

BEACON HILL
BOOKS

BEACON HILL BOOKS

71 CHARLES STREET

I'd like to begin by thanking everyone for carrying on with this meeting and helping to keep the approval process moving forward during these uncharted times.

As background, I purchased the building at 71 Charles Street last September with plans to open an independent book store, called Beacon Hill Books, which will offer a wide range of general interest books for all ages, including a floor dedicated to children's literature for beginning, middle and young adult readers.

My husband and I first lived in Beacon Hill in the mid-1980's and we remember the bookstores that used to flourish in this neighborhood. In the intervening decades, work commitments caused us to move to CA and TX, but last year we made our way back to Boston to a home on Chestnut Street. Upon our return, we were surprised to find that there were no bookstores selling new, general-interest books within a 20 minute walking radius of Beacon Hill. As I began to discuss this with local friends and learned of the informal survey conducted by BHCA several years ago in which a bookstore was the number one amenity most desired in our neighborhood, I decided this was a project I would like to undertake.

Since purchasing the building last September, I have been invested in hiring a large team of architects, structural and civil engineers, water reclamation experts, building code specialists, a general contractor and many others to help me devise a plan to rehabilitate and convert the building at 71 Charles Street into a multi-level, bookstore and café. It is important to note that during the due diligence phase of the building purchase, I was mis-informed as to the commercial status of the building. I was told that the building was zoned for mixed use and I confirmed that the property taxes had always been paid at the higher commercial rate. It was a surprise for me to learn 3 months into the project that a request for a change in use would be necessary.

As of today, we have a complete set of plans which provide for a café on the ground, garden level (which was previously occupied by the Hungry I restaurant), and bookselling/retail space on the remaining three floors with a back office to order, receive and process the books on the top floor. With the addition of an elevator and access ramp into the building, the store will be fully ADA accessible. All plans have been approved by the Beacon Hill Architectural Commission. Every effort has been made to protect the architectural integrity and charm of the building to create a unique bookstore space that is nestled in a residential-like setting with meandering bookcases, fireplaces, comfortable seating and an imaginative space on one floor dedicated to children.

We are now in the process of obtaining a building permit and the BHCA is our first stop along the way. Industry standards suggest that this bookstore requires at least 2000 square feet to be a functioning business with the necessary space to receive, process, display and store inventory. At a minimum, this building offers only 1700 square feet of useable space once all non-retail areas are subtracted (hallways, stairwells, new ADA ramp, new ADA elevator, new ADA bathroom, equipment storage, etc.) Therefore, it is necessary that the entire building be available for the commercial/retail purposes of a bookstore and café. To be clear, I will not be able to proceed with a bookstore if the change in use requested is not granted.

As you know, the addition of a bookstore has been a top priority for the Beacon Hill community for a long time and its benefits are fully aligned with the BHCA vision statement. A neighborhood bookstore is recognized by urban planners and government planning boards as a key element in the social, cultural and economic fabric of a thriving community. Beacon Hill Books will draw people of all ages to Beacon Hill to live, shop and dine and it will provide jobs which put money back into the local economy.



The proposed future home of Beacon Hill Books at 71 Charles St.

New book store and café proposed for former home to The Hungry I

By Dan Murphy

In a survey conducted as part of the Beacon Hill Civic Association's 2011 Plan for the Neighborhood, around 400 respondents selected a bookstore and café as their first choice for a new incoming neighborhood business, and that wish might be fulfilled next year with the planned opening of Beacon Hill Books in the building until recently occupied by The Hungry I restaurant.

Chestnut Street resident and business owner Melissa Fetter intends to transform the first three floors of the 3,000 square-foot, four-story property at 71 Charles St. into a retail space with floor-to-ceiling bookcases showcasing a comprehensive selection of reading material, such as high-end, specialized periodicals printed in Europe, among other esoteric and hard-to-find publications.

"We want to be able to offer

enough inventory to meet the needs of all customers and a curated collection that reflects the interests of our clientele," Fetter said. "We'll also offer robust programming like all good neighborhood bookstores, including author appearances and speakers on the topics of the day. There will be programming we provide, but we're also open to other groups that might want to use our space at night, such as book clubs."

The third floor would be devoted exclusively to children's books, with titles aimed at toddlers found in back.

"We hope that it will spark the interest of young readers," Fetter said, and that activities like an afternoon "story time" could offer an opportunity for young children to explore reading on site.

