOOSTER PANEL LOCATIONS  
CARRY MINIMUM OF (1) FLOW AND (4) TAMPERSWITCH AT SPRINKLER SERVICE LOCATION  
PROVIDE BATTERY CALCULATIONS AND TIER 2 DRAWINGS  
PROVIDE RADIO SIGNAL COVERAGE THROUGHOUT BUILDING AS REQUIRED PER 916.1.2.3  
BEDROOM MINI HORNS SHALL COMPLY WITH NEW NFPA 72 SOUND FREQUENCY REQUIREMENTS

**SEQUENCE OF OPERATION**

UPON ACTIVATION OF ANY FIRE DETECTOR, MANUAL PULL STATION OR FLOW SWITCH  
-FIRE ALARM PANEL WILL TRIP AND CALL FIRE DEPARTMENT  
-ALL AUDIO DEVICES WILL INITIATE ALARM SIGNAL TO ALERT ALL OCCUPANTS FOR ALARM CONDITION IN THE BUILDING FOR FULL EVACUATION.  
-ALL VISUAL DEVICES WILL ACTIVATE, THEY SHALL BE SYNCHRONIZED TYPE.  
-GARAGE CO SYSTEM SHALL BE SUPERVISORY ON HIGH ALARM

A 24"x18" GRAPHICAL FLOOR PLAN SHALL BE POSTED INSIDE ALL BUILDING ENTRY POINTS AND BE APPROVED BY THE FIRE DEPARTMENT

ALL BEDROOMS AND LIVING ROOMS SHALL BE WIRED FOR FUTURE STROBE.

**FIRE ALARM SYSTEM RISER DIAGRAM**

	CONTROL UNIT ANN	NOTIFICATION	FIRE SAFETY SYSTEM CONTROLS
1 COMMON AREA SMOKE DETECTORS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2 COMMON AREA HEAT DETECTORS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4 COMMON AREA MANUAL PULL STATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
5	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6 SPRINKLER MAIN FLOW	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
7 SPRINKLER FLOOR FLOW SWITCH	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
8 SPRINKLER TAMPERSWITCH ACTUATION	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
9 PRESSURE SWITCH ACTUATION	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
10 BDA SYSTEM IF PRESENT	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
11 GARAGE CO SYSTEM	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
12 FIRE ALARM AC POWER FAILURE	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
13 FIRE ALARM SYSTEM LOW BATTERY	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
14 OPEN CIRCUIT OR GROUND FAULT	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
15	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
16	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

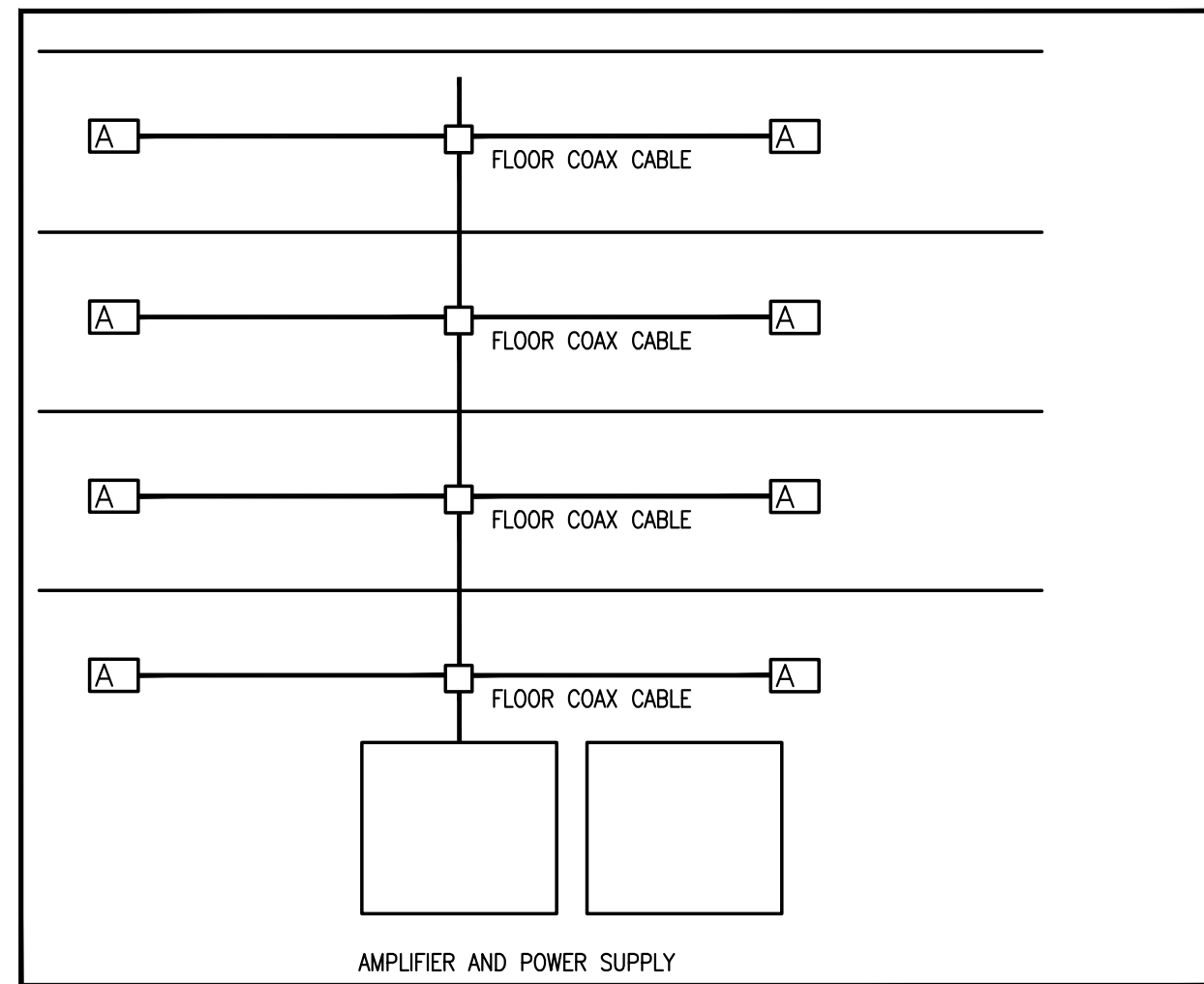
IN RESIDENTIAL BUILDINGS, FOR ALL GAS FIRED VENTILATION/AIR CIRCULATION EQUIPMENT, PROVIDE DUCT MOUNTED CO DETECTOR COMPLETE WITH HOUSING AND SAMPLING TUBE AS MANUFACTURED BY MACURCO CM 15A OR EQUAL AND CONNECT TO FIRE ALARM PANEL VIA MONITOR MODULE

ALL CO DETECTORS MUST "LATCH" AT THE PANEL; THAT IS TO SAY, THE RESPONDER TO A CO DETECTOR SUPERVISORY ALARM MUST BE LEAD TO MITIGATE THE CO ISSUE AT THE DETECTOR AND THEN CLEAR/RESET THE FIRE ALARM PANEL. THIS WILL MEAN THE CO SUPERVISORY ALARM CANNOT BE MITIGATED AT THE POINT LOCATION, BUT REQUIRES A COMPETENT RESPONDER TO ADDRESS THE PANEL IN THE FIRE COMMAND CENTER.

ALARM MONITORING SERVICE RECEIVES A SUPERVISORY CARBON MONOXIDE SIGNAL; THAT IS TO SAY, LITERALLY THE WORDS "CARBON MONOXIDE" MUST BE PRESENT AT ALARM COMPANY, THE LETTERS "CO" ARE NOT ACCEPTABLE.

REGARDLESS SHOWN ON PLANS OR NOT PROVIDE CARBON MONOXIDE DETECTORS AT  
-OUTSIDE EACH BEDROOM WIRED TO SMOKE DETECTOR CIRCUIT AND  
-IN THE ROOM HOUSING THE GAS APPLIANCE. DETECTORS SHALL BE UL LISTED. DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP CO DETECTORS SHALL BE AS MANUFACTURED BY BRK CO 5120BN

PROVIDE ALL NECESSARY STRUCTURE AND RACEWAYS TO BE ABLE TO INSTALL BDA SYSTEM PER IBC 916.1.2&3 UPON COMPLETION OF THE BUILDING AND AFTER ESTABLISHING THE NEED TO INSTALL HEAD END EQUIPMENT OF A BDA SYSTEM TO MEET EMERGENCY SERVICES COMMUNICATION NEEDS AS TO BE DETERMINED BY THE FD.  
PROVIDE ADD ALTERNATE COST FOR ALL HARDWARE COMPONENTS AND INSTALLATION OF FOR EACH BUILDING (EACH BUILDING MAY HAVE DIFFERENT NEEDS) RUN CONDUITS IN 2HR RATED ENCLOSURE. IF EQUIPMENT IS TO BE INSTALLED IT WILL BE HOUSED IN 2HR ENCLOSURE  
CARRY THE COST OF TESTING THE BUILDING UPON COMPLETION OF INTERIOR PARTITIONS



