

PROPOSED ROOF DECK

112 PINCKNEY STREET, BOSTON, MA 02114

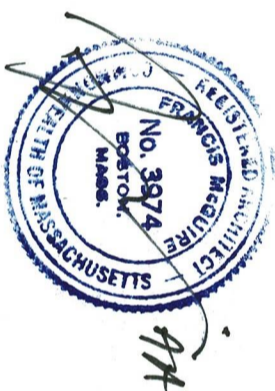
HAFLEER RESIDENCE

FRANK MCGUIRE ARCHITECTS

27 CHESTNUT STREET BOSTON MA 02108

617 851 8090

frankmcguirearchitects@comcast.net



6 May 2021

Plan Review Official
Inspectional Services Department
City of Boston
1010 Massachusetts Avenue
Boston, MA 02118

The attached drawings document our client's proposed roof deck at 112 Pinckney Street, Beacon Hill. The building is a Brimmer Street Row house, legally incorporated in, and only accessible from, 112 Pinckney Street.

1. The proposed deck has been approved by the Beacon Hill Architectural Commission at its April Hearing, and a Certificate of Appropriateness should now be on file for access by ISD.
2. The deck is accessed only through the Owner's dwelling unit below via an existing stair and glazed roof hatch and is not accessible from any common area.
3. As there is an existing flush hatch access, there is no head house/additional FAR.
4. The Owner's unit is fully sprinklered.
5. The deck is not visible from a public way, per item 1. Railings were adjusted to comply with BHAC Guidelines.

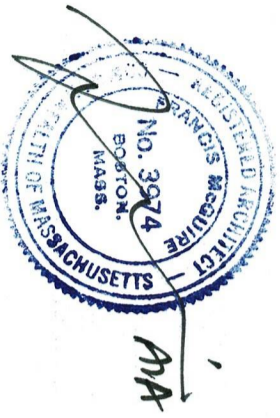
The deck will be built in accordance with the attached structural plans, in compliance with the City Engineer Bulletin on drainage, snow load, framing and wind uplift for roof decks.

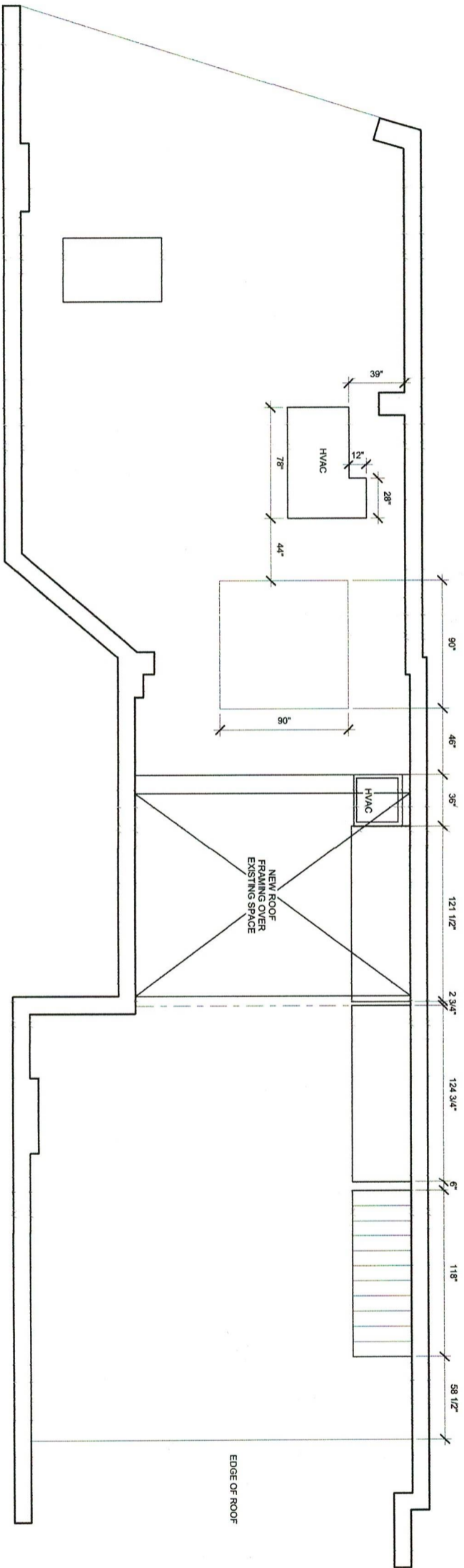
Please contact our office with any questions.

