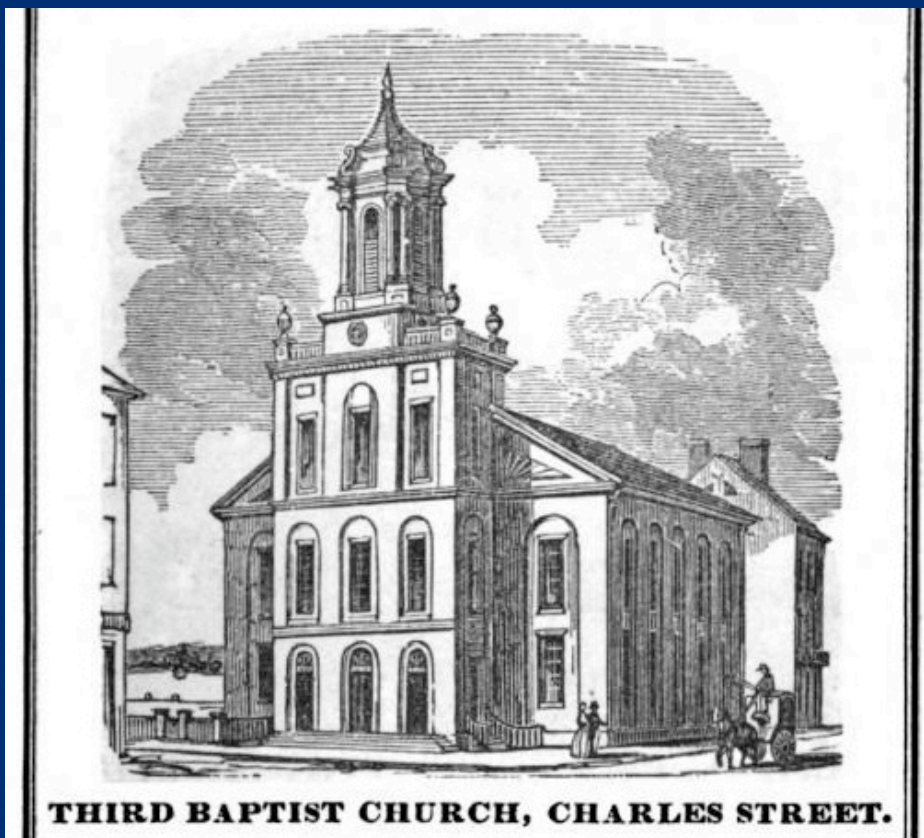


CHARLES STREET MEETING HOUSE



5 Sept 2018 / 121-125 Mt. Vernon St (70 Charles St)

Review with Beacon Hill Civic Association - 01

CHARLES STREET MEETING HOUSE

HIGHLIGHTS OF BUILDING HISTORY

- 1804 Designed by Asher Benjamin
... Protégé of Charles Bulfinch ...
- 1807 Completed for the Third Baptist Church
... Stronghold of the anti-slavery movement ...
- 1876 First African Methodist Episcopal Church
... Now part of the Black Heritage Trail ...
- 1939 Charles Street Meeting House Society
... Briefly used by Albanian Orthodox ...
- 1947 Society for the Preservation of N.E. Antiquities
... Leased to Unitarian Church of America ...
- 1980 Charles Street Meeting House Associates
... Re-use for Retail, Offices & Residence ...



CHARLES STREET MEETING HOUSE

OVERVIEW OF MODIFICATIONS & USE

- 1920 Building moved 10' toward River Street
... *For the widening of Charles Street* ...
- 1938 Change of Use to "Church & Two Stores"
... *Subdivision of "Sunday School Room"* ...
- 1954 Change of Use to "Church & UCA HQ" ...
... *Stores were removed for HQ Offices* ...
- 1962 Change of Use to "Church & Parish House"
... *Office use accessory to the Church use* ...
- 1981 Change of Use to "Offices, Retail, Residence"
... *Restaurant (Bakery Café) added later* ...



CHARLES STREET MEETING HOUSE

AWARDS FOR ADAPTIVE RE-USE

- 1983 HONOR AWARD
... National Trust for Historic Preservation ...
- 1984 PRESERVATION AWARD
... Historic Neighborhoods Foundation ...
- 1984 HONOR AWARD
... American Institute of Architects ...

Architect John Sharratt – other local projects include:

Mercantile Wharf Building

Villa Victoria

Mission Park



CHARLES STREET MEETING HOUSE

HISTORIC BUILDING DESIGNATIONS

BEACON HILL HISTORIC DISTRICT

Local Historic District 1955

National Register Historic District 1966

National Historic Landmark 1966

ETHNIC HERITAGE

Boston African American National Historic Site

The Black Heritage Trail

PRESERVATION RESTRICTION

Historic New England (Formerly SPNEA)



CHARLES STREET MEETING HOUSE

ZONING ISSUES

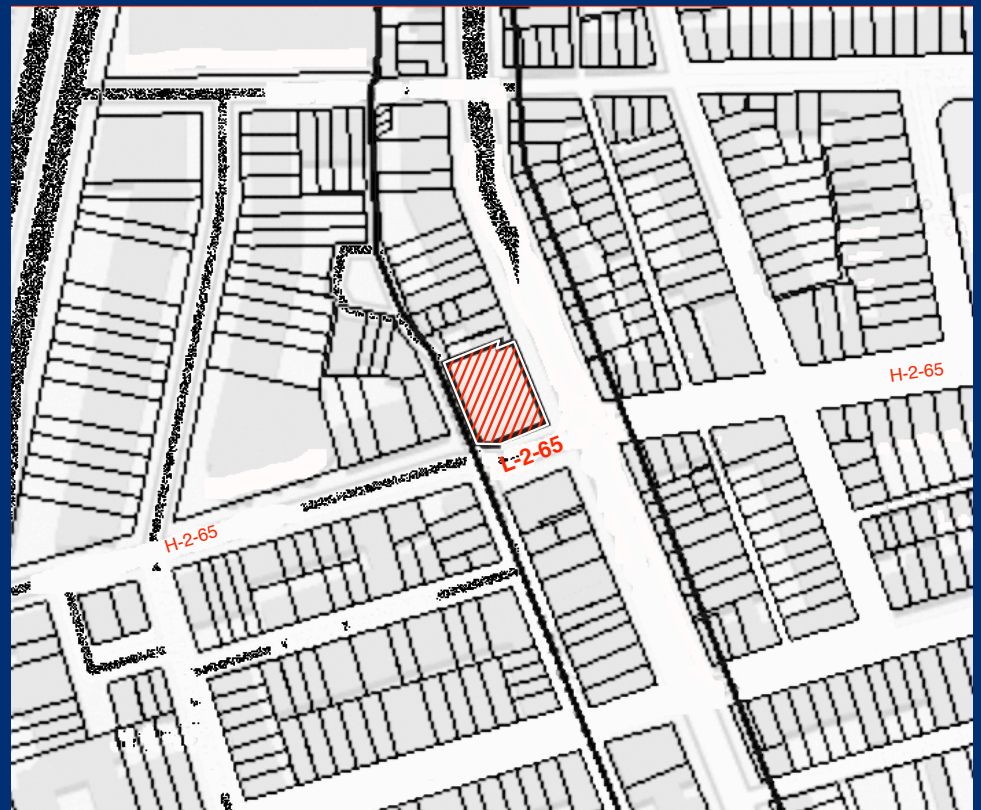
DISTRICT: L-2-65

CURRENT USES: Retail, Café, Offices & Single-Family Residential

PROPOSED CHANGE: Extend Offices into the Residence, including provision of an Accessible Entrance to the Offices