SCHEMATIC BDA SYSTEM DIAGRAM

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08.20.2021

**SOUSA design**  
Architects

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617. 879. 9100



*Wingfield Winkler*

Job # 202114

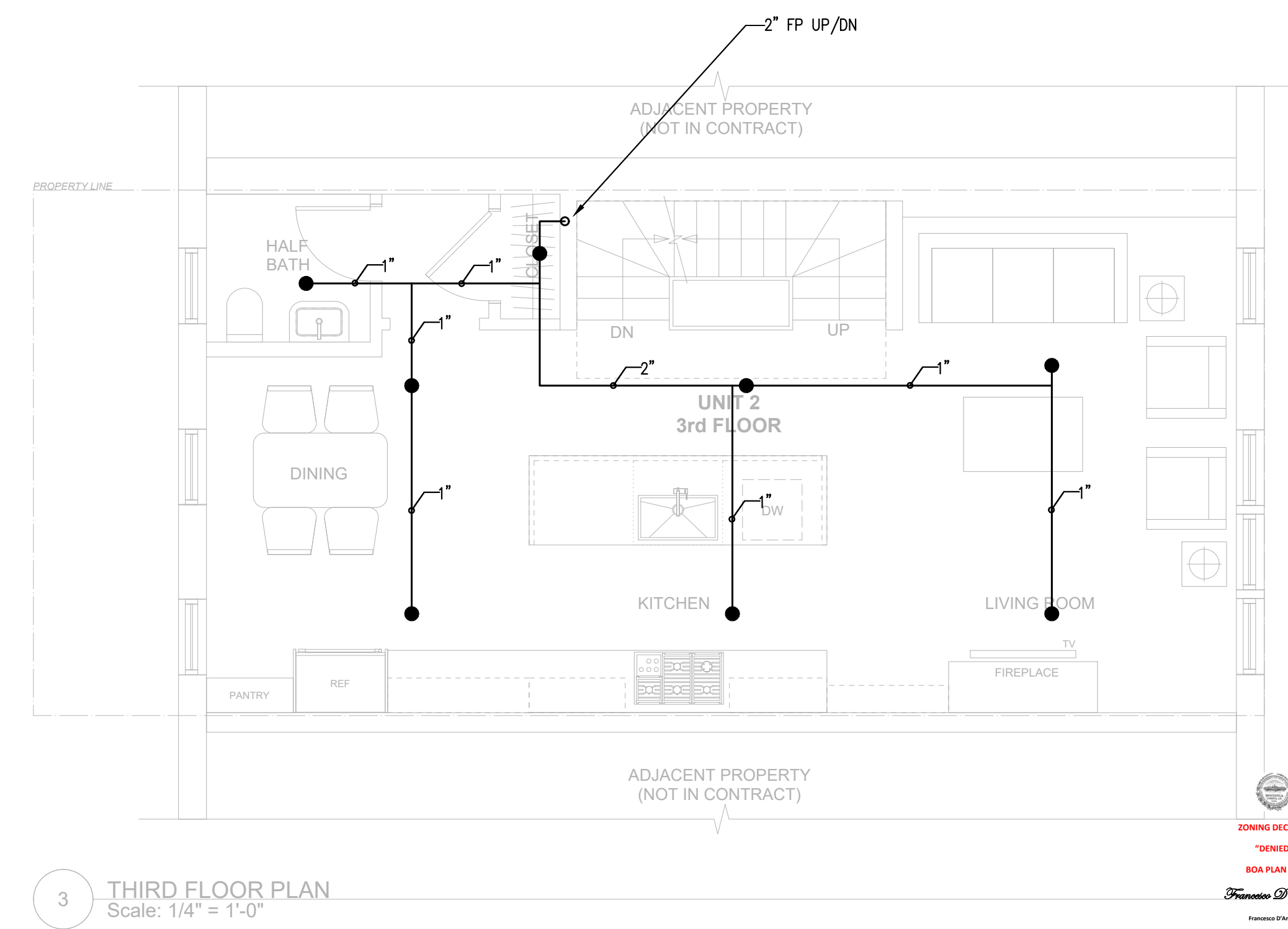
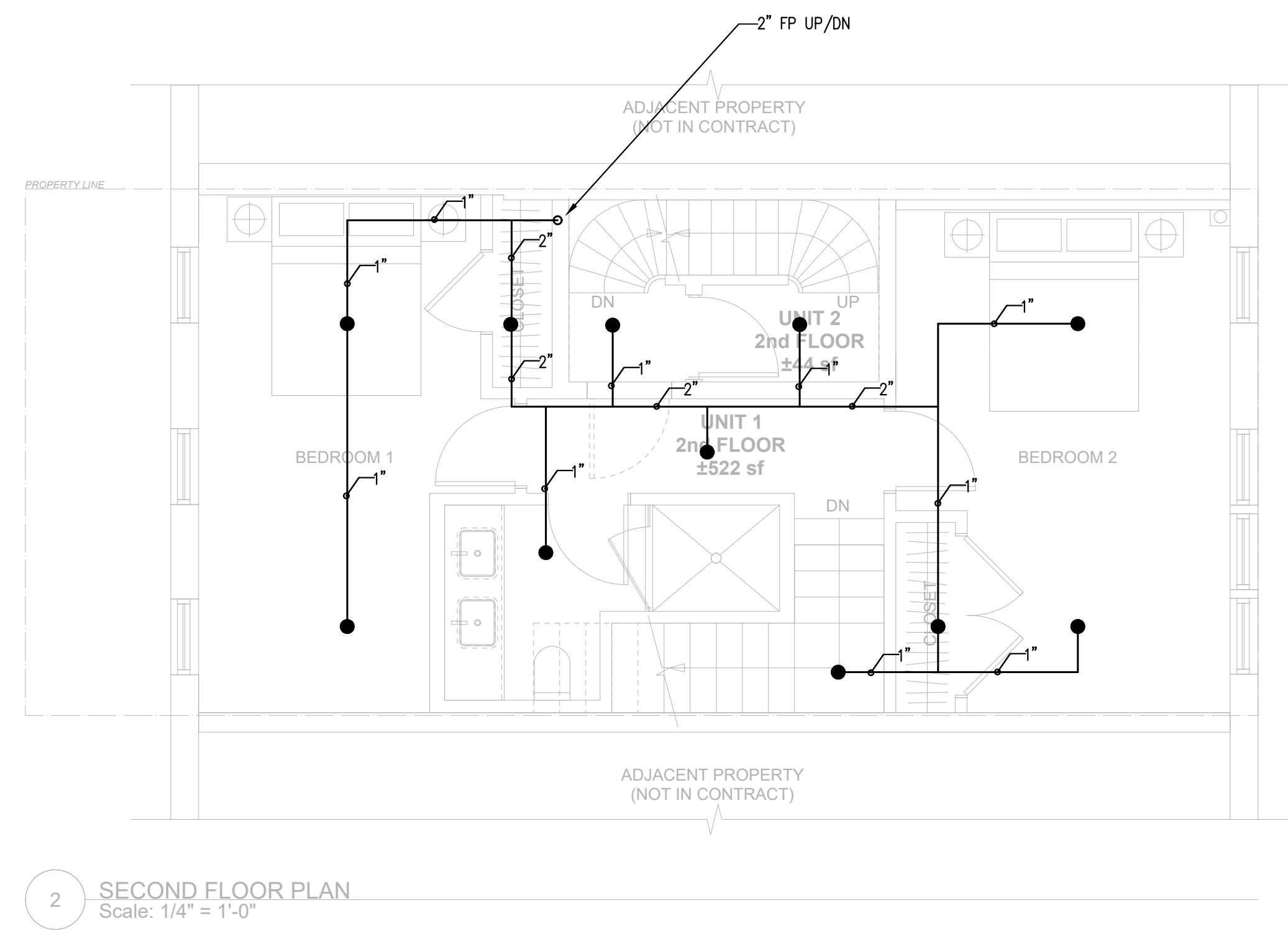
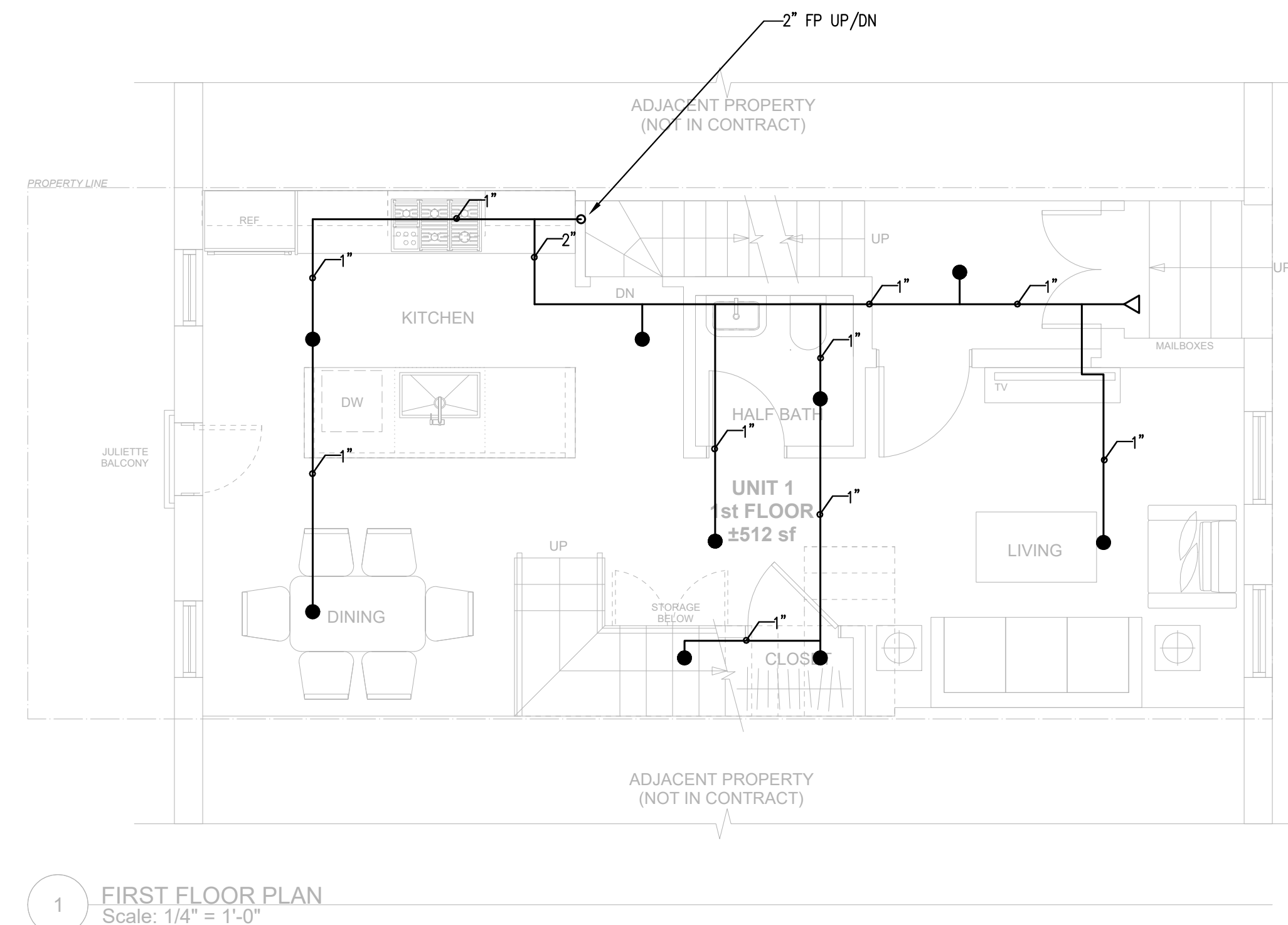
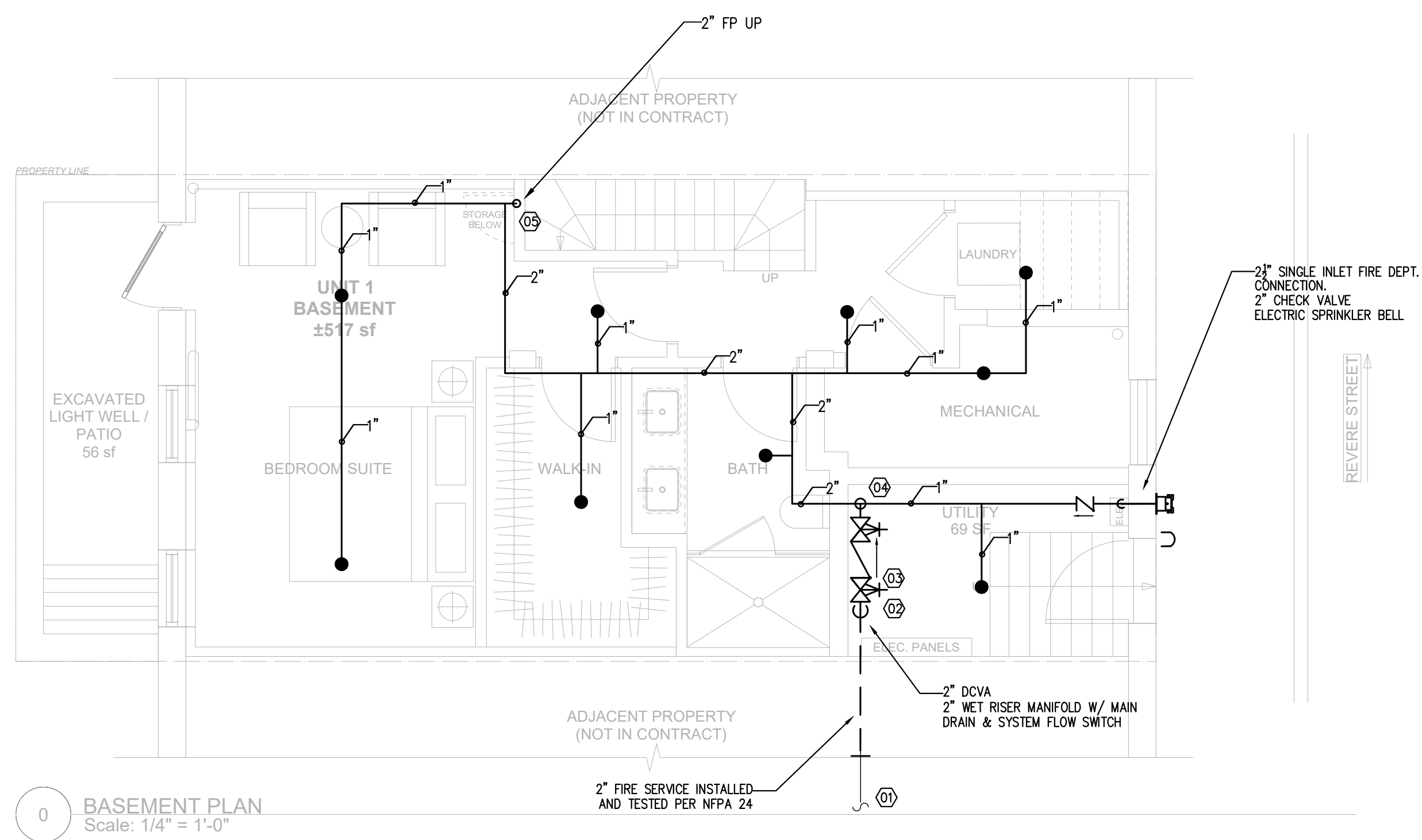
Drawn by OJ Ckd by RC