Throughout the store, comfortable seating will allow customers

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BOOKS (from pg. 1)

to read while basing before one of several operational fireplaces during the winter months.

"We want to keep the look residential so customers feel like they're coming into someone's home and shopping for books," Fetter said.

Meanwhile, the former Hungry I space will make way for a garden-level café offering breakfast and lunch items, such as baked goods, soups and salads, and serving English tea in the afternoon, replete with scones and clotted cream.

"English tea is one of my favorite things," Fetter said, "and it seems that in this climate, that it would be very popular with customers."

Another fireplace will be built out in the café, with new window openings providing a clear view of its interior from the adjacent walkway that would lead to a backyard garden for outdoor dining and socializing during temperate weather.

An elevator would also be installed to carry patrons from the garden-level café to the third-floor while the non-fourth floor will accommodate only office space.

A Beacon Hill firm, Pauli & Uribe Architects LLC, is serving as the architect for the project, which after receiving the necessary permitting and approval from the city, Fetter expects should take between nine and 12 months to complete.

"I love old buildings, and I love preserving architecture," she said. "We're going to be very thoughtful to go out of our way to preserve what's there and to reveal what's been covered up."

Moreover, Fetter and her husband, Trevor, who shared a small apartment on Mt. Vernon Street in the '80s, were immediately struck by the absence of a bookstore in the neighborhood upon returning here in January after living Dallas.

"We were surprised to find no bookstores in the area, and the more we thought about it and chatted with other residents on the Hill, a local bookstore seemed like a great project to undertake," Fetter said.

Focus groups are planned to

get input from the community on what would make for their ideal neighborhood bookstore as well.

"We're keen to get feedback as to what people want to see in a locally owned bookstore, and we're really open to all suggestions," Fetter said. "The key factor to our success is whether the neighborhood rallies around an independent bookstore and makes it the heart of the community."

Ultimately, Fetter hopes Beacon Hill Books will become a meeting place and destination for the entire neighborhood in the years to come.

"I want to this to be a community resource," she said. "This is a labor of love and love of books and love of this neighborhood."