FLOOR AREA RATIO: Infill some open areas between floors in the Residence to separate floor levels for Office Use

EXTEND NON-CONFORMING USE: Office Use is “Conditional” at First Floor & Basement, “Allowed” at upper levels



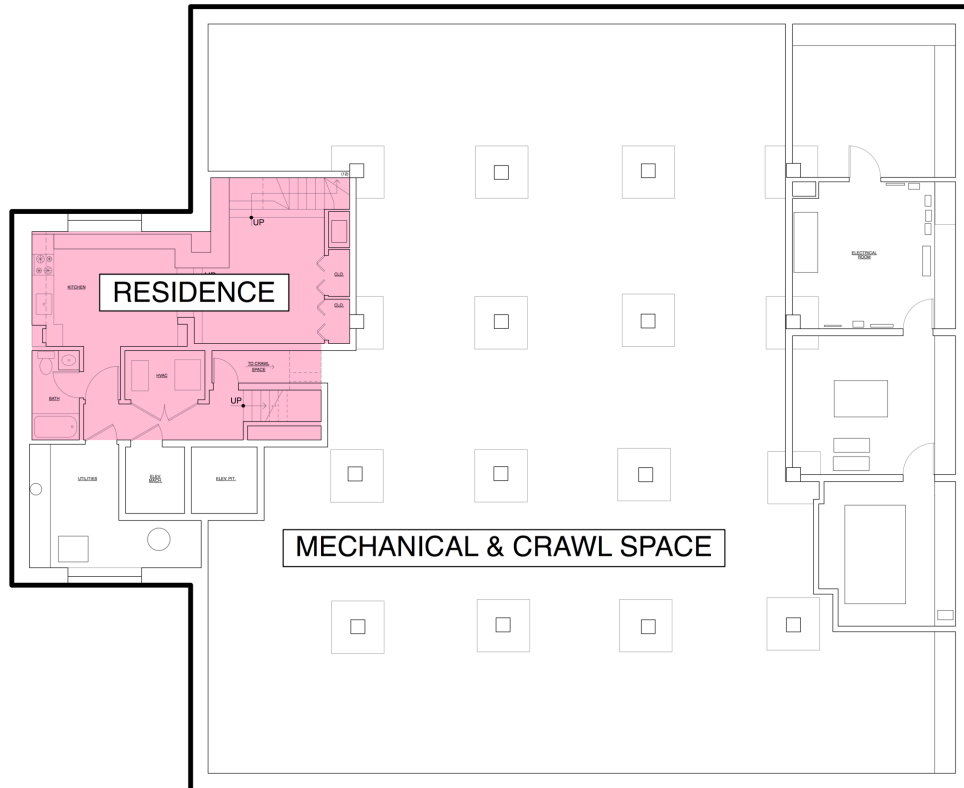
CHARLES STREET MEETING HOUSE

Location: 70 CHARLES ST BOSTON, MA 02114
Ward: 05
Zoning District: Boston Proper
Zoning Subdistrict: L - 2 - 65
Appl. #: ALT826107
Date Filed: May 07, 2018
Purpose: Extend Office use into all of the residential space in the tower, including the provision of an accessible entrance. Office Use will be in all levels of the former residence, including basement and entrance levels.

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Article 15, Section 1	Floor Area Ratio Excessive	Floor Area Ratio Excessive
Article 9. Section 1	Extension of Nonconforming	Extension of a Nonconforming Use

CHARLES STREET MEETING HOUSE



EXISTING BASEMENT LEVEL

RESIDENTIAL USE

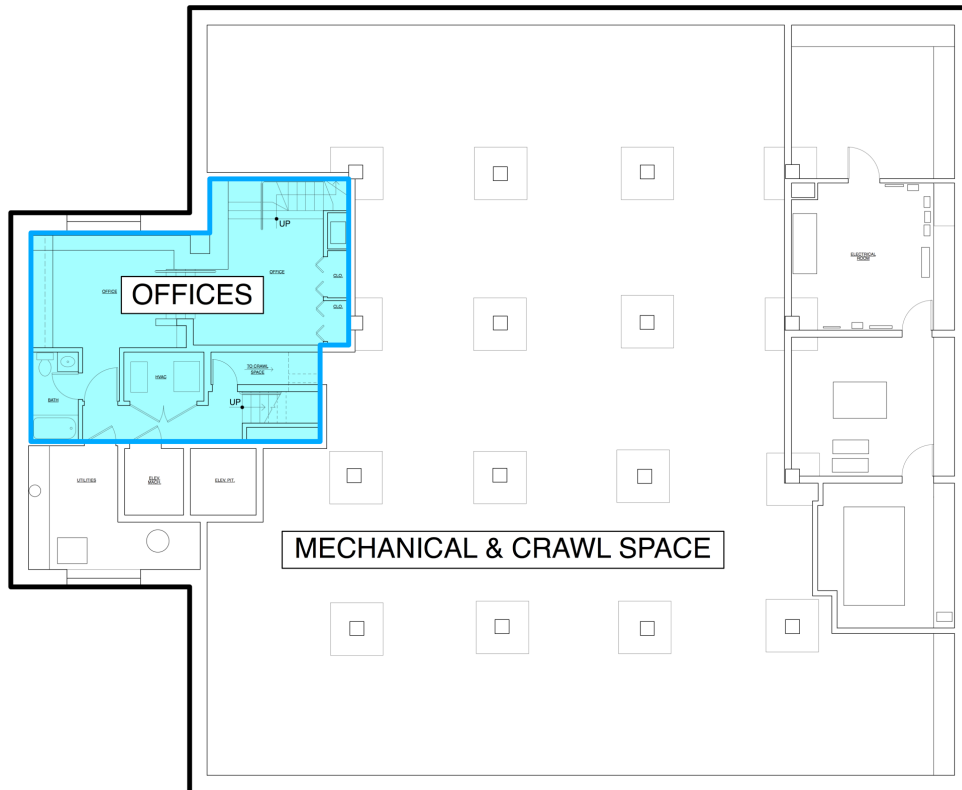
USE ITEM 3

Au Pair Studio Apartment

Mechanical Areas

Crawl Space (Unexcavated)