Date 08.20.2021

Revisions		
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21

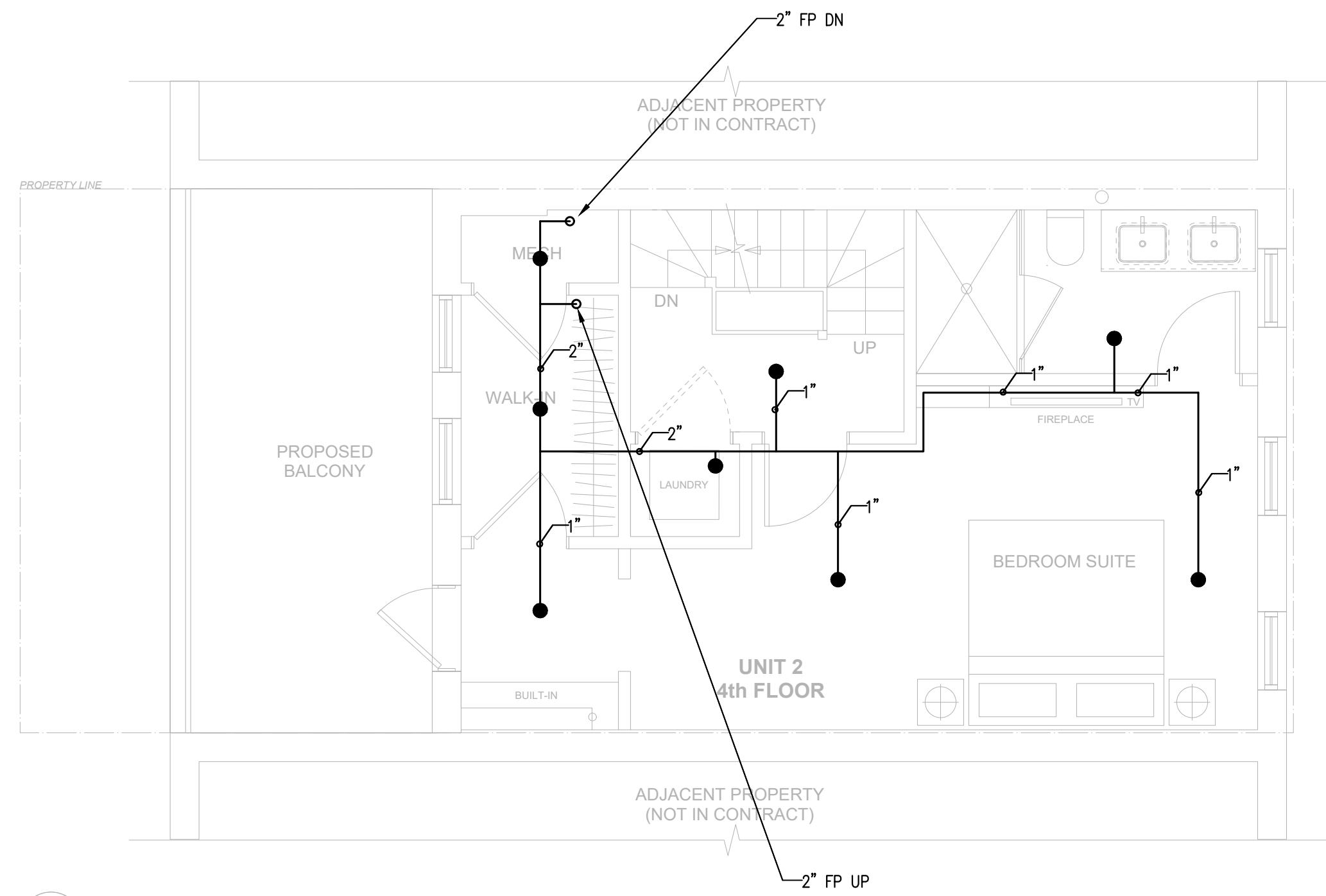
**BASEMENT & FIRST FLOOR FIRE PROTECTION PLANS**

**FP-100**

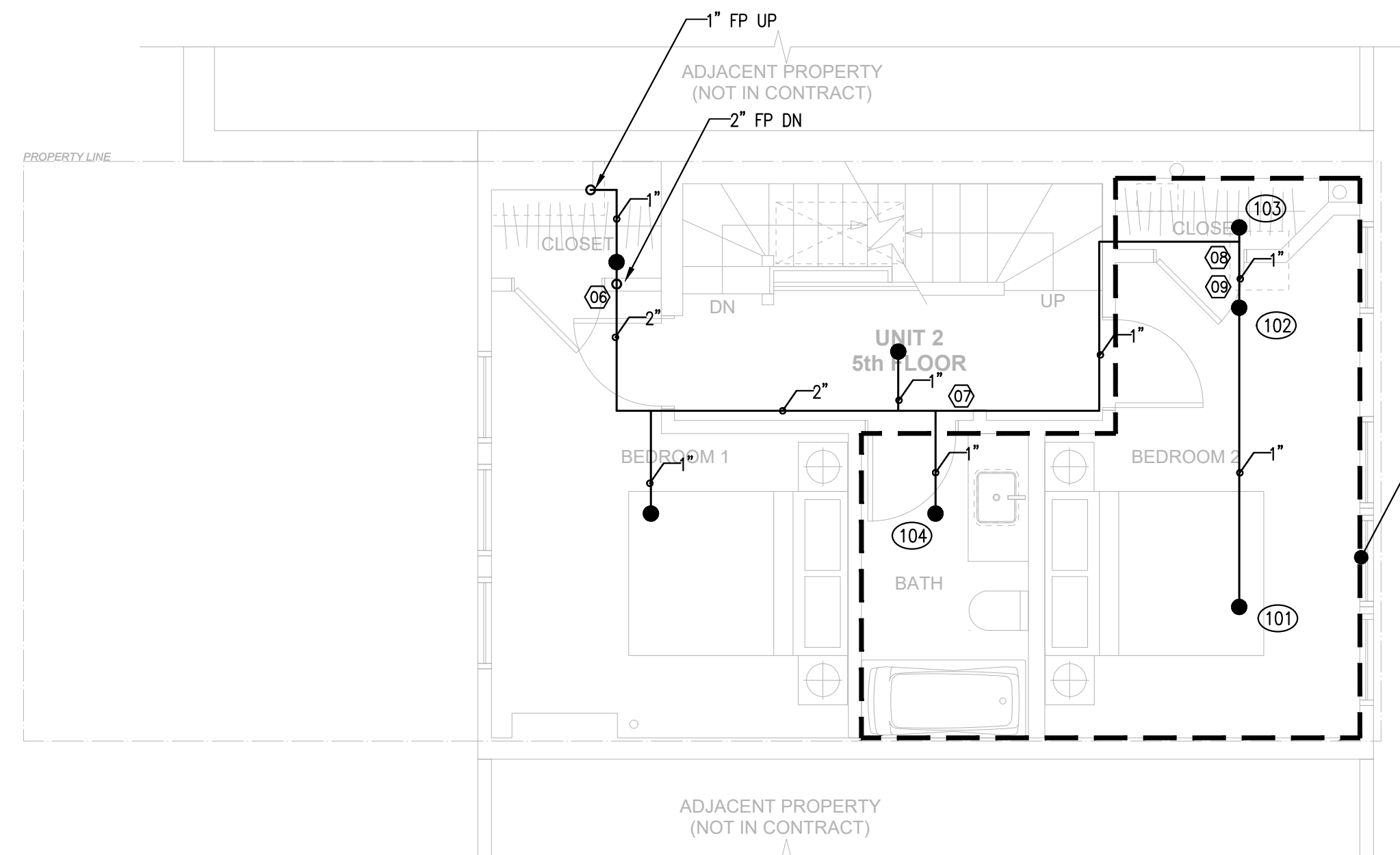


ZONING DECISION  
"DENIED"  
BDA PLAN SET  
Professional Engineer  
Approved Master Plan Engineer  
08/20/2021