Respectfully Submitted,

Frank McGuire AIA
Mass Lic. No. 3974
Principal

Frank McGuire Architects Inc.





1 EXISTING FLOOR PLAN
1/4" = 1'-0"

A.1

Frank McGuire Architects

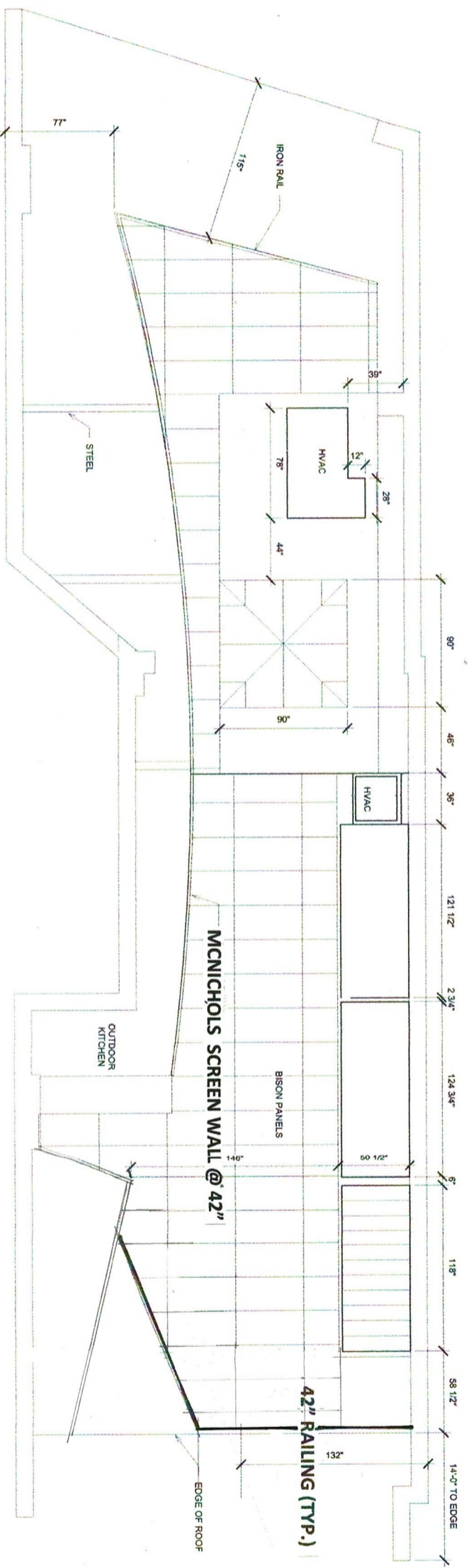
Architecture • Planning • Programming
 drawing: **EXISTING CONDITION**
 project: **HAFILER ROOF DECK**
 scale: **1/8" = 1'-0"** date: **05/06/21**

27 Chestnut Street • Boston MA 02108

tel (o): 617.742.4249
 tel (m): 617.851.8090
 fax: 617.227.1761
 email: frankmcguirearchitects@comcast.net



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



A.2

Frank McGuire Architects

Architecture • Planning • Programming
 drawing: PROPOSED PLAN
 project: HAFLER ROOF DECK
 scale: 1/8"=1'-0" date: 05/06/21