CHARLES STREET MEETING HOUSE



PROPOSED BASEMENT LEVEL

*CONVERT RESIDENCE INTO AN
EXTENSION OF OFFICE USE
USE ITEMS 39, 40, 41*

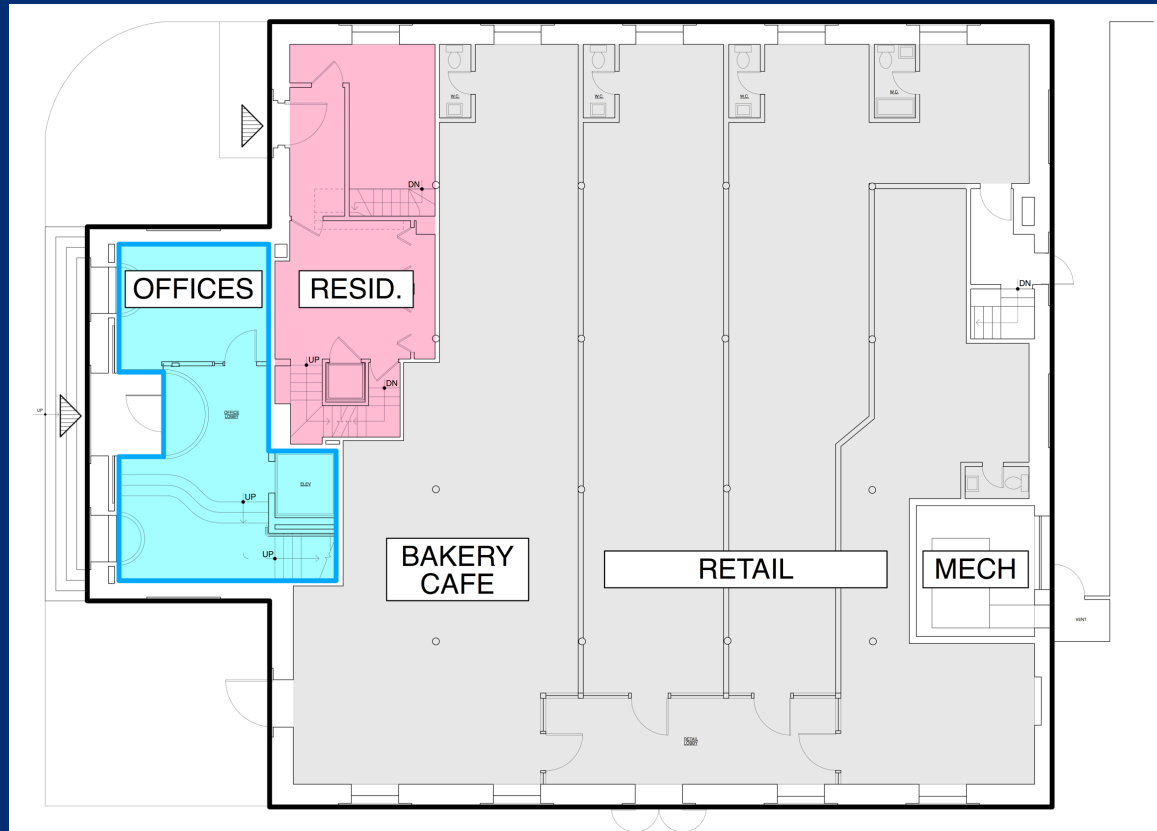
Small Office Suite

Private Restroom with Shower

Existing Mechanical Areas

Existing Crawl Space

CHARLES STREET MEETING HOUSE



EXISTING FIRST FLOOR

*RETAIL & BAKERY CAFÉ
USE ITEMS 35, 36A, 37
Entry at Charles Street Façade*

*OFFICE ENTRANCE LOBBY
USE ITEMS 39, 40, 41
Entry at Mt. Vernon Street Façade*

*SINGLE-FAMILY RESIDENCE
USE ITEM 3
Entry Corner of River & Mt. Vernon*

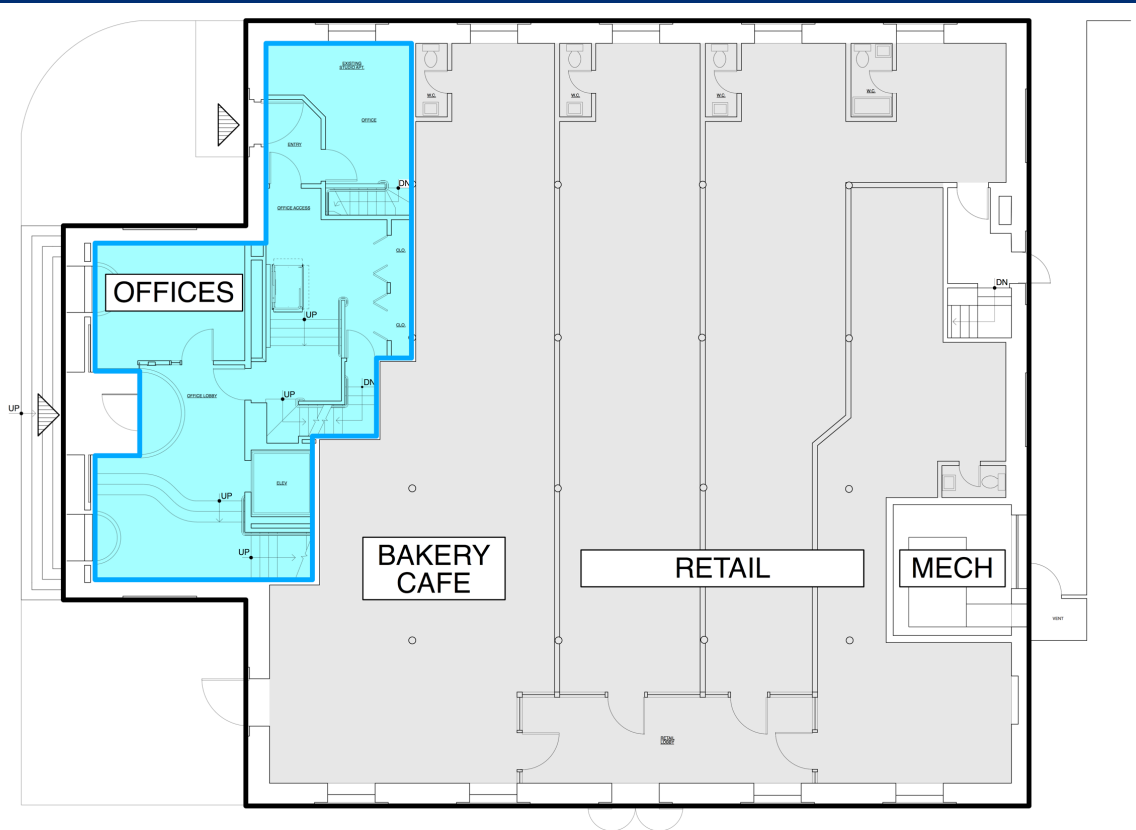