5 FOURTH FLOOR PLAN  
Scale: 1/4" = 1'-0"



4 FIFTH FLOOR PLAN  
Scale: 1/4" = 1'-0"

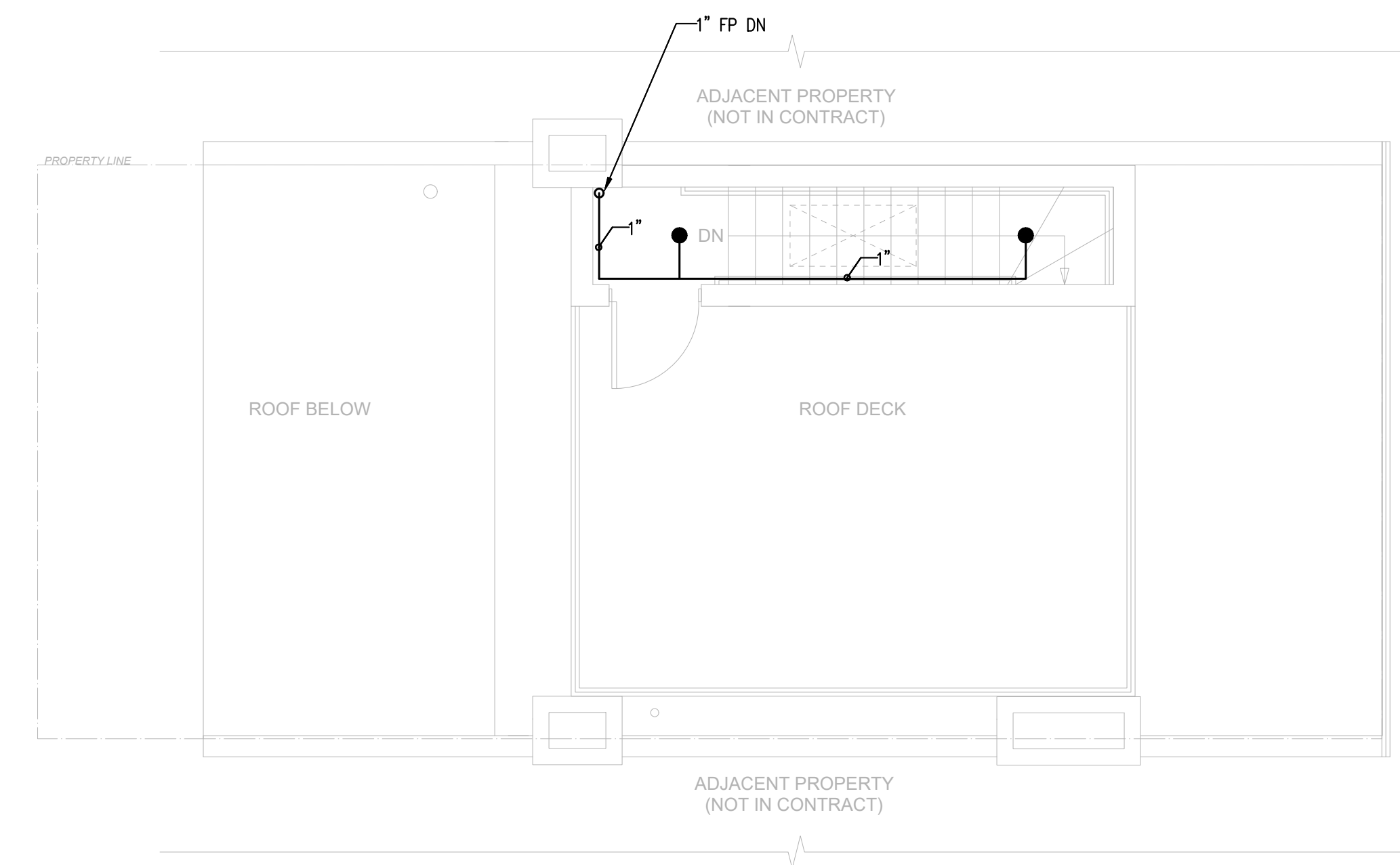
FIFTH FLOOR RESIDENTIAL	
SYSTEM TYPE: AUTOMATIC-WET	
RESIDENTIAL NFPA-13 2013	
DENSITY: .10 GPM/FT2	AREA OF APPLICATION: 198 FT2
PROTECTION AREA 14'x14'	HOSE ALLOWANCE 100 GPM

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6 ROOF PLAN  
Scale: 1/4" = 1'-0"

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*Handwritten signature: Alexander M. Mordale, etc.*