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AIA

LEGEND

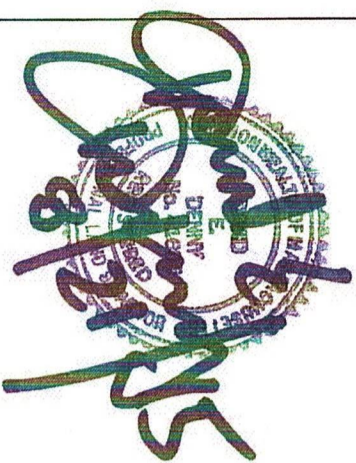
- AC/AHU AIR CONDITIONER
- BIT BITUMINOUS
- CONC CONCRETE
- DH DRILL HOLE
- ⓔ ELECTRIC MANHOLE
- O.H. OVERHANG/OVERHEAD
- N/F NOW OR FORMERLY
- X12.34 SPOT ELEVATION

NOTE:

- 1.) ALL OVERHANGS, UTILITIES, VENTS, FIRE BALCONIES, & LANDSCAPING ARE NOT SHOWN.
- 2.) ELEVATIONS SHOWN REFERS TO CITY BASE.
- 3.) ZONING ANALYSIS BY OTHERS.
- 4.) SEE ARCHITECTURAL PLANS FOR FINAL CONSTRUCTION ELEVATIONS, MATERIALS & FINISHES, GOODNESS OF FIT, ADEQUACY OF DETAIL SOLE RESPONSIBILITY OF CONTRACTOR.

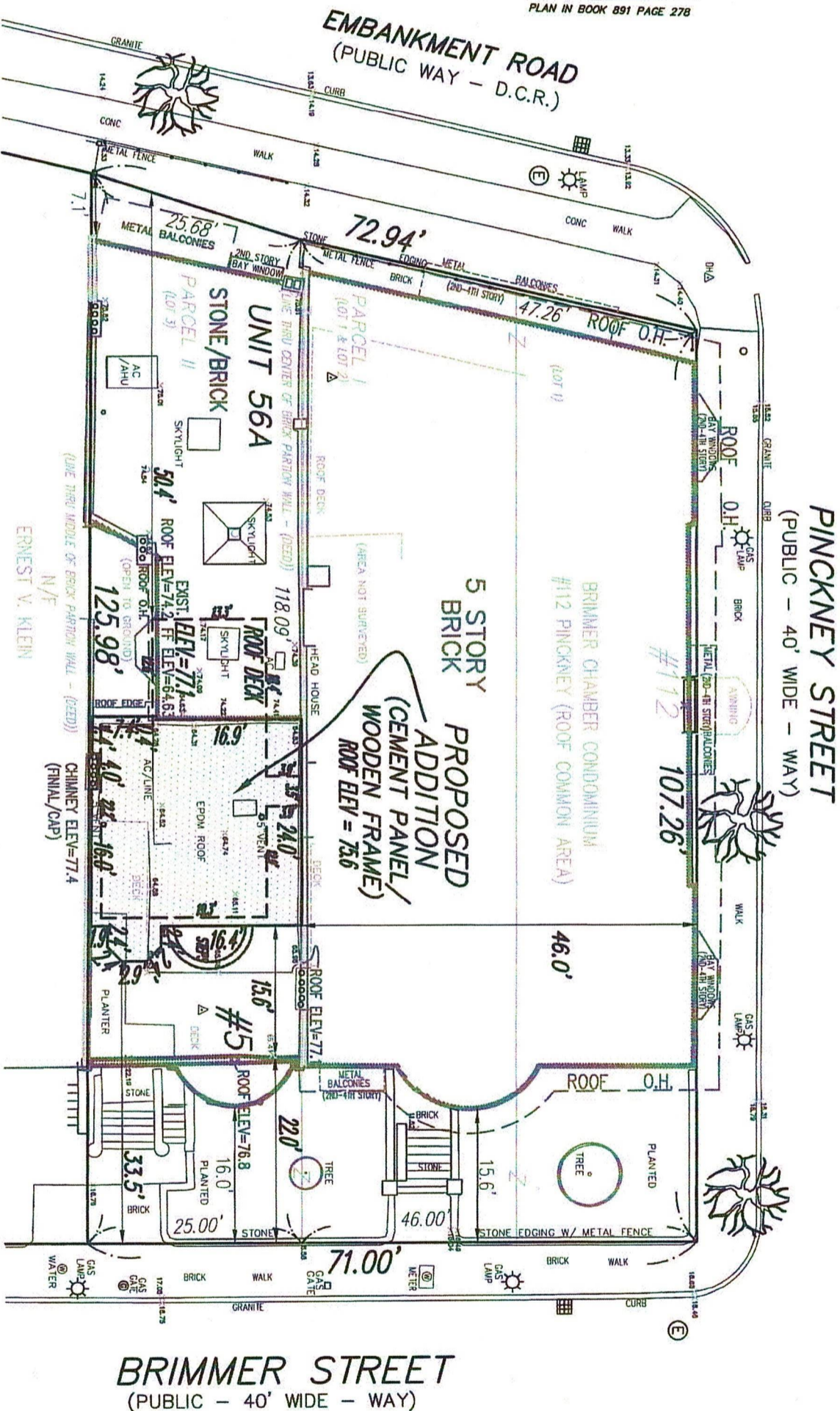
- 1.2' → PROPOSED SETBACK
- 3.4' → EXISTING BUILDING SETBACK
- 5.6' → PROPOSED ADDITION
- 7.8' → PROPOSED DECK