CHARLES STREET MEETING HOUSE

PROPOSED FIRST FLOOR

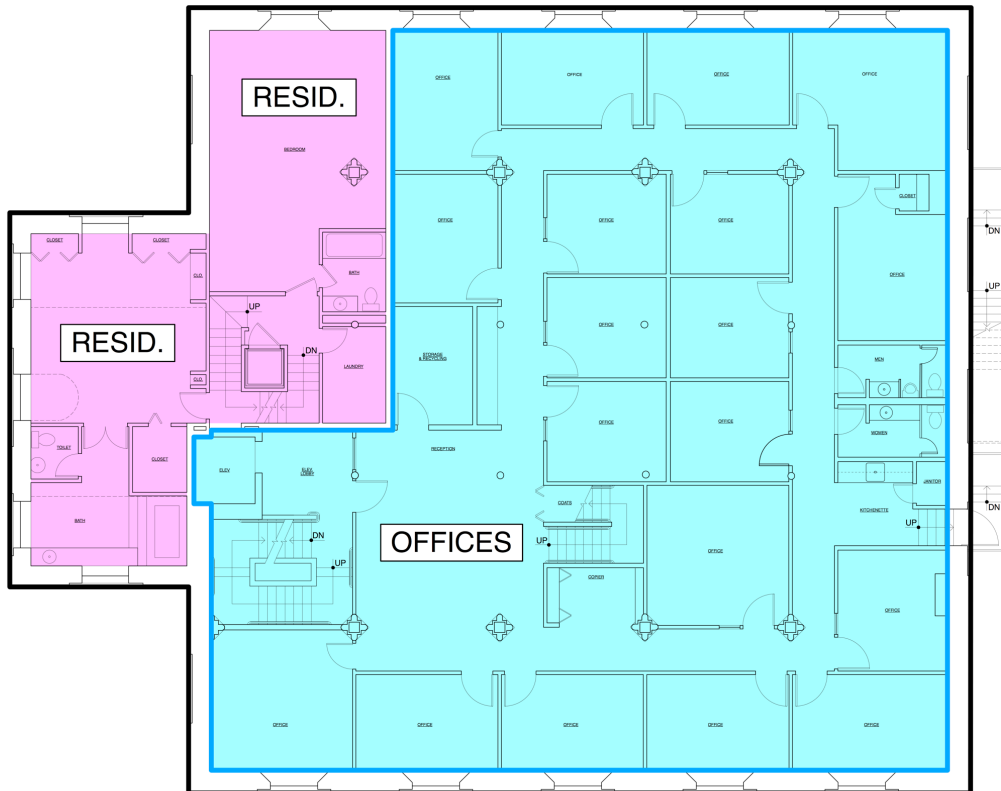
*RETAIL & BAKERY CAFÉ
No Change Proposed*

*OFFICE ENTRANCE LOBBY
No Change Proposed*

*CONVERT RESIDENCE INTO AN
EXTENSION OF OFFICE USE
USE ITEMS 39, 40, 41
Provide Accessible Entrance from
Existing At-Grade Doorway to the
Existing Elevator via an Inclined
Wheelchair Lift in the Former Foyer*



CHARLES STREET MEETING HOUSE



EXISTING SECOND FLOOR

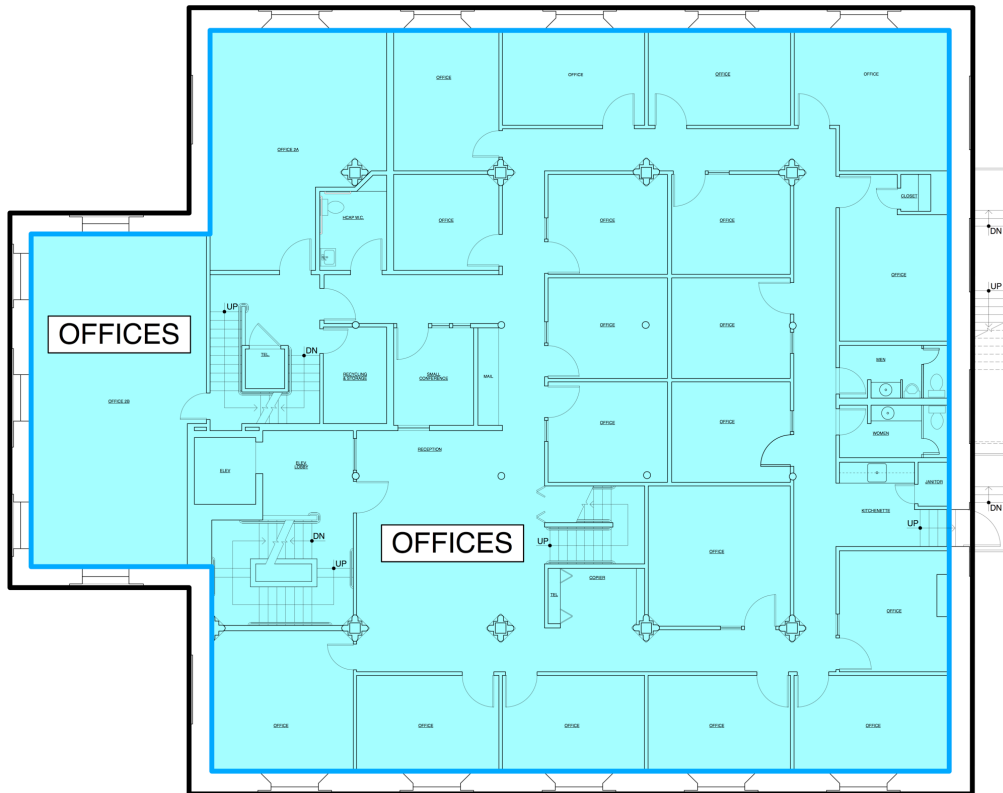
OFFICES

USE ITEMS 39, 40, 41
Former Sanctuary Level
Shared Receptionist Area
Multiple Individual Offices
Not Handicap Accessible