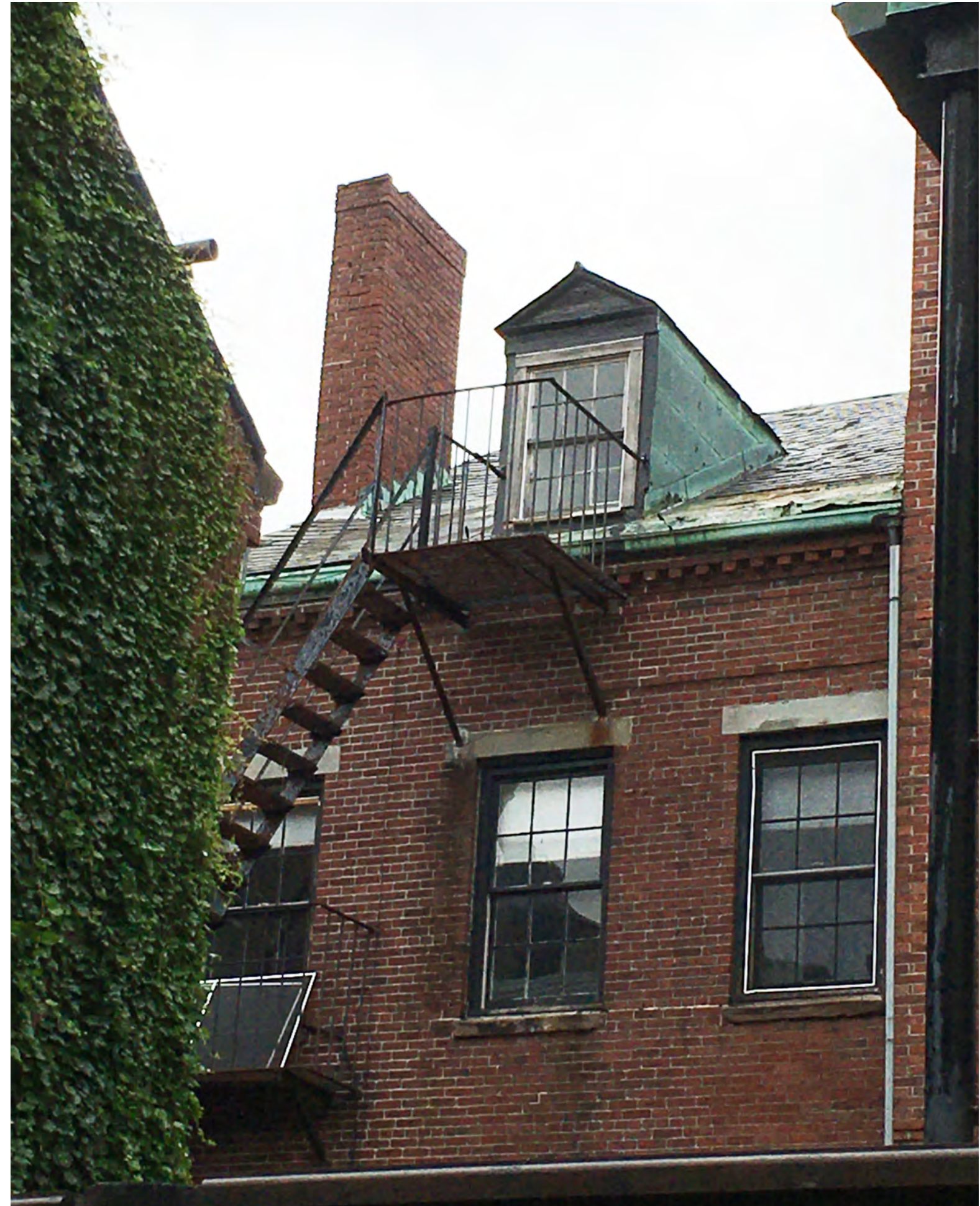


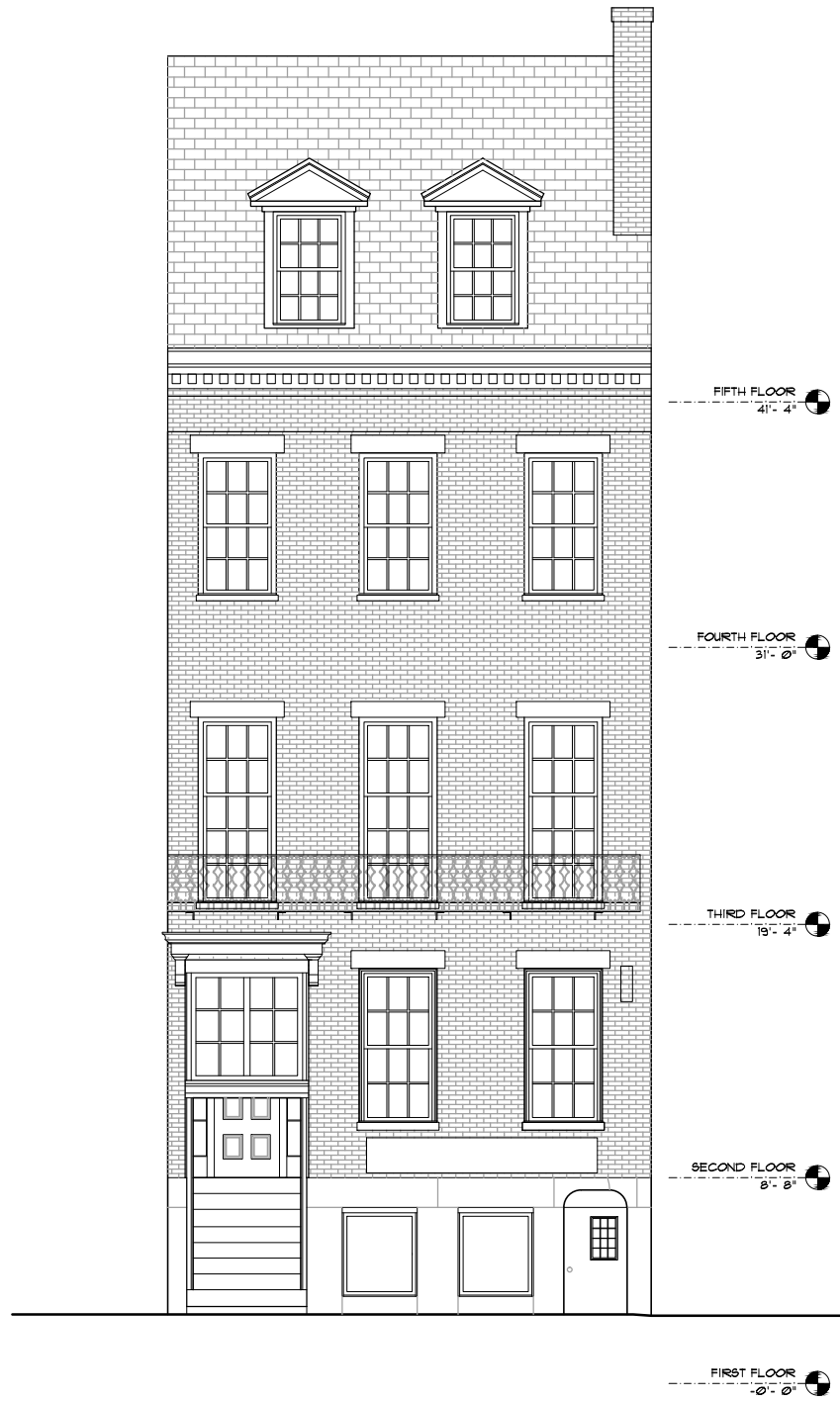
71 CHARLES STREET

EXISTING FRONT FACADE PHOTOS