Job # 202114

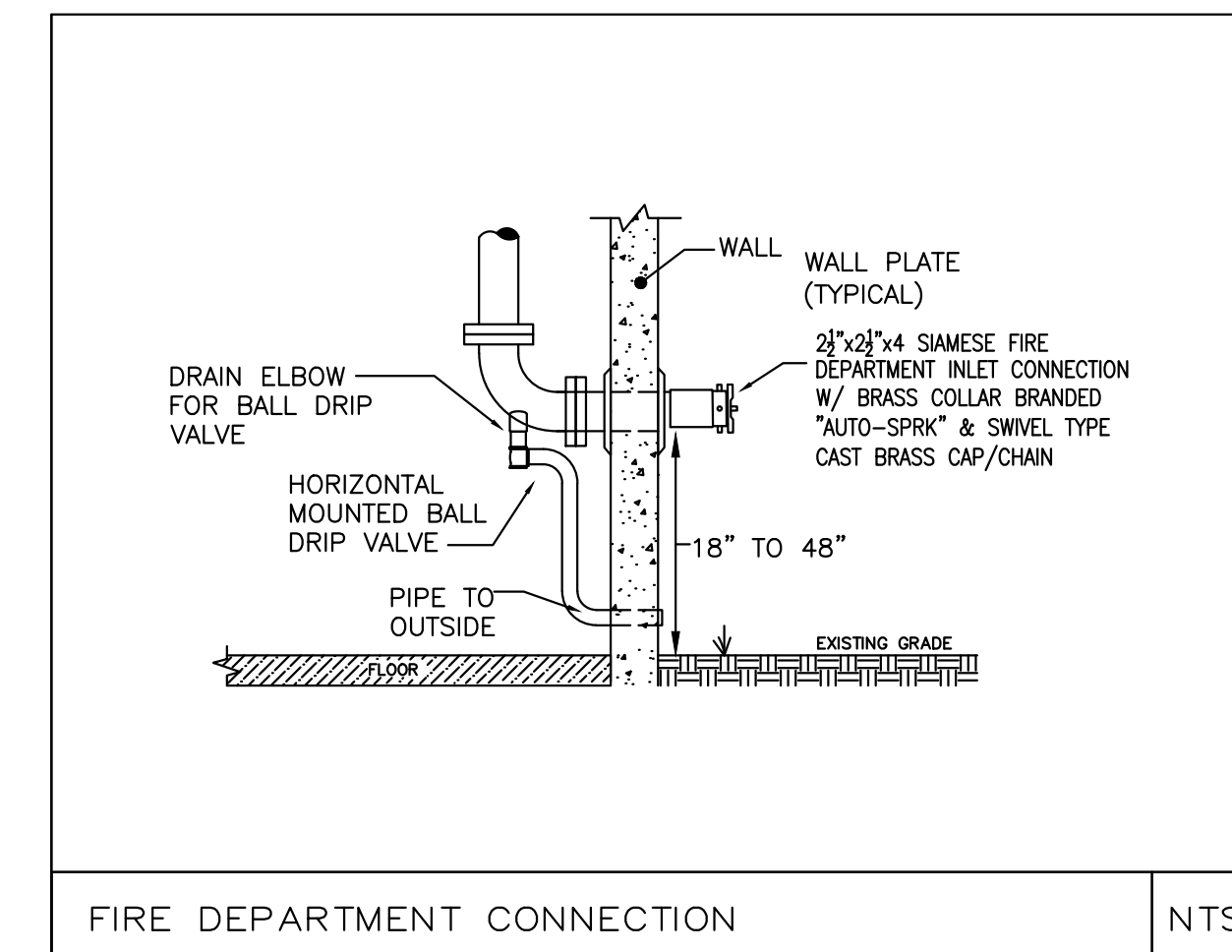
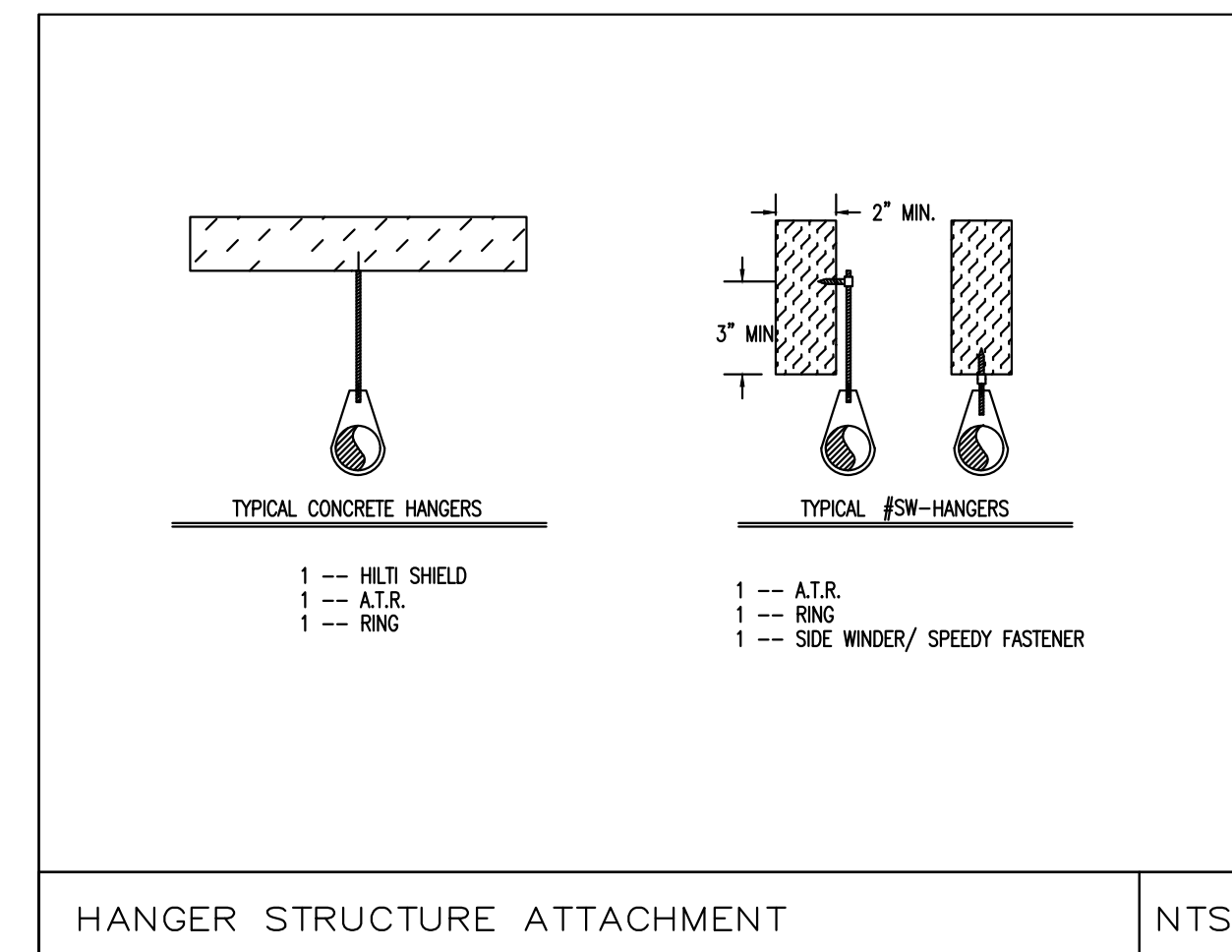
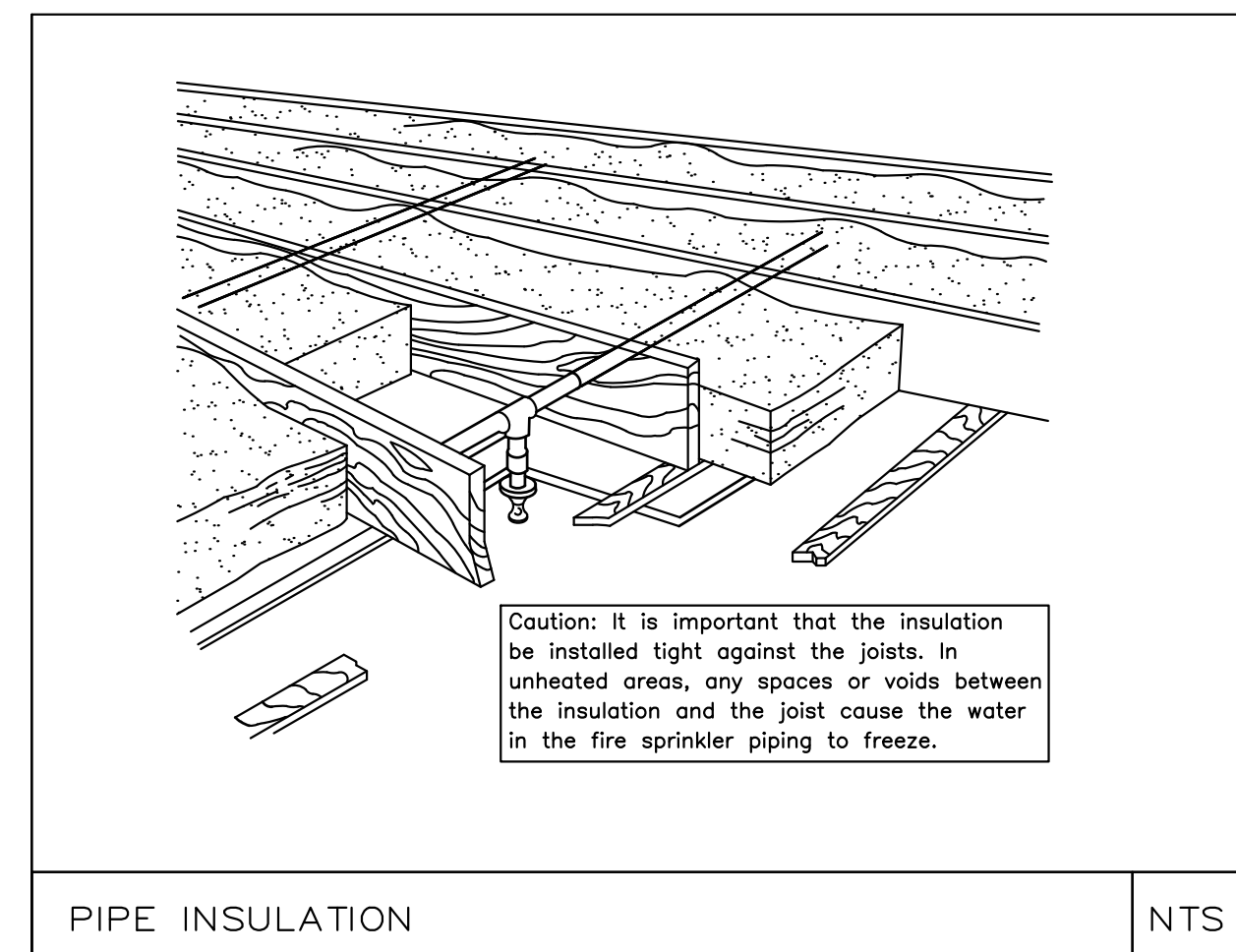
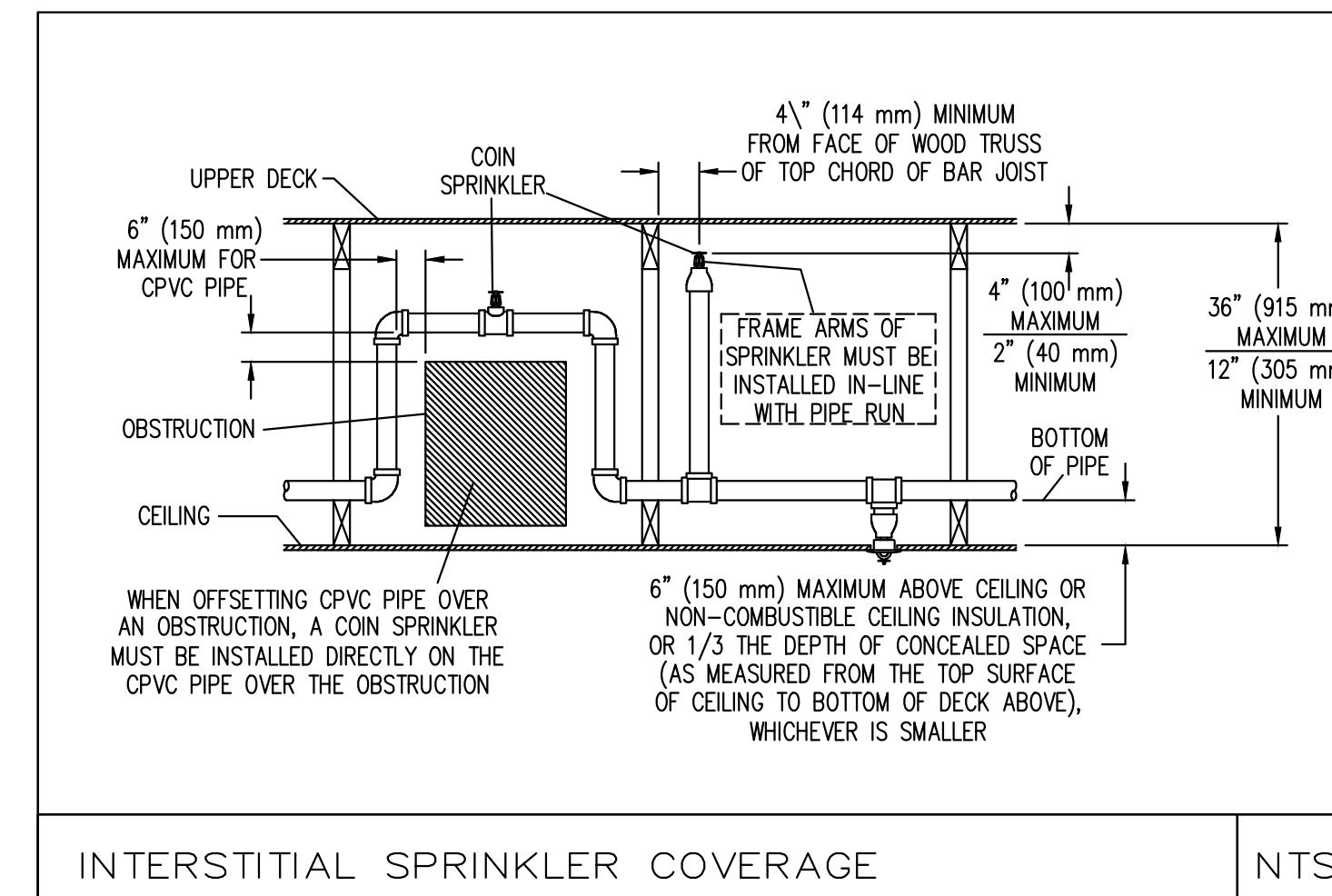