SINGLE-FAMILY RESIDENCE

USE ITEM 3
Master Bedroom Suite
Second Bedroom & Bath
Laundry Room

CHARLES STREET MEETING HOUSE



PROPOSED SECOND FLOOR

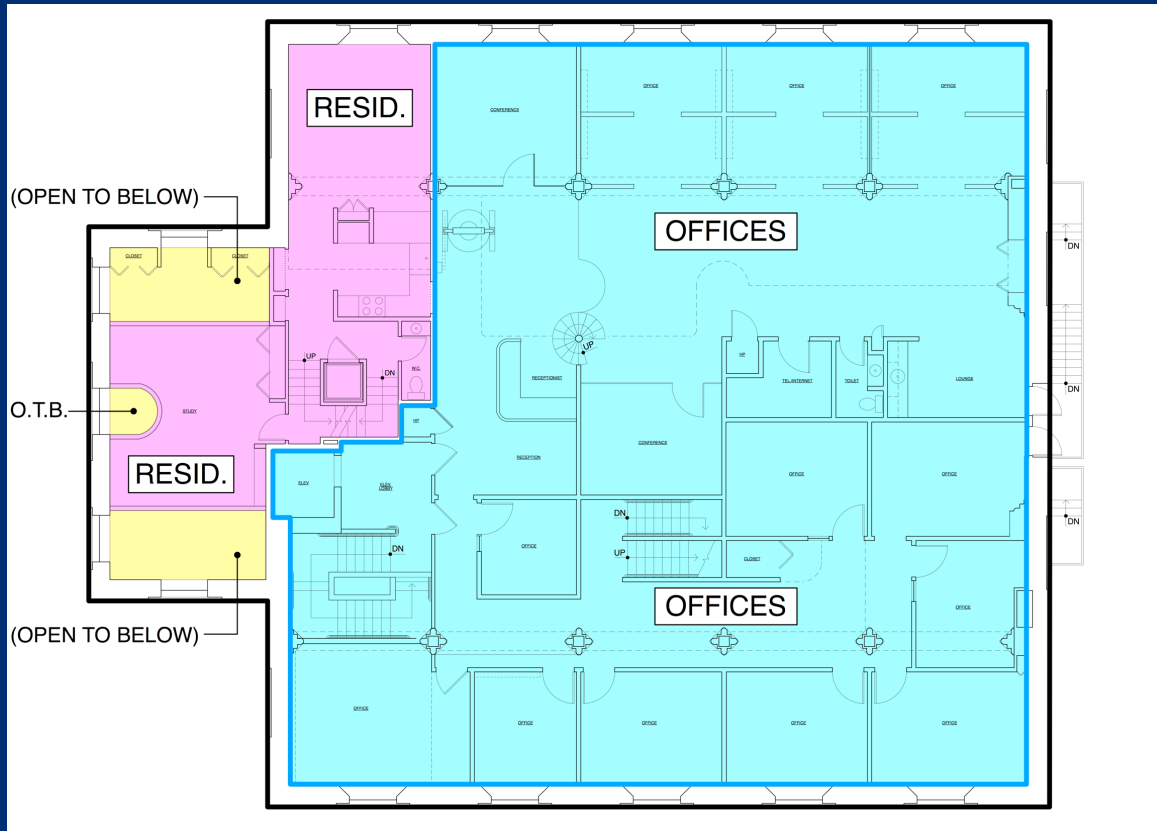
OFFICES

*USE ITEMS 39, 40, 41
Shared Receptionist Area
Multiple Individual Offices*

CONVERT RESIDENCE INTO AN EXTENSION OF OFFICE USE

*Handicap Access to Floor Level
Provide Accessible Restroom
Provide Two Office Suites
Provide Phone "Booth" (in place
of the residential elevator)*

CHARLES STREET MEETING HOUSE



EXISTING THIRD FLOOR

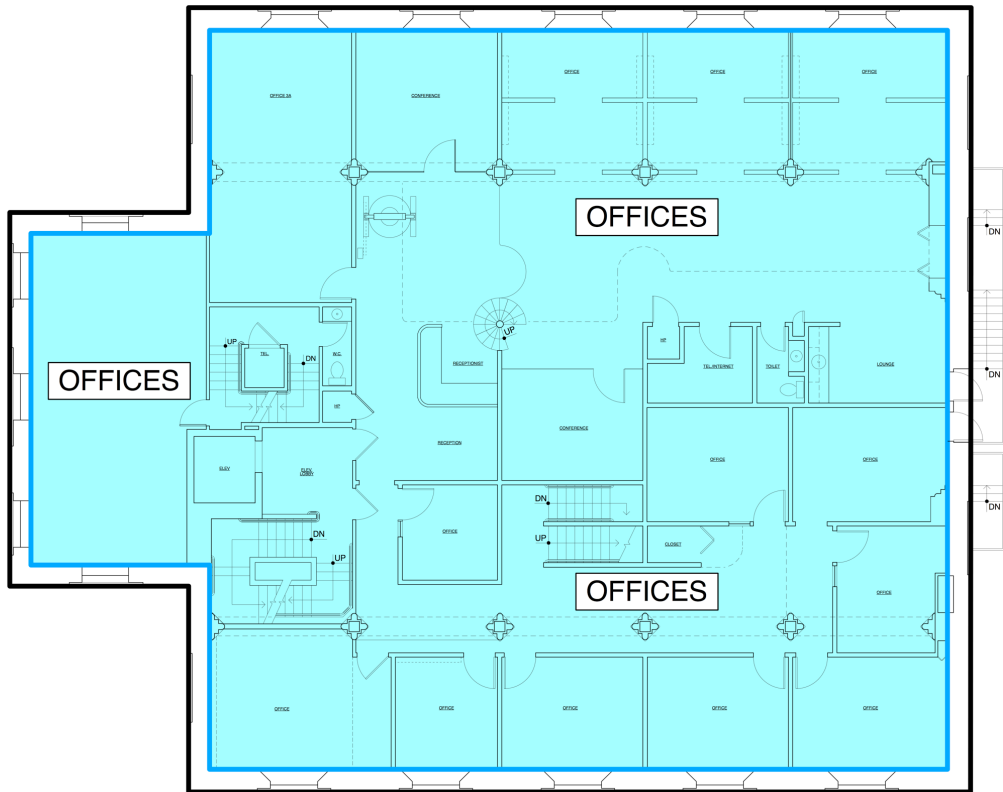
OFFICES

USE ITEMS 39, 40, 41
Former Balcony Level (Infill)
Lofted Ceiling to Mezzanine
Multiple Individual Offices
Not Handicap Accessible

SINGLE-FAMILY RESIDENCE

USE ITEM 3
Kitchen
Dining Area
Half Bath

CHARLES STREET MEETING HOUSE



PROPOSED THIRD FLOOR

OFFICES

USE ITEMS 39, 40, 41

Former Balcony Level (Infill)

Lofted Ceiling to Mezzanine

Multiple Individual Offices

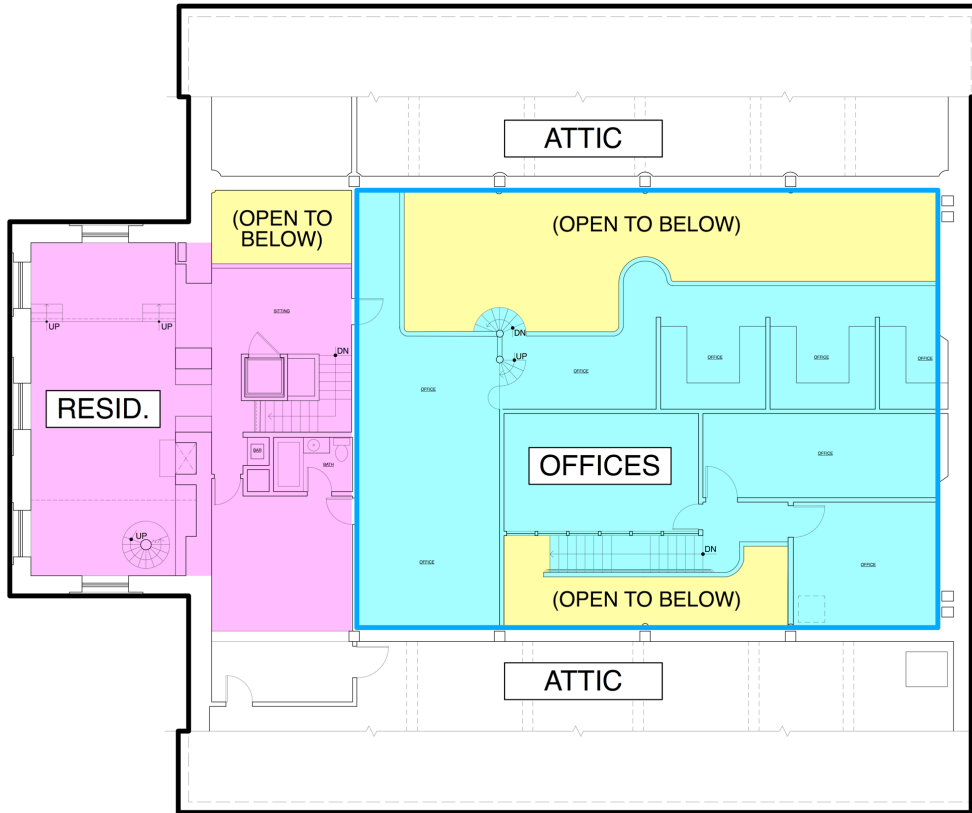
CONVERT RESIDENCE INTO AN EXTENSION OF OFFICE USE