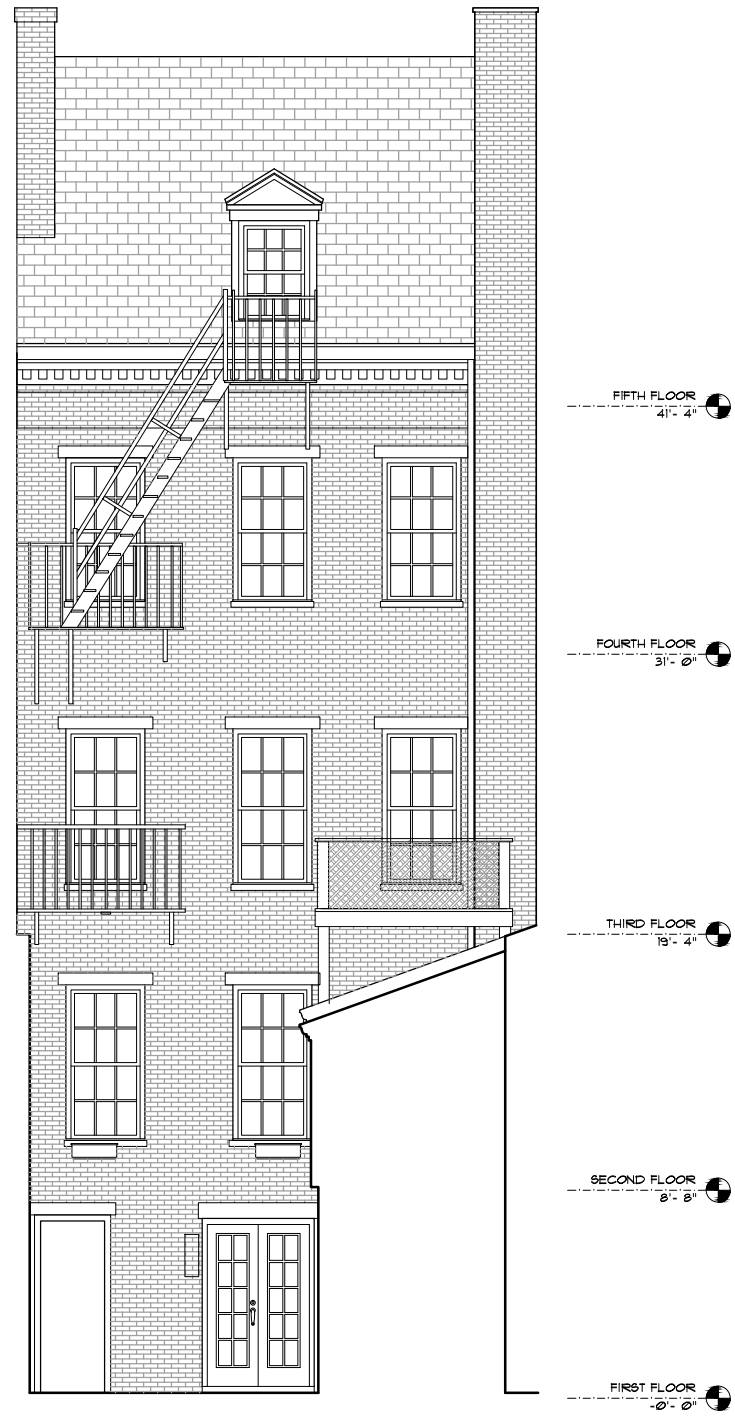


EXISTING REAR FACADE PHOTOS FROM CEDAR LANE WAY

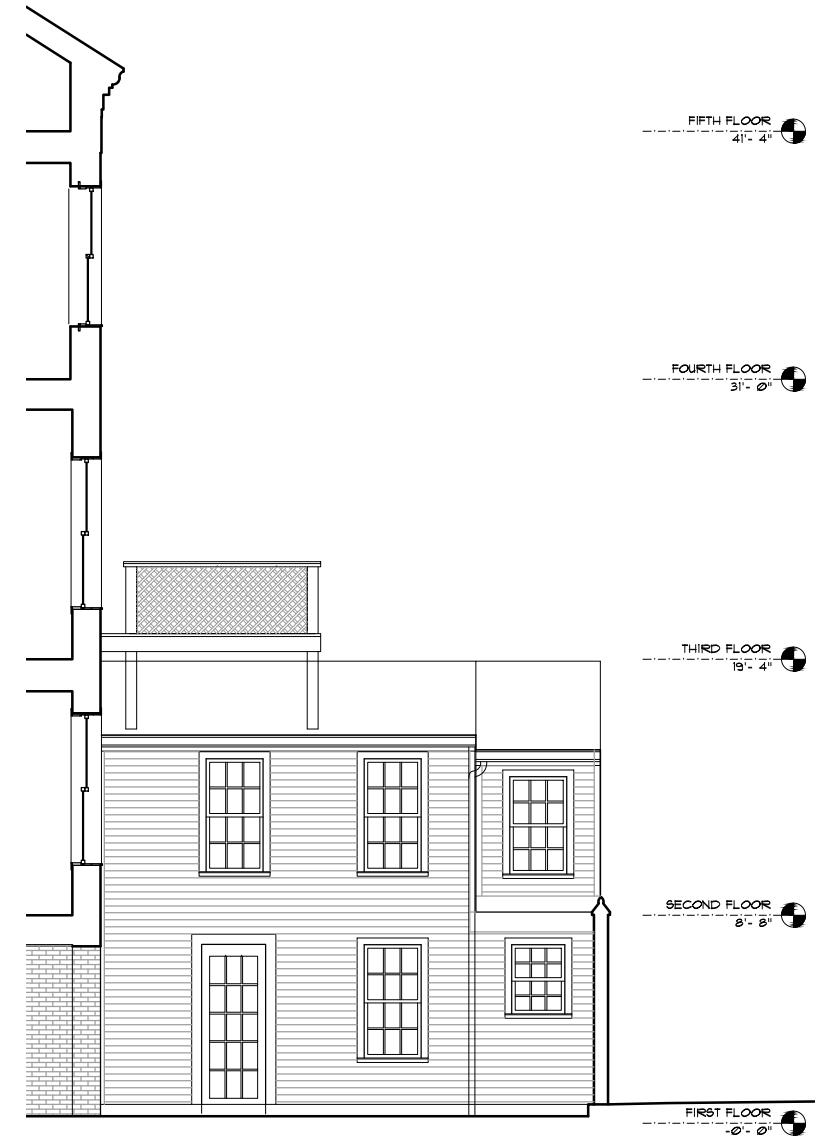




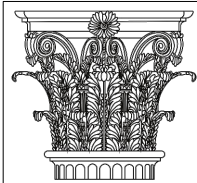
① FRONT ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