MASS. COORDINATE SYSTEM &
PLAN IN BOOK 891 PAGE 278



TO THE HATLERS & CITY OF BOSTON I.S.D.;
I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT:
THIS PLAN SHOWS THE RESULTS OF AN INSTRUMENT SURVEY OF THE PREMISES BY ME USING A LEICA TS 12 TOTAL STATION AND GS 14 G.P.S. ON MAY 6, 2015.
THIS UNITED INSTRUMENT SURVEY OF THE TRACT SHOWS THE RELATIONSHIP OF IMPROVEMENTS TO THE PROPERTY LINES OF RECORD WITH SUFFICIENT ACCURACY FOR THE PURPOSE OF THE PERMITTING.

THE ACCURACY IS INSUFFICIENT TO IDENTIFY THE EXTENT OF EXISTING ENCROACHMENTS OR ANY ACQUIRED TITLE RIGHTS. I RECOMMEND A PROPERTY SURVEY BE PERFORMED UNDER THE STANDARDS GOVERNING LAND COURT SURVEYS AND THE PREMISE BE SUBMITTED TO THE COURT FOR CONFIRMATION OR REGISTRATION SHOULD THE NATURE AND EXTENT OF ANY ENCROACHMENTS WISH TO BE KNOWN.
THE PREMISES DOES NOT LIE IN AN AREA OF SPECIAL FLOOD HAZARD AS DEFINED BY THE FLOOD INSURANCE RATE MAP #290 29C 0077G, EFFECTIVE SEPT. 25, 2009.



ASSESSORS PROPERTY ID# 0502499068
RECORD OWNER(S):
UNIT 56A, BRIMMER CHAMBERS CONDOMINIUM
JASON HATLER & ABIGAIL BRISTOL HATLER
DEED REFERENCE: BOOK 54432 PAGE 75
MASTER DEED REFERENCE: BOOK 9087 PAGE 456
SUFFOLK COUNTY REGISTRY OF DEEDS

CERTIFIED PLOT PLAN
OF UNIT 56A (5TH FLOOR)
BRIMMER CHAMBERS CONDOMINIUM
AT #112 PINCKNEY STREET &
#5 BRIMMER STREET
IN
BOSTON, MASS.
(BEACON HILL DISTRICT)
(SUFFOLK COUNTY)
SCALE: 1"=16' MAY 5, 2015
PREPARED FOR: JASON & ABIGAIL HATLER
DENNY LAND SURVEYING & ENGINEERING
51 PARK DRIVE (617) 437-7993 BOSTON, MASS.