Handicap Access to Floor Level

Provide Two Office Suites

*Provide Phone "Booth" (in place
of the residential elevator)*

CHARLES STREET MEETING HOUSE



EXISTING FOURTH FLOOR

OFFICE MEZZANINE

USE ITEMS 39, 40, 41

Mezzanine Level

Office Suites at West Side

Conference + Offices at East

SINGLE-FAMILY RESIDENCE

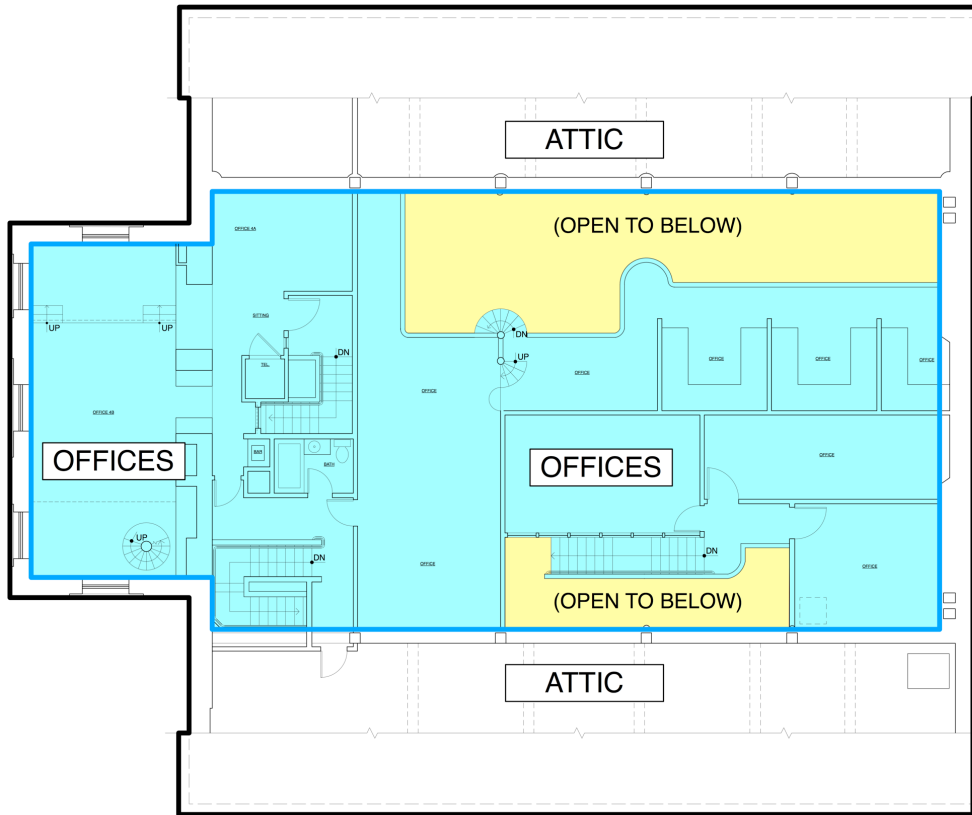
USE ITEM 3

Living Room

Sitting Area

Study

CHARLES STREET MEETING HOUSE



PROPOSED FOURTH FLOOR

OFFICES

USE ITEMS 39, 40, 41

Mezzanine Level

Office Suites at West Side

Conference + Offices at East

CONVERT RESIDENCE INTO AN EXTENSION OF OFFICE USE

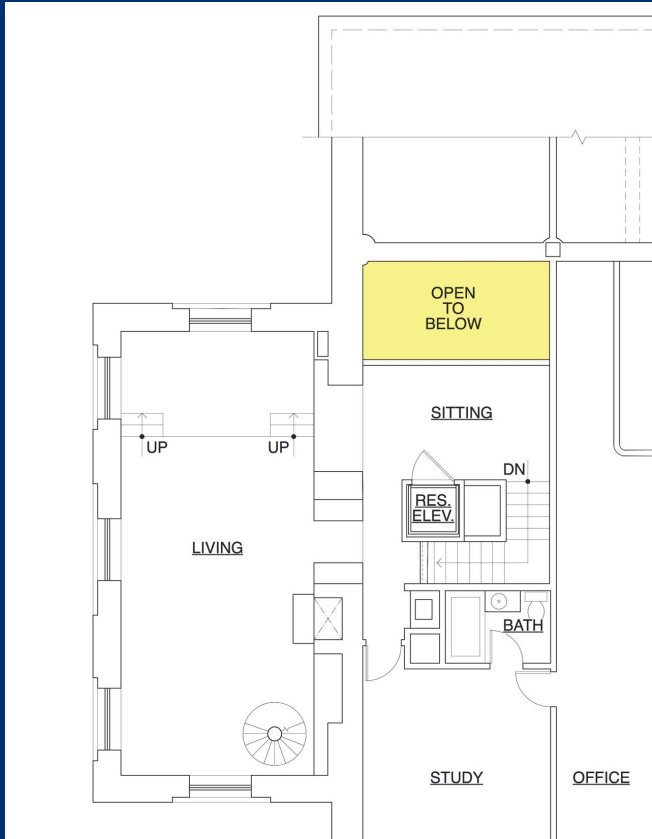
No Handicap Access to Floor

Provide Office Suite

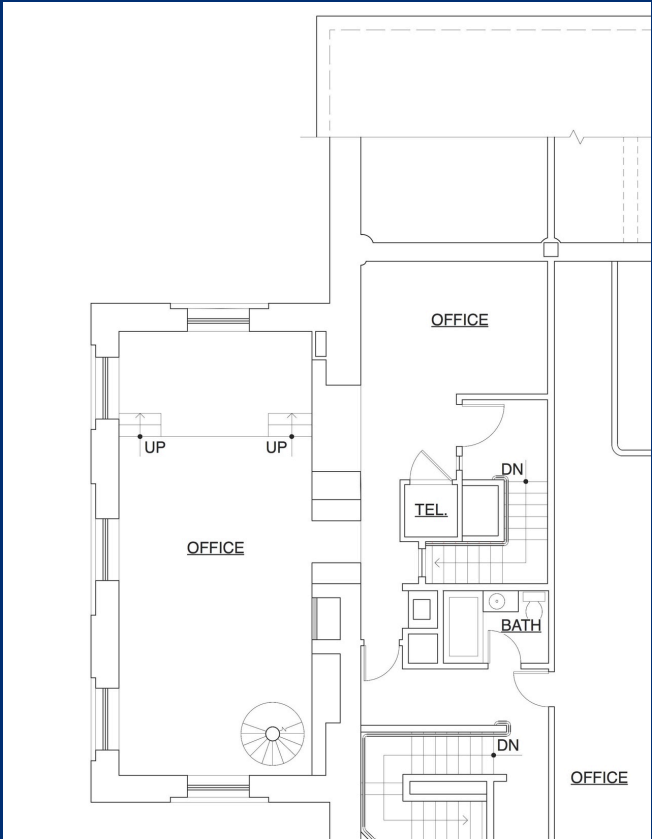
*Provide Phone "Booth" (in place
of the residential elevator)*

*Provide Second Egress Stair
(to serve existing Mezzanine
and expanded office area)*

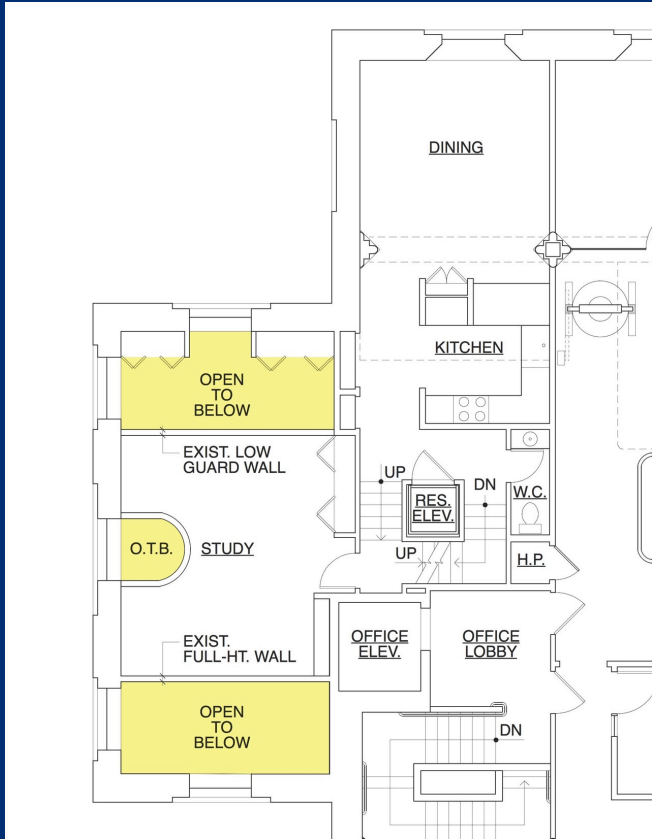
CHARLES STREET MEETING HOUSE



4th FLOOR INFILL
Extend Floor into
Double - Height
Space in the
Residence for
Office Use