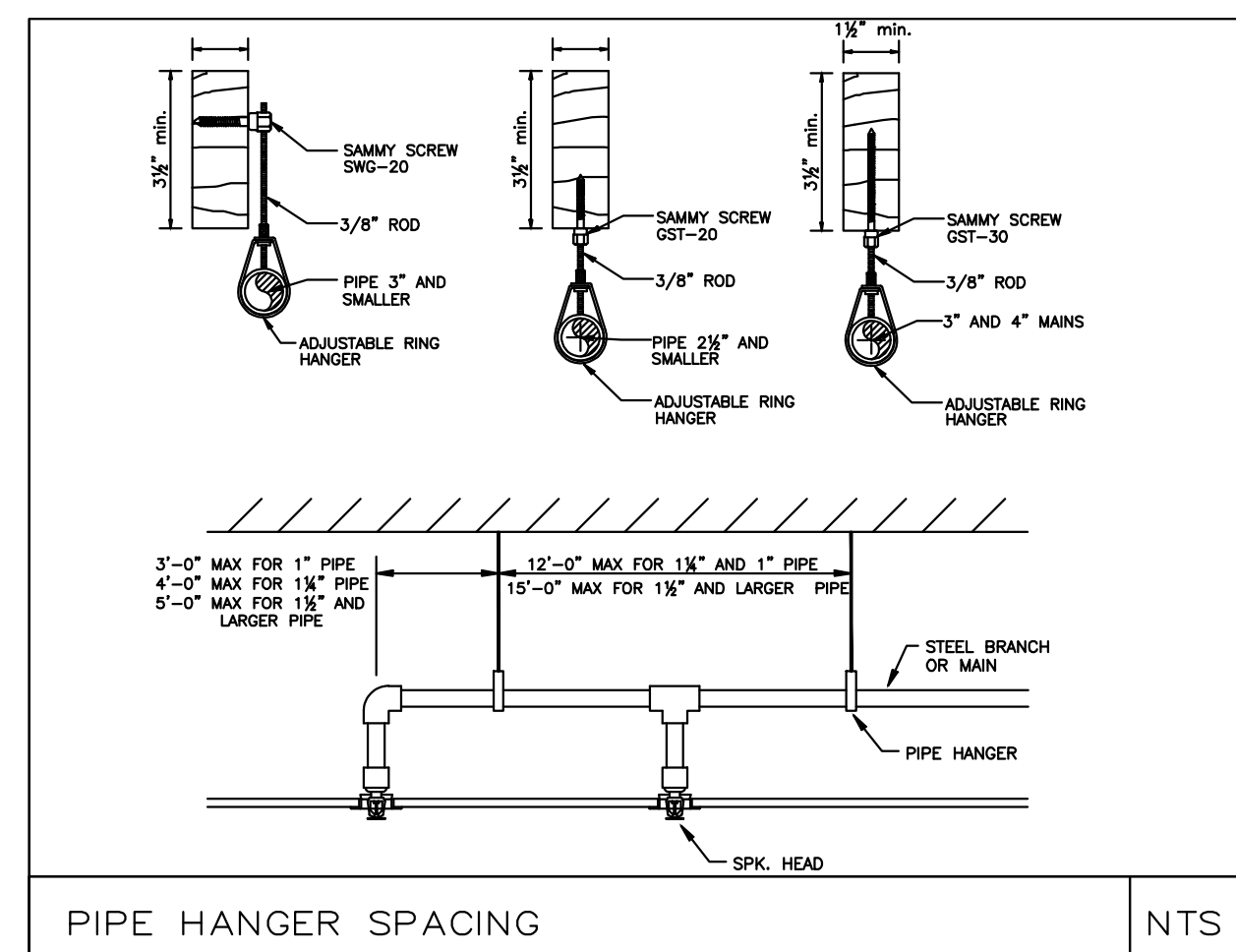
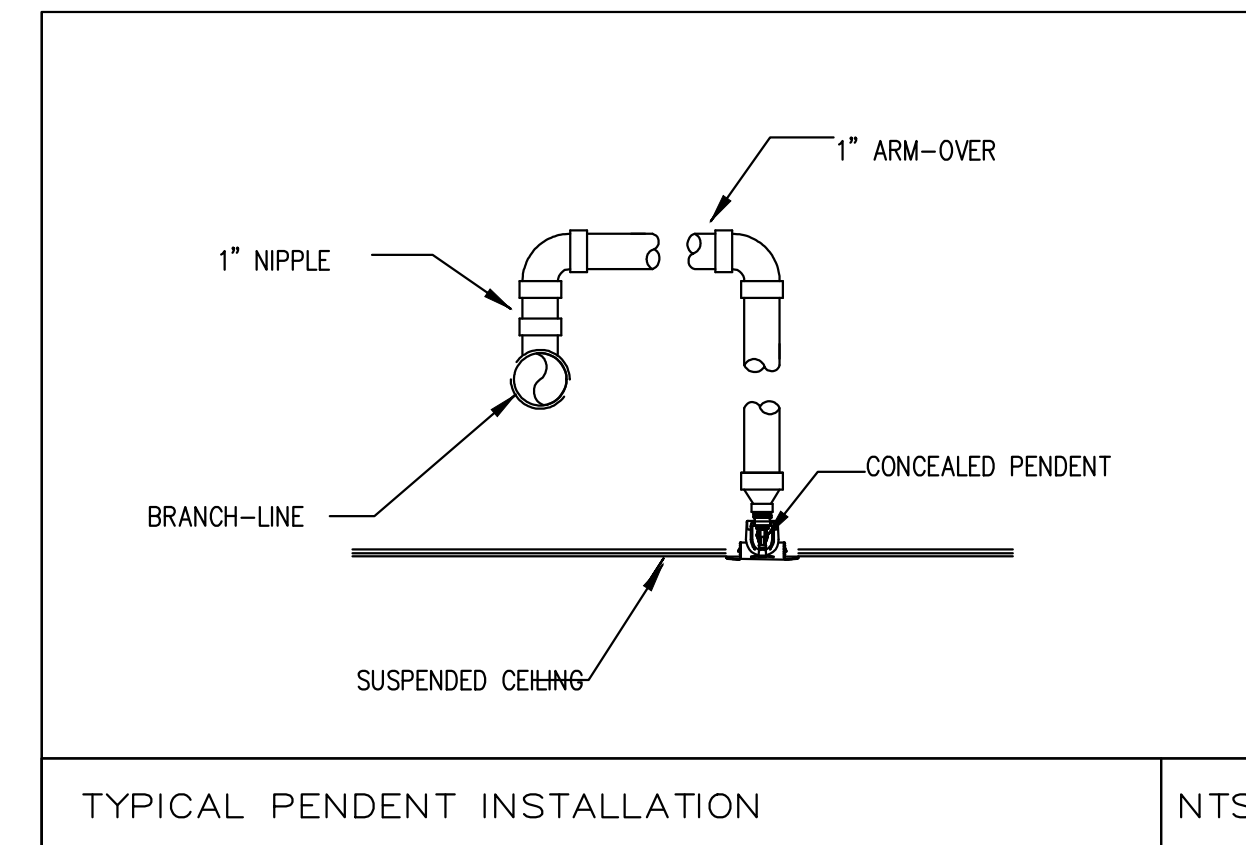
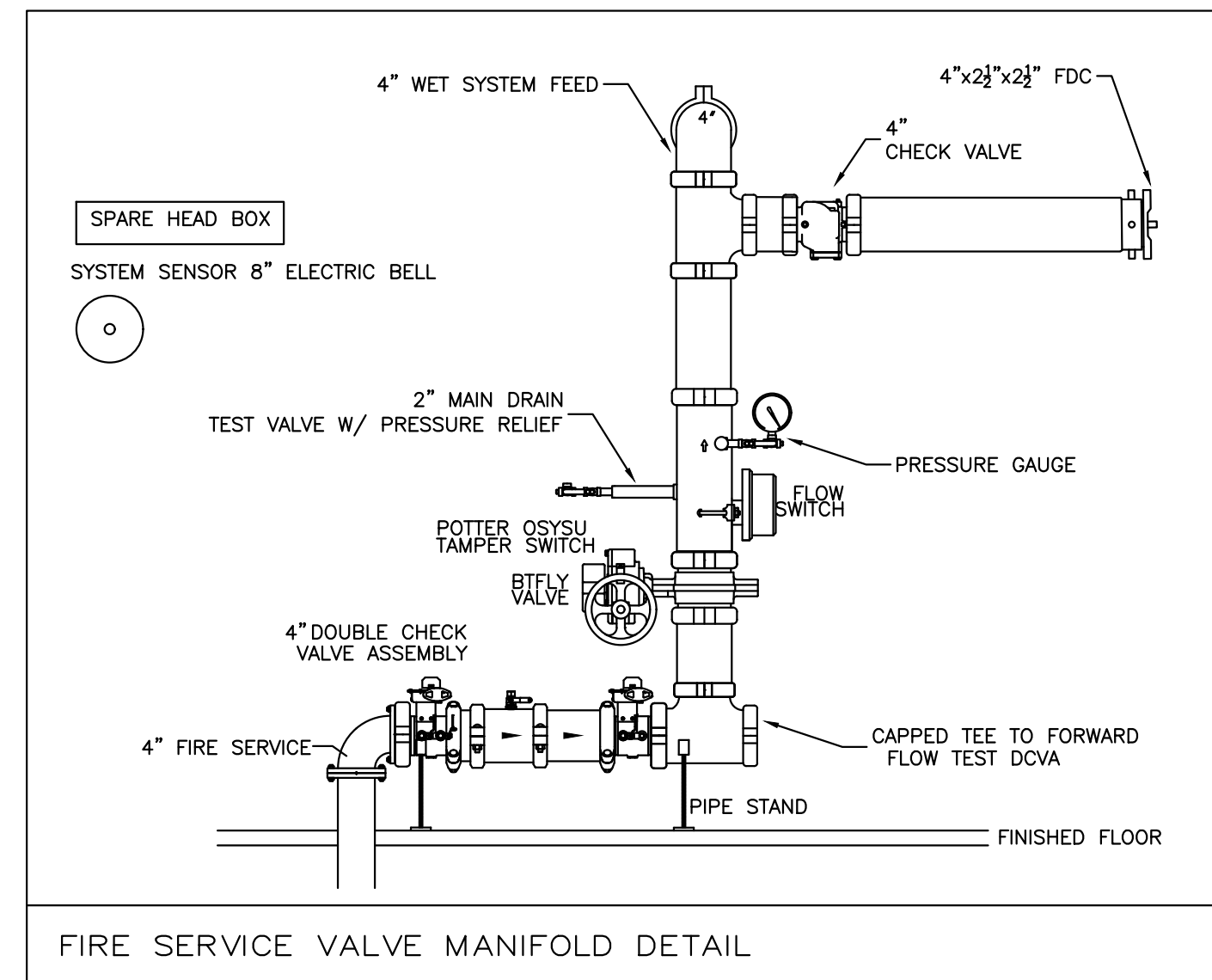
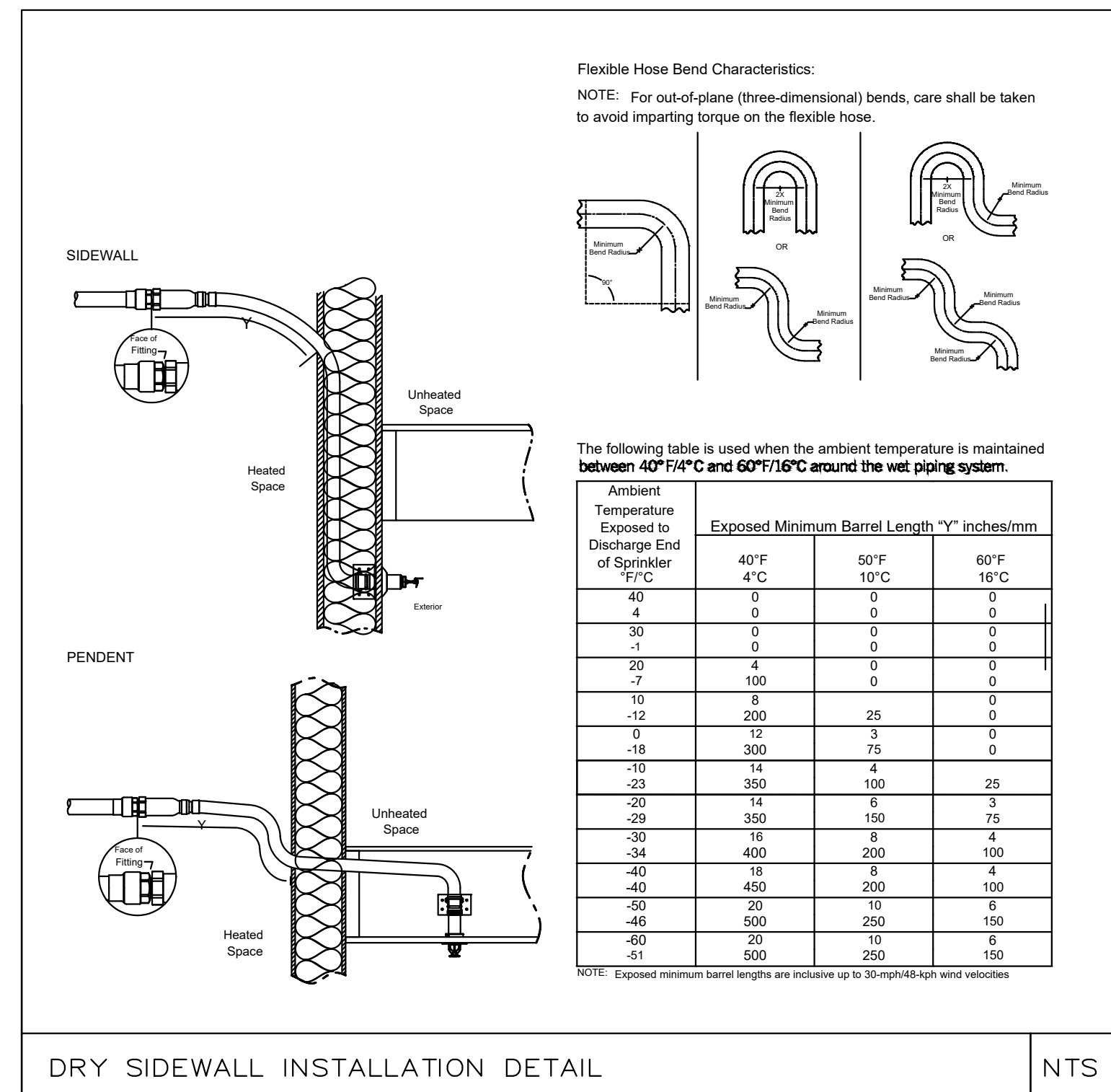
Drawn by OJ Ckd by RC