② REAR ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



③ REAR-SIDE ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



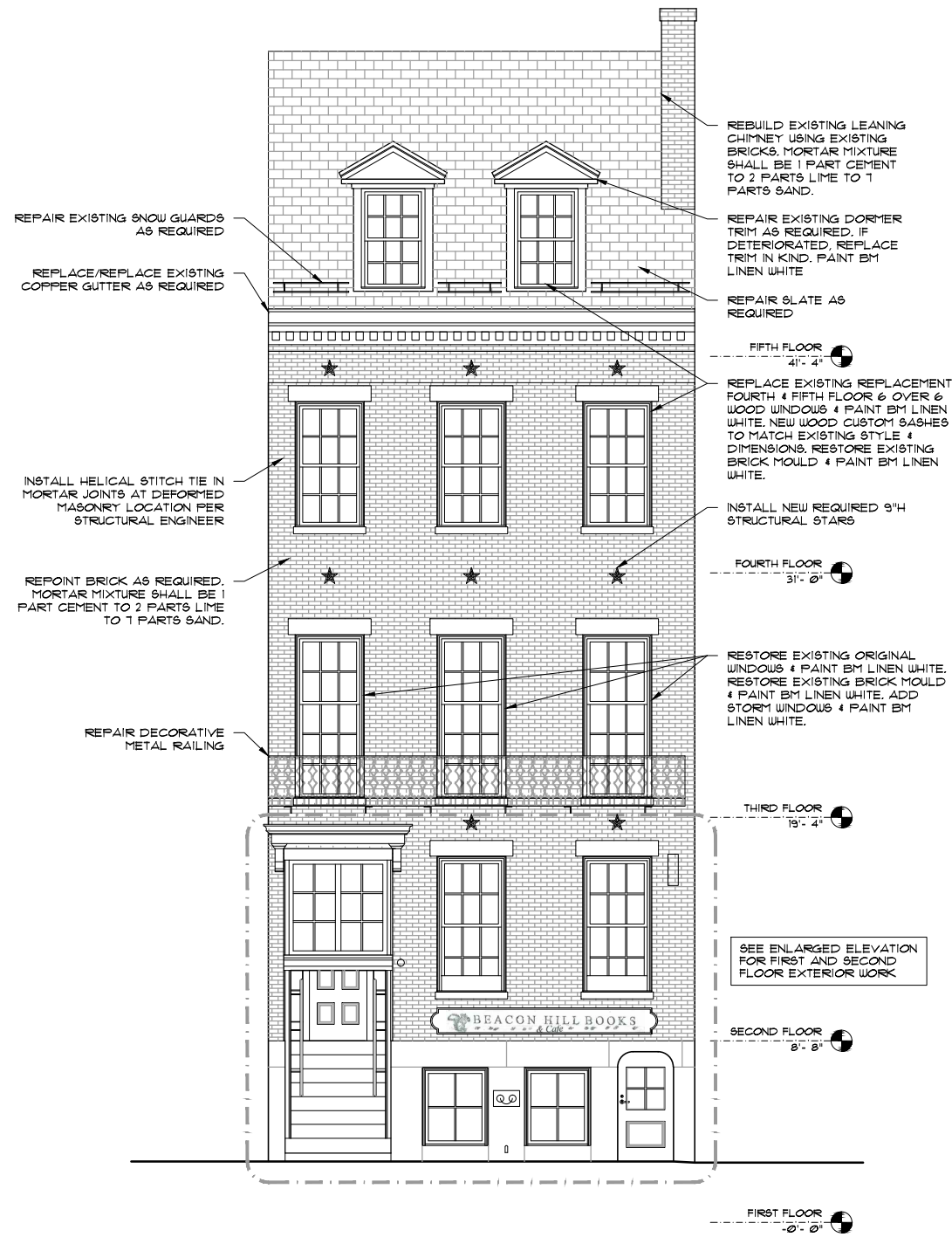
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ARCHITECTS LLC
 Classic Architecture
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 BOSTON, MA 02114