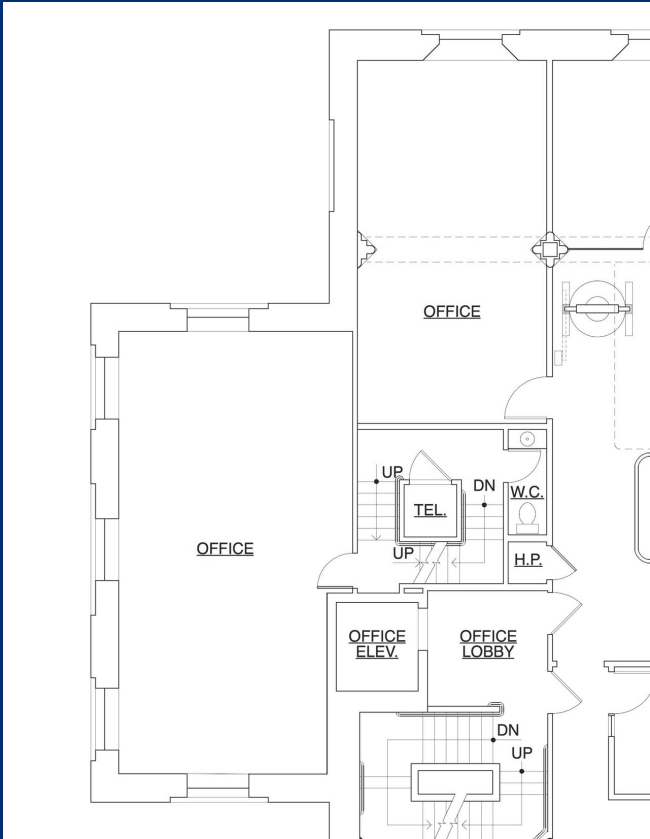


CHARLES STREET MEETING HOUSE

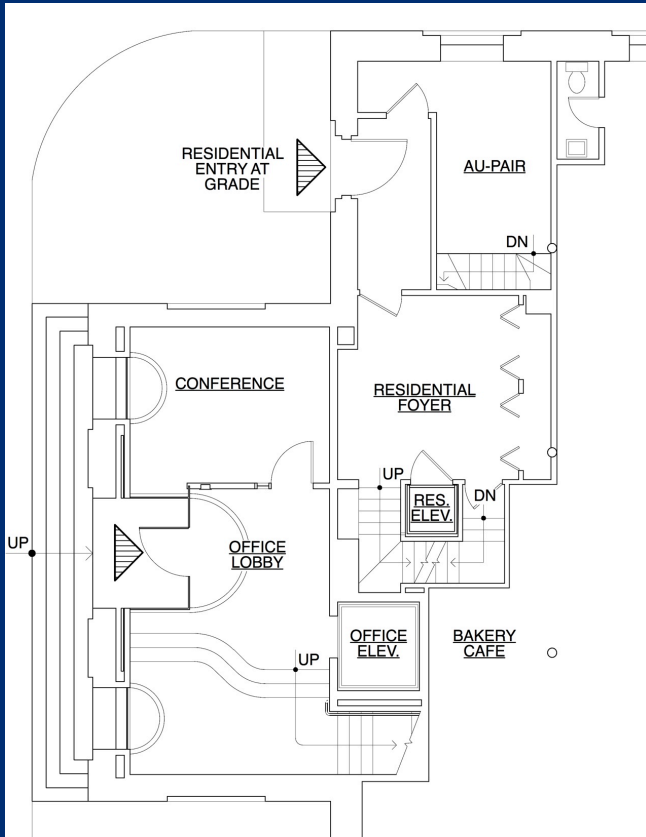


3rd FLOOR INFILL

Extend Floor into
Double - Height
Spaces in the
Residence for
Office Use

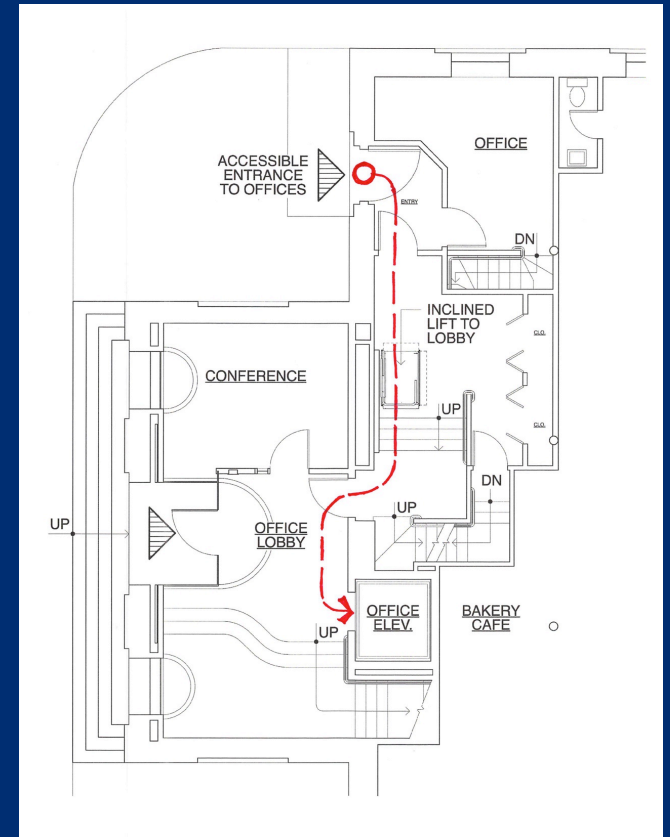


CHARLES STREET MEETING HOUSE



ACCESSIBLE ENTRY

Accessible Route from Street Level Entrance at Former Residence to Existing Office Elevator via Foyer and an Inclined Wheelchair Lift To Existing Office Lobby



CHARLES STREET MEETING HOUSE



Former central tower entrance to the 1807 church has served as the office lobby entrance since the Adaptive Re-use project of 1981. Five granite steps prevent the provision of an accessible entrance from the street into the lobby, and access to the office elevator requires negotiating those steps. Converting the side entry of the residence (at left) into an accessible office entrance, together with an interior inclined wheelchair lift, gains access to the office lobby, elevator and main floors of the offices (2nd & 3rd).