Date 08.20.2021

Revisions		
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21



**BASEMENT & FIRST  
FLOOR FIRE  
PROTECTION PLANS**



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Date 08.20.2021

Revisions

00 COORDINATION SET 08.04.21

01 ROOF DECK 08.20.21

**FIRE PROTECTION NOTES**

**FP-200**

**DESIGN CRITERIA**

1. THE AUTOMATIC FIRE SUPPRESSION SYSTEM HAS BEEN HYDRAULICALLY SIZED PER NFPA-13R 2013, CMR 780 (9TH) WITH AMENDMENTS
2. SPRINKLER COVERAGE SHALL BE REQUIRED IN AREAS OF THE BUILDING PER NFPA-13R

**PIPE, FITTINGS AND JOINTS**

1. PIPE AND FITTINGS SHALL CONFORM TO THE LATEST ANSI, ASTM, NFPA AND AWWA STANDARDS INCLUDING LATEST AMENDMENTS.
2. SPRINKLER MAINS AND BRANCHES MAY BE LIGHT WALL BLACK STEEL PIPE WITH ROLLED GROOVE TYPE MALLEABLE IRON PIPE COUPLINGS AND FITTINGS WITH GASKETS AND BOLTS AS APPROVED BY THE NATIONAL FIRE PROTECTION ASSOCIATION AND THE UNDERWRITERS' LABORATORIES. SCHEDULE 40 BLACK STEEL PIPE WITH STANDARD WEIGHT MALLEABLE IRON FITTINGS AS APPROVED BY NFPA AND UL MAY BE USED WITH, OR IN LIEU OF, THE SYSTEM DESCRIBED ABOVE. CPVC PIPING MAY BE USED WHERE ALLOWED BY LOCAL & NATIONAL LIFE SAFETY CODES

**HANGERS AND SUPPORTS**

1. HANGERS AND SWAY BRACING WHERE REQUIRED, SHALL BE INSTALLED TO MEET NFPA AND LOCAL STATE BUILDING CODE COMPLIANCE AS TO LOCATION, SPACING, AND MAXIMUM LOADS.
2. HANGER MATERIAL SHALL BE COMPATIBLE WITH PIPING MATERIALS WITH WHICH IT COMES INTO CONTACT.
3. HANGERS SHALL BE INSTALLED, IN ADDITION TO THE ABOVE, AT ALL CHANGES OF DIRECTION (HORIZONTAL AND VERTICAL), VALVES AND EQUIPMENT CONNECTIONS. HANGERS SHALL BE LOCATED SO THAT THEIR REMOVAL IS NOT REQUIRED TO SERVICE, ASSEMBLE OR REMOVE EQUIPMENT.
4. HORIZONTAL RUNS MAY USE BAND HANGERS UP TO 4" SIZE. PIPING LARGER THAN 4" SHALL BE PROVIDED WITH CLEVIS TYPE.
5. ALL RODS, CLAMPS, NUTS, WASHERS, SHIELDS AND HANGERS IN ALL AREAS SHALL BE ELECTRO-GALVANIZED COATED STEEL.

**VALVES AND SUNDRIES**

1. SHUTOFF VALVES ON THE ABOVEGROUND FIRE PROTECTION SYSTEM SHALL BE UL, FM BUTTERFLY OR OS&Y GATE VALVES, AS INDICATED, ON SIZES 2-1/2" AND LARGER, VALVES UP TO 2" SHALL BE UL, FM BALL VALVES. ALL ISOLATION / CONTROL VALVES SHALL BE MONITORED.
2. CHECK VALVES SHALL BE 175-POUND CLASS FOR FIRE PROTECTION.
3. VALVES SHALL BE PROVIDED WITH SEATS SUITABLE FOR THE SERVICE INTENDED.
4. VALVES SHALL BE AS MANUFACTURED BY NIBCO, VICTAULIC, WALLWORTH, MILWAUKEE OR APPROVED EQUAL. MANUFACTURERS MODEL NUMBERS REFERENCED BELOW ARE USED TO INDICATE A TYPE, MATERIAL AND QUALITY TO BE PROVIDED.
5. ALL VALVES SPECIFIED HEREIN SHALL BE UL/FM APPROVED, 175 PSI MINIMUM WORKING PRESSURE. ALL CONTROL VALVES SHALL BE PROVIDED WITH TAMPER SWITCH.

**AUTOMATIC SPRINKLERS**

1. SPRINKLER HEADS: QUICK RESPONSE, BULB TYPE, AND STYLE AS INDICATED OR REQUIRED BY THE APPLICATION. UNLESS OTHERWISE INDICATED.
2. IN ALL OPEN AREAS, WHERE ELECTRICAL EQUIPMENT IS LOCATED, AN APPROVED TYPE SHIELD, TO KEEP WATER OFF THE ELECTRICAL EQUIPMENT, SHALL BE PROVIDED.
3. PROVIDE ALL SPRINKLER HEADS WITH PROTECTIVE CAGE.
4. PROVIDE IN THE VALVE ROOM, A FINISHED STEEL CABINET SUITABLE FOR WALL MOUNTING, WITH HINGED COVER AND SPACE FOR 6 SPARE SPRINKLER HEADS PLUS SPRINKLER HEAD WRENCH.

**SPRINKLER SHOP DRAWINGS**

1. CONTRACTOR SHALL SUBMIT ENGINEERED TIER II SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION. SHOP DRAWINGS AND HYDRAULIC CALCULATIONS SHALL BE DETAILED PER NFPA-13R REQUIREMENTS FOR WORKING DRAWINGS-FINAL AFFIDAVITS CANNOT BE ISSUED WITHOUT APPROVED SHOP DRAWINGS
2. HYDRAULIC CALCULATIONS SHALL ACCOUNT FOR ALL OFFSETS IN THE SYSTEM BASED ON A 100% COORDINATED SET. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL STRUCTURAL AND ARCHITECTURAL FEATURES PRESENT

**FLUSHING AND TESTING**

1. ALL LABOR, MATERIALS, INSTRUMENTS, DEVICES AND POWER REQUIRED FOR TESTING SHALL BE PROVIDED BY THIS CONTRACTOR. THE TESTS SHALL BE PERFORMED IN THE PRESENCE AND TO THE SATISFACTION OF THE ENGINEER, GENERAL CONTRACTOR AND THE LOCAL FIRE DEPARTMENT AND SUCH OTHER PARTIES, AS MAY HAVE LEGAL JURISDICTION. NO PIPING IN ANY LOCATION SHALL BE CLOSED UP, FURRED IN, OR COVERED BEFORE TESTING.
2. WHERE PORTIONS OF PIPING SYSTEMS ARE TO BE COVERED OR CONCEALED BEFORE COMPLETION OF THE PROJECT, THOSE PORTIONS SHALL BE TESTED SEPARATELY IN THE MANNER SPECIFIED HEREIN FOR THE RESPECTIVE ENTIRE SYSTEM.
3. ANY PIPING OR EQUIPMENT THAT HAS BEEN LEFT UNPROTECTED AND SUBJECT TO MECHANICAL OR OTHER INJURY IN THE OPINION OF THE GENERAL CONTRACTOR SHALL BE RE TESTED IN PART OR IN WHOLE AS DIRECTED.
4. THE ENGINEER RETAINS THE RIGHT TO REQUEST A RECHECK OR RESETTING OF ANY PUMP OR INSTRUMENT BY THIS CONTRACTOR DURING THE GUARANTEE PERIOD AT NO ADDITIONAL COST TO THE CONTRACTOR.
5. REPAIR, OR IF DIRECTED, REPLACE ANY DEFECTIVE WORK WITH NEW WORK WITHOUT EXTRA CHARGE TO THE CONTRACT. REPEAT TESTS AS DIRECTED, UNTIL THE WORK IS PROVEN TO MEET THE REQUIREMENTS SPECIFIED HEREIN.
6. RESTORE TO ITS FINISHED CONDITION ANY WORK, DAMAGED OR DISTURBED, PROVIDED BY OTHER CONTRACTORS AND ENGAGE THE ORIGINAL CONTRACTOR TO DO THE WORK OF RESTORATION OR DISTURBED WORK.
7. THIS CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND ANY INSPECTORS HAVING JURISDICTION, A MINIMUM OF 48 HOURS IN ADVANCE OF MAKING ANY REQUIRED TESTS SO THAT ARRANGEMENTS MAY BE MADE FOR THEIR PRESENCE TO WITNESS HIS SCHEDULED TESTS.
8. TESTING SHALL BE IN ACCORDANCE WITH NFPA-13R "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS".
9. EACH SYSTEM SHALL BE TESTED TO A HYDROSTATIC PRESSURE OF 200 PSI FOR TWO HOURS.
10. FLUSHING OF ALL BURIED SUPPLY PIPING SHALL BE PERFORMED AT A MINIMUM RATE OF 680 GPM FOR SYSTEMS WITH A 4" SERVICE.
11. ALL WATER FLOW DETECTING DEVICES AND CIRCUITS SHALL BE FLOW TESTED THROUGH THE INSPECTOR'S TEST CONNECTION AND ACTIVATE WITHIN FIVE MINUTES OF INITIATION.
12. FIRE PROTECTION CONTRACTOR SHALL OBTAIN RECENT HYDRANT FLOW TEST RESULTS FOR THE USE OF PREPARING WORKING DRAWINGS PER NFPA-13R
13. SPRINKLER FLOW TEST DISCHARGE AND FLUSHING WATER DISCHARGE SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND THE LOCAL FIRE DEPARTMENT OR PUBLIC WORKS AS TO ACCEPTABLE DISCHARGE POINTS PRIOR TO SCHEDULING OF FLUSHING AND TESTS. THIS CONTRACTOR SHALL PROVIDE ALL HOSE AND EQUIPMENT NECESSARY TO PERFORM THE REQUIRED TESTING AND FLUSHING.

**AS BUILT DRAWINGS AND CONTRACTOR CERTIFICATES**

1. CONTRACTOR SHALL HAVE ON HAND, AT TIME OF FINAL INSPECTION BY THE AUTHORITY HAVING JURISDICTION, FOR TEMPORARY / FINAL CERTIFICATE OF OCCUPANCY, ALL COMPLETED CERTIFICATES OF MATERIAL AND TESTING FOR ABOVEGROUND AND UNDERGROUND PIPING AS WELL AS THE AS- BUILT DRAWINGS OF THE FIRE PROTECTION INSTALLATION.
2. PROVIDE RED-LINE TIER III AS BUILT RECORD DRAWINGS TO ZADE ASSOCIATES FOR REVIEW & APPROVAL AS A CONDITION OF FINAL AFFIDAVIT

**PATCHING, REPLACEMENT AND MODIFICATION OF EXISTING WORK**

1. AFTER INSTALLATION OF PIPELINES, THE CONTRACTOR SHALL NEATLY PATCH, REPAIR, AND/OR REPLACE EXISTING WORK WHERE DAMAGED, REMOVED OR ALTERED FOR PIPE LINE INSTALLATION. THIS WORK SHALL BE SIMILAR AND EQUAL IN QUALITY TO THE WORK REMOVED OR DAMAGED, UNLESS OTHERWISE SHOWN OR SPECIFIED. SUCH WORK SHALL INCLUDE PATCHING AND REPLACEMENT OF EXISTING PIPING AT POINTS OF CONNECTION TO NEW PIPING, PATCHING OF INSULATION, AND WHEREVER ANY SUCH PATCHING WORK IS INDICATED ON THE DRAWINGS OR OTHERWISE REQUIRED.