TLH CONSULTING, Inc. Structural Engineering 505 MIDDLESEX TPK. # 14, BILLERICA, MA 01821 (978) 362-1804 OR (978) 406-5726

Table with project information: PROJ. No. 2101101, DATE: 4/30/2021, CLIENT: SLEEPING DOG PROPERTIES, DRAWN BY: ASB, CHECKED BY: SSL, SCALE: As indicated.

Table with project information: PROJECT: HAFLER RESIDENCE, LOCATION: 112 PINCKNEY ST. BOSTON, MA 02114, DWG. TITLE: GENERAL NOTES.

Table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING AND LOCATION. Rows 19-27.

Table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING OF FASTENERS (INCHES). Rows 28-37.

Table with columns: LABEL, MEMBER, HSS/AXIS/4. Rows 1, 2.

Table with columns: MEMBER, HANGLER, AT SUPPORT, AT JOIST, NAILS. Rows 1-4.

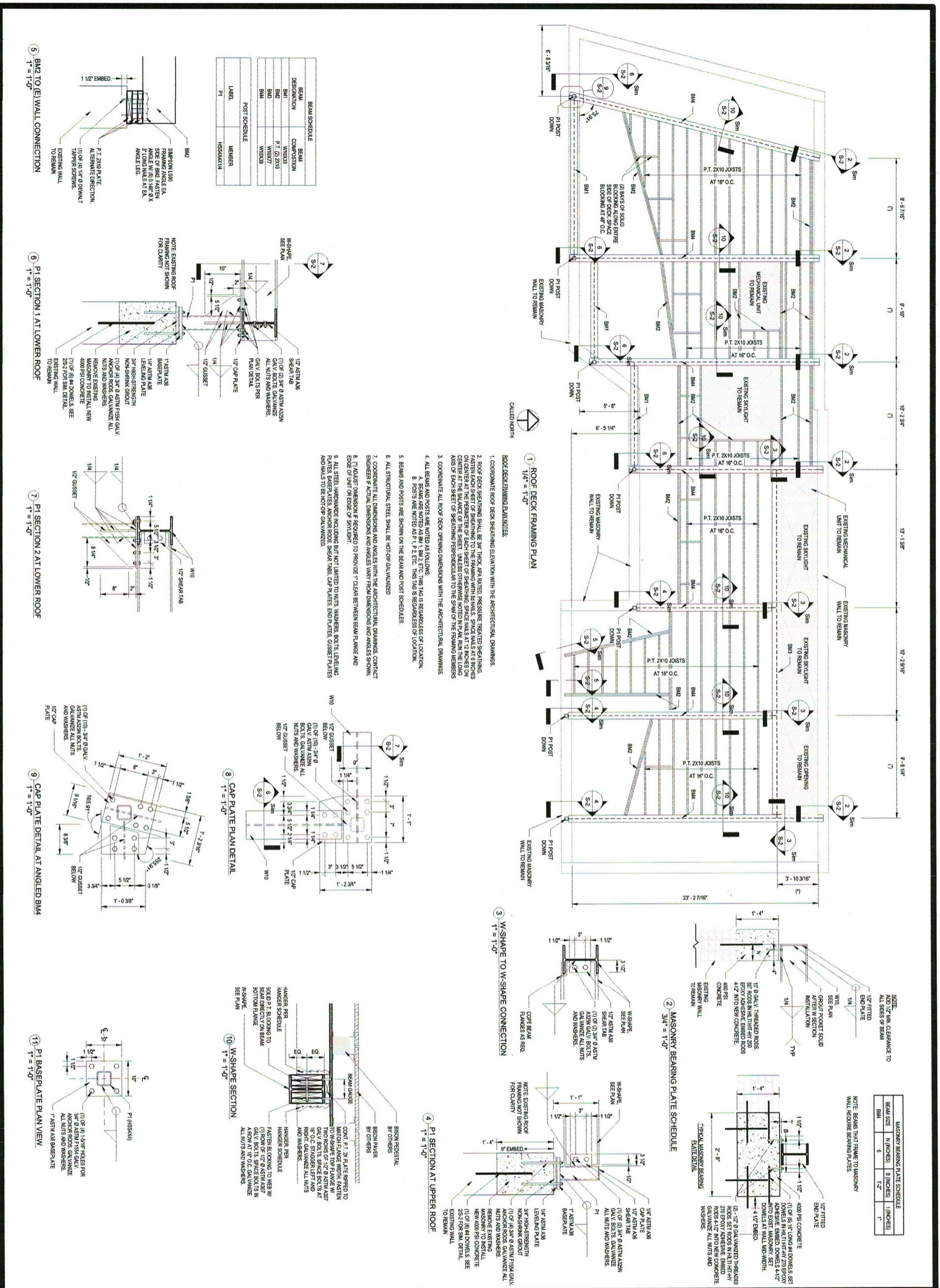
- SCHEDULES: 1. MANUFACTURER - SAMPSON 2. WALLS SHOWN AT SUPPORT 3. ALL HANGERS ASSUME 4. ALL HANGERS ARE BASED ON 1/2" DIA. OF 15#F AND 1/2" DIA. OF 15#F