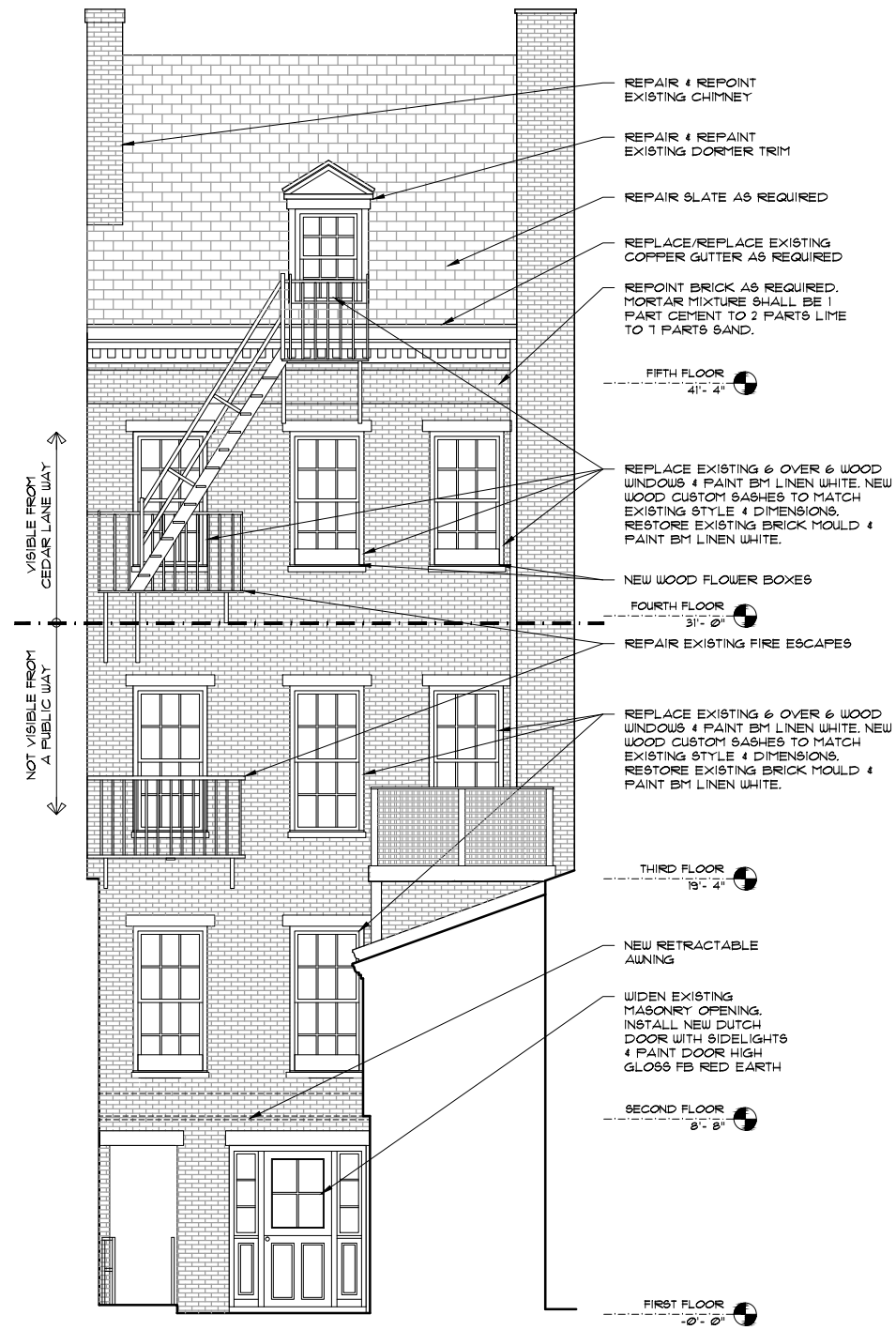
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 FRONT & REAR
 ELEVATIONS
 DATE: APRIL 30, 2020
 SCALE: AS NOTED
 DRAWN: JGUR & RJP
 CHECKED: JGUR & MZF

SHEET NO.