**INSTALLATION**

1. GENERAL: INSTALL FIRE PROTECTION SPECIALTY VALVES, FITTINGS, AND SPECIALTIES IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS, NFPA-13R (2013) AND THE AUTHORITY HAVING JURISDICTION.
2. USE PROPER TOOLS TO PREVENT DAMAGE DURING INSTALLATIONS.
3. ALL PENDENT MOUNTED SPRINKLERS SHALL BE INSTALLED ON RETURN BENDS.
4. ALL SPRINKLERS INSTALLED IN ACOUSTICAL CEILING TILES SHALL BE CENTERED IN TILES WHERE APPLICABLE.
5. COORDINATE AND VERIFY DRAFT CURTAINS ARE INSTALLED AS REQUIRED BY SPRINKLER HEAD SPECIFICATIONS

**FIRE PROTECTION SPECIFICATION**

**FIRE PROTECTION SPECIFICATION**

1. BEFORE BIDDING THE JOB, CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING CONDITIONS. REPORT ADVERSE CONDITIONS IN WRITING TO ARCHITECT/ENGINEER
2. SPRINKLER PIPING SHALL BE
  - A. SCH.10/40 BLACK STEEL WITH 125 LB. CAST IRON THREADED/GROOVED JOINTS WHERE EXPOSED. USED FOR VALVE TRIM, SYSTEM DRAINS OR OTHER ANGLIARY SYSTEM COMPONENT
  - B. CPVC SHALL BE PERMITTED FOR USE WHERE INSTALLED CONCEALED AND IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS, BE LISTED FOR FIRE PROTECTION AND SHALL EMPLOY FITTINGS FROM THE SAME MANUFACTURER
3. SPRINKLER HEADS IN COMMON AREAS SHALL BE QUICK RESPONSE CONCEALED TYPE MANUFACTURED BY VIKING OR EQUAL. WITHIN UNITS THEY WILL BE RESIDENTIAL CONCEALED TYPE.
4. APPLY AND OBTAIN PERMIT AND APPROVAL FROM LANDLORD'S INSURANCE COMPANY, FIRE DEPARTMENT AND STATE AND LOCAL AUTHORITIES.
5. COORDINATE WITH ARCHITECT AND ARCHITECTURAL REFLECTED CEILING PLAN FOR THE LOCATION OF SPRINKLER HEADS.
6. COORDINATE SPRINKLER WORK WITH OTHER DISCIPLINES. SINCE PERFORMANCE OF SPRINKLER SYSTEM IS AFFECTED BY OBSTRUCTIONS AND NOT OTHER WAY AROUND, THIS CONTRACTOR SHALL COORDINATE ALL LIGHTING FIXTURE LOCATIONS AND TYPES AND OTHER OBSTRUCTIONS PRIOR TO ANY WORK DONE.
7. THE SYSTEM SHALL BE HYDROSTATICALLY TESTED AT NOT LESS THAN 200 PSI PRESSURE FOR 2 HOURS. THERE WILL BE NO VISIBLE LEAKAGE WHEN THE SYSTEM IS SUBJECTED TO THE HYDROSTATIC PRESSURE TEST.
8. GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM THE DATE OF ACCEPTANCE.

**PREPARATION OF SHOP DRAWINGS:**

PER 780CMR 901.2.1  
 SPRINKLER CONTRACTOR SHALL PREPARE TIER II SHOP DRAWINGS INCLUDING PIPING & HYDRAULIC CALCULATIONS, AND SHALL SUBMIT TO THE ENGINEER FOR APPROVAL PRIOR TO THE START OF WORK. ENGINEER SHALL CERTIFY SYSTEM INSTALLATION FOR CODE COMPLIANCE AT PROJECT COMPLETION.

**FLOW TEST DATA**

STATIC	-----	60	PSI
RESIDUAL	-----	55	PSI
FLOW	-----	1248	GPM

TEST DATE: TBD  
 TEST TIME: TBD  
 TEST LOCATION: TBD

**FIRE PROTECTION ABBREVIATIONS**

DSW	DRY SIDEWALL
DCVA	DOUBLE CHECK VALVE ASSEMBLY
DIA	DIAMETER
DR	DRAIN
ETR	EXISTING TO REMAIN
FHV	FIRE HOSE VALVE
IT	INTERMEDIATE TEMPERATURE
FP	FIRE PROTECTION
FS	FLOW SWITCH
SP	STANDPIPE
GV	GATE VALVE
GAL	GALLONS
GALV	GALVANIZED
GPM	GALLONS PER MINUTE
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
DN	PIPE DROP
PSI	POUNDS PER SQUARE INCH
PRV	PRESSURE REDUCING VALVE
RV	RELIEF VALVE
SPK	SPRINKLER
TS	TAMPER SWITCH
UP	PIPE RISE
VIF	VERIFY IN FIELD

**FIRE PROTECTION LEGEND**

SYMBOL	DESCRIPTION
	SUPERVISED BUTTERFLY VALVE
	DOUBLE CHECK VALVE ASSEMBLY
	SUPERVISED OS&Y GATE VALVE
	FLOW ALARM SWITCH
	SPRINKLER ZONE CONTROL ASSEMBLY (SEE DETAIL)
	PUMP (FIRE OR JOCKEY)
	DRY ALARM VALVE
	WET ALARM VALVE
	CHECK VALVE
	DRAIN VALVE
	FIRE VALVE ASSEMBLY 2-1/2"W X 2-1/2" X 1-1/2"
	HYDRAULIC JUNCTION POINT
	HYDRAULIC DISCHARGE NODE
	BURIED SERVICE PIPING
	ABOVE GROUND FP SYSTEM PIPING

**FIRE SPRINKLER LEGEND**

SOME SYMBOLS MAY NOT BE USED

SYM	POSITION	FINISH	TEMP	K	NPT	SIN
	UPRIGHT	BRASS	155°	5.60	1/2"	EQ
	UPRIGHT	BRASS	200°	5.60	1/2"	EQ
	PENDENT	CONCEALED	155°	5.60	1/2"	EQ
	RES PENDENT	CONCEALED	155°	5.80	1/2"	VK494/EQ
	RES PENDENT	CONCEALED	200°	5.80	1/2"	VK494/EQ
	DRY PENDENT	CONCEALED	155°	5.60	1/2"	EQ
	STD SIDEWALL	CONCEALED	155°	5.60	1/2"	EQ
	RES SIDEWALL	CONCEALED	155°	4.00	1/2"	VK480
	DRY SIDEWALL	CONCEALED	155°	11.2	3/4"	TY5339

**NFPA-13R 2013 DESIGN CRITERIA**

THE SPRINKLER SYSTEM SHALL PROVIDE AT LEAST THE FLOW REQUIRED TO PRODUCE A MINIMUM DENSITY OF 0.05 gpm/sf OR THE LISTING OF THE SPRINKLER HEAD WHICHEVER IS GREATER, TO THE DESIGN SPRINKLERS.

THE NUMBER OF SPRINKLERS IN THE DESIGN AREA SHALL BE ALL OF THE SPRINKLERS WITHIN A COMPARTMENT, UP TO A MAXIMUM OF FOUR SPRINKLERS, THAT REQUIRE THE GREATEST HYDRAULIC DEMAND.

SPRINKLER HEADS IN KITCHENS AND W/D ROOMS TO BE 175F

RESIDENTIAL SPRINKLERS SPACED MAXIMUM 8' FROM ANY WALL

**SPRINKLER COVERAGE REQUIREMENTS**

BASED ON NFPA-13R

- 1) SPRINKLER SHALL NOT BE REQUIRED IN BATHROOMS OF 55 SF AND LESS.
- 2) SPRINKLER SHALL NOT BE REQUIRED IN CLOTHES CLOSETS, LINEN CLOSETS, AND PANTRY THAT MEET THE FOLLOWING CONDITIONS:
  - A) THE AREA OF THE SPACE DOES NOT EXCEED 24 SF.
  - B) THE SHORTEST DIMENSION DOES NOT EXCEED 3 FT.
  - C) THE WALLS AND CEILINGS ARE SURFACED WITH NON-COMBUSTIBLE OR LIMITED COMBUSTIBLE AS DEFINED BY NFPA-220.
- 3) SPRINKLER SHALL NOT BE REQUIRED IN COVERED, UNHEATED PROJECTIONS OF THE BUILDING AT ENTRANCE/EXITS AS LONG AS THE DWELLING UNIT HAS ANOTHER MEANS OF EGRESS.
- 4) SPRINKLER SHALL NOT BE REQUIRED IN CLOSETS IN GARAGE AND EXTERIOR CLOSETS (REGARDLESS OF SIZE) LOCATED ON EXTERIOR BALCONIES, EXTERIOR BREEZEWAY/CORRIDORS, OR ACCESSED FROM OUTDOOR WHERE THE CLOSET DOES NOT HAVE DOORS OR UNPROTECTED PENETRATIONS DIRECTLY INTO THE DWELLING UNIT.
- 5) SPRINKLER SHALL BE INSTALLED IN ANY CLOSET USED FOR HEATING AND/OR AIR-CONDITIONING EQUIPMENT, WASHERS AND/OR DRYERS, OR WATER HEATERS EXCEPT AS ALLOWED BY 8.3.8. (SEE NOTE #4 ABOVE)
- 6) SPRINKLERS SHALL NOT BE REQUIRED IN COMBUSTIBLE FLOOR/CEILING ASSEMBLIES

**FIRE PROTECTION MATERIAL SCHEDULE**

SYSTEM	PIPE				FITTINGS				JOINTS												
	BLAZEMASTER CPVC	COPPER UNDERGROUND	EXTRA HEAVY CAST IRON	STEEL SCHED 10	STEEL SCHED 30	STEEL SCHED 40	STEEL SCHED 80	BLACK	GALVANIZED	CEMENT LINED	MALLEABLE IRON	BLAZEMASTER CPVC MECHANICAL	BLACK	GALVANIZED	VICTAULIC	LISTED COPPER	THREADED	MECH-JOINT-FLANGED	GROOVED	SLIP	
NOTES:	1. COMPONENT PRESSURE RATING PER MANUFACTURER																				
	2. EXPOSED CPVC PROHIBITED																				
	3. ALL PIPE NOT NORMALLY FILLED WITH WATER SHALL BE SCH. 40 BLACK																				
BURIED BUILDING FIRE SERVICE	●																				
RESIDENTIAL CROSS MAINS	●																				
RESIDENTIAL BRANCH LINES	●																				
ARM-OVER & DROPS	●																				
SPRINKLER DRAIN PIPE																					

67 REVERE STREET

67 Revere Street  
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ALL DRAWINGS, SPECIFICATIONS AND ARCHITECTURAL DESIGNS ARE THE PROPERTY OF SOUSA DESIGN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK, AND SHALL EXCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

EACH CONTRACTOR SHALL SUBMIT TO SOUSA DESIGN ARCHITECTS OR THE OWNER FOR APPROVAL: SHOP DRAWINGS, SAMPLES, CUTS OF ALL THE ITEMS TO BE INCLUDED IN THE WORK, PRIOR TO CONSTRUCTION. ALL ITEMS TO BE INCLUDED SHALL BE APPROVED FOR USE IN THE CITY OF BOSTON AND SHALL HAVE AN ASTM AND UL NUMBER WHEN SUCH ITEMS REQUIRE THIS DESIGNATION. EACH CONTRACTOR SHALL CO-ORDINATE HIS WORK WITH ALL OTHER CONTRACTORS.

THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS.

ISSUED FOR:  
 COORDINATION ONLY  
 08.20.2021

**SOUSA design**  
 Architects

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*Matthew Wadsworth*

Job #: 202114

Drawn by: OJ Ckd by: RC

Date: 08.20.2021

Revisions		
00	COORDINATION SET	08.04.21
01	ROOF DECK	08.20.21



**FIRE PROTECTION  
 DETAILS**

**FP-201**