Table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING AND LOCATION. Rows 1-5.

Table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING AND LOCATION. Rows 6-18.

FASTENING SCHEDULE 3/8" = 1'-0"

- STRUCTURAL DESIGN CRITERIA: 1. THE STRUCTURAL DESIGN IS BASED ON THE MASSACHUSETTS STATE BUILDING CODE, 199 CHAP. 940C, NINTH EDITION. 2. LIVE LOADS: 40 PSF 3. DEAD LOADS: WEIGHT OF MATERIALS 4. SNOW LOADS: 40 PSF 5. WIND LOAD - MAIN WIND: 120 MPH 6. PHOTOVOLTAIC PANEL SYSTEM (SOLAR PANELS) - HAVE NOT BEEN INCORPORATED IN THE DESIGN 7. REINFORCED AND PLAIN CONCRETE: 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS. 2. CONTRACTOR TO PROTECT CONCRETE FROM DAMAGE DUE TO FREEZING OR HIGH TEMPERATURES. 3. CONCRETE COVER SHALL BE PER LATEST ACI REQUIREMENTS. 4. DO NOT EXPOSE CONCRETE TO ANY CALCIUM CHLORIDES PRIOR OR DURING CONSTRUCTION. 5. PORTLAND CEMENT MUST CONFORM TO ASTM C150 REQUIREMENTS. NOMINAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C618. NO LIGHT WEIGHT CONCRETE IS SPECIFIED FOR THE PROJECT. 6. WATER USED IN MIXES SHALL CONFORM TO ASTM C1802. WOOD: 1. WOOD MEMBERS SHALL BE AS PER THE DRAWINGS. MEMBERS OF EQUIVALENT STRENGTH SHALL BE ALLOWED IF PERMITTED BY THE PROJECT ENGINEER. USE SOUTHERN PINE NO. 1 AS A MINIMUM. 2. FLY WOOD AND OTHER SIMILAR SPLITTING MATERIALS SHALL BE AS PER THE DRAWINGS. ALL WOOD MATERIALS SHALL BE USED, THE STRONG AND WEAK SPLITTING MATERIALS SHALL BE PERMITTED TO THE FLOOR FRAMING AND WALL STUDS. 3. HANGERS, CLIPS, ETC. SHALL BE AS PER THE DRAWINGS. CONTRACTOR TO BRING ANY UNIDENTIFIED HANGERS, ETC. TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION. 4. ROOF DECK SHEATHING SHALL BE PER THE ROOF DECK FRAMING DRAWINGS. 5. CONTACT THE ENGINEER REGARDING ALL DIMENSIONAL LUMBER REVISIONS, NOTES, ETC. 6. WALS TO BE GALVANIZED OR STAINLESS. 7. HANGER TO HAVE 600 GALV. STRUCTURAL STEEL: 1. ALL WIDE FLANGE SECTIONS SHALL BE FABRICATED FROM ASTM A992 STRUCTURAL STEEL. ALL PLATES SHALL BE FABRICATED FROM ASTM A572 STRUCTURAL STEEL. ALL HSS SECTIONS SHALL BE FABRICATED FROM ASTM A500 GRADE C STRUCTURAL STEEL WITH A MINIMUM YIELD STRESS OF 50 KSI. 2. ALL CONNECTIONS SHALL BE PER THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL. 3. ALL BOLTS SHALL BE MIN 3/4" DIA. TYPE 304. 4. ALL WELDS SHALL BE WITH E70XX ELECTRODES. WELDING SHALL CONFORM TO THE LATEST AWS D1.1. 