CHARLES STREET MEETING HOUSE

ZONING ISSUES

FLOOR AREA RATIO EXCESSIVE:

Increase previously non-quantified FAR by infilling four small open floor areas in the residence at the Third & Fourth Floors, increasing total floor area by 325 SF. This changes the FAR from 2.980 to 3.025 (FAR 2.0 in the L-2-65 District).

EXTEND NON-CONFORMING USE:

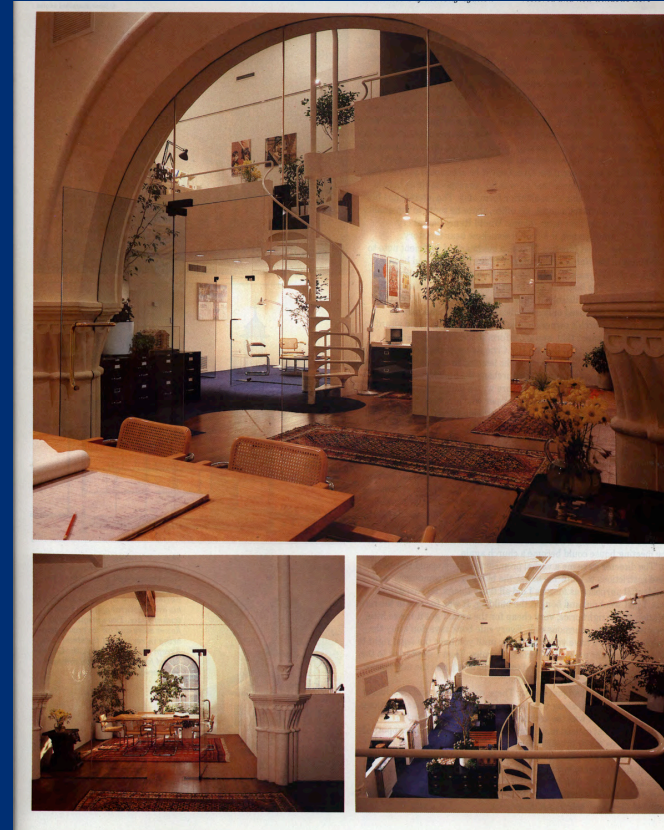
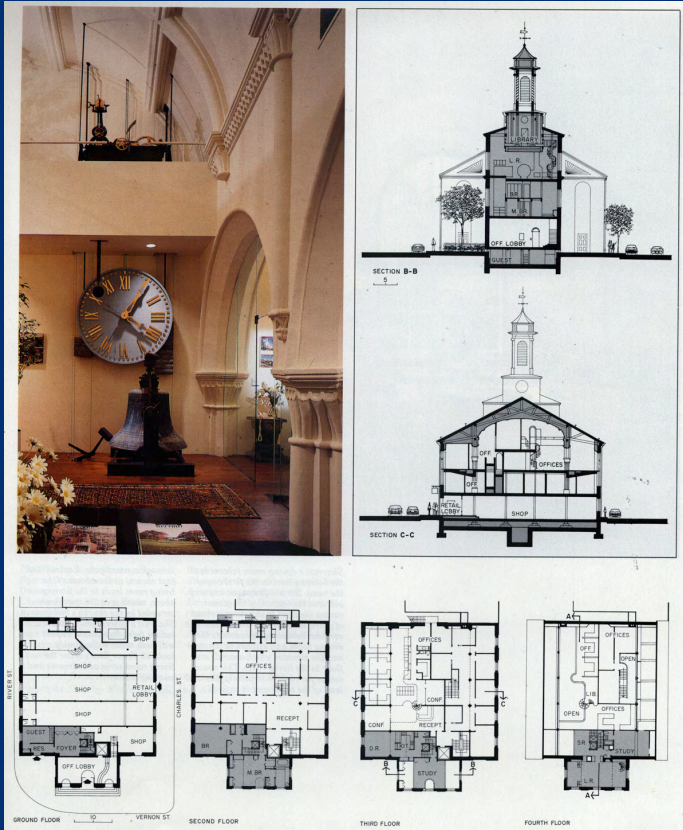
Change the Residential Entrance & Foyer into an Accessible Office Entrance at the First Floor.

Change Basement of Residence (Au Pair Apartment) into Office space.

Office Use at First Floor & Basement is “Conditional.”



CHARLES STREET MEETING HOUSE



5 Sept 2018 / 121-125 Mt. Vernon St (70 Charles St)

Review with Beacon Hill Civic Association - 24