5. BELOW ALL JOIST PLATES PROVIDE 1/4" DIA. END PLATE AND 3/4" DIA. SPRINK GROUT, UNLESS OTHERWISE NOTED ON THE DRAWINGS. 6. UNLESS OTHERWISE NOTED, ALL ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, AND SHALL BE GRADE 36. USE 3/4" DIA. ANCHOR BOLTS WITH NINE INCHES OF EMBEDMENT AND 4 INCHES OF PROTECTION, UNLESS OTHERWISE NOTED (UO) ON THE DRAWINGS. 7. TEMPORARY BRACING, SHORING, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR. 8. IF CLASHES OCCUR BETWEEN STRUCTURAL STEEL AND OTHER TRADES, CONTACT THE CONTRACTOR TO RESOLVE THE CLASHES. FIELD CUTTING OF MEMBERS WILL NOT BE PERMITTED. 9. ALL STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED. CONTRACTOR RESPONSIBILITIES: 1. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING AND TEMPORARY BRACING DESIGN RELATED TO MEANS AND METHODS OF CONSTRUCTION. 2. COORDINATION BETWEEN TRADES IS THE RESPONSIBILITY OF THE CONTRACTOR. DRAWING CONTACTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND ARCHITECT FOR RESOLUTION. 3. THE CONTRACTOR IS REQUIRED TO VERIFY THE DESIGN PROFESSIONAL OF THE CONTRACTOR'S DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROFESSIONAL TO PERFORM PERIODIC SITE VISITS TO OBSERVE THE WORK IN PROGRESS. 4. SECTIONS AND DETAILS DEPICT SPECIFIC CONDITIONS. ALL CONDITIONS ARE NOT SHOWN ON THESE DRAWINGS. CONDITIONS SIMILAR TO THOSE SHOWN ON THE DRAWINGS SHALL UNLESS SHOWN OTHERWISE. 5. THE DRAWINGS ARE NOT TO BE SCALED. THE CONTRACTOR IS TO CONTACT THE DESIGN PROFESSIONAL REGARDING ANY DIMENSIONAL INQUIRIES.



| BEAM SCHEDULE | BEAM DESIGNATION | COMPOSITION |
|---------------|------------------|---------------|
| BM1 | W10X33 | P.I. (2) 2X10 |
| BM2 | W10X33 | W10X33 |
| BM3 | W10X33 | W10X33 |

| POST SCHEDULE | MEMBER | SECTION |
|---------------|------------|---------|
| P1 | HSS2X1X1/4 | |

| MASONRY BEARING PLATE SCHEDULE | BEAM SIZE (INCHES) | N (INCHES) | B (INCHES) | 1 (INCHES) |
|--------------------------------|--------------------|------------|------------|------------|
| BM1 | 6 | 6 | 12 | 1 |

PROJECT: HAFLER RESIDENCE
 LOCATION: 112 PINCKNEY ST. BOSTON, MA 02114
 DWG. TITLE: ROOF DECK FRAMING PLAN

PROJ. No. 2101101
 DATE: 4/30/2021
 CLIENT: SLEEPING DOG PROPERTIES

DRAWN BY: ASB
 CHECKED BY: SSL
 SCALE: As indicated

TLH CONSULTING, Inc.
 Structural Engineering
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| DWG. No. | NO. | ISSUE | DATE |
|----------|-----|-------|------|
| S-2 | | | |