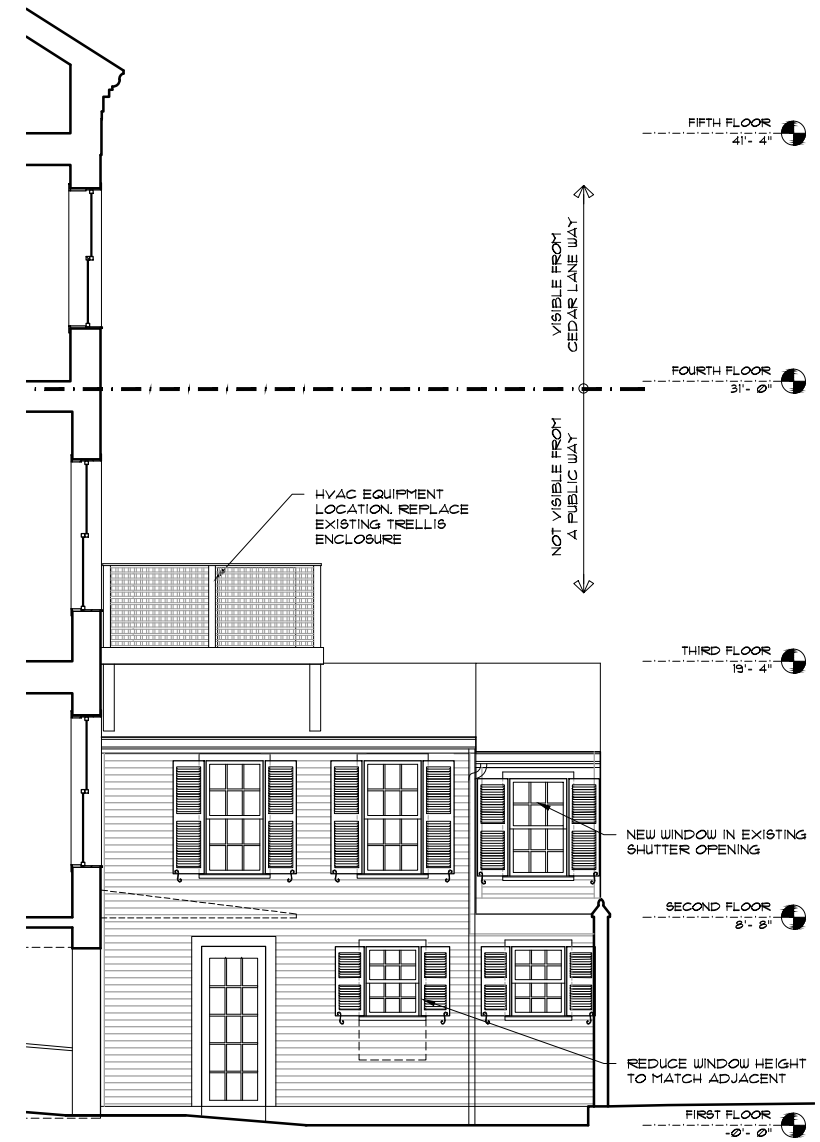
EC3.01



1 FRONT ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"




2 REAR ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



3 REAR-SIDE ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



SECOND FLOOR
8'-8" 

① ENLARGED FRONT ELEVATION
FULL: 1" = 1'-0", HALF: 1/2" = 1'-0"



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SHEET TITLE: EXISTING CONDITIONS ENLARGED FRONT ELEVATION	SHEET NO. EC3.02
DATE: APRIL 30, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZF	

RESTORE & PAINT BM
LINEN WHITE

RESTORE TRANSOM
WINDOW & PAINT BM
LINEN WHITE

ALARM BELL AND
STOBE COMBINATION

RESTORE EXISTING
DOOR PAINT HIGH
GLOSS FB RED EARTH

RESTORE EXISTING
SIDELIGHTS & TRANSOM
BEYOND

INSTALL TWO NEW SIMPLE
CAST IRON HANDRAILS W/
LAMBS TONGUE ENDS

FIRE DEPARTMENT
POTTER ROEMER
SIAMESE CONNECTION
36" ABOVE SIDEWALK



PROPOSED HANGING SIGN
- REUSE EXISTING 48" BRACKET
- NEW SIGN DESIGN TBD (SAME SIZE
OR SMALLER THAN EXISTING 42"x36")

STRIP BLACK PAINT IF
FEASIBLE OR PAINT TO
MATCH EXISTING STONE

EXISTING SIGN BRACKET
LOCATION. NEW SIGN SHALL
USE EXISTING HARDWARE &
HOLES

RESTORE EXISTING ORIGINAL
WINDOWS & PAINT BM LINEN
WHITE. RESTORE EXISTING
BRICK MOULD & PAINT BM
LINEN WHITE. ADD STORM
WINDOWS & PAINT BM LINEN
WHITE.

NEW WOOD
WINDOW BOXES

NEW SIGN DESIGN IN EXISTING
LOCATION. NEW SIGN SHALL USE
EXISTING HARDWARE & HOLES

REPLACE EXISTING FIXED WINDOWS
WITH TRUE DIVIDED 2 OVER 2
CASEMENT WINDOWS. BRICK MOULD
TO MATCH EXISTING. 7/8" MUNTINS TO
MATCH NEW DOUBLE HUNG WINDOW
DETAIL

REPAIR EXISTING CRACK
IN GRANITE

SECOND FLOOR
8'-8"

CAUTION SIGN FOR LOW
HEADROOM TO BE
DISCUSSED

SHAVE EXISTING SLOPED
"OUCH" ON STONE. EXISTING
STONE OUTLINE TO REMAIN

FLUSH OUTLET DRAIN. SEE
ELKHART BRASS MFG SPEC
SHEET

INSTALL NEW DOOR TO
GARDEN LEVEL & PAINT BM
BLACK. NEW LEVER & LOCK
IN NON-LACQUERED BRASS
(BALDWIN 5125 LEVER)

1 ENLARGED FRONT ELEVATION
FULL: 1" = 1'-0", HALF: 1/2" = 1'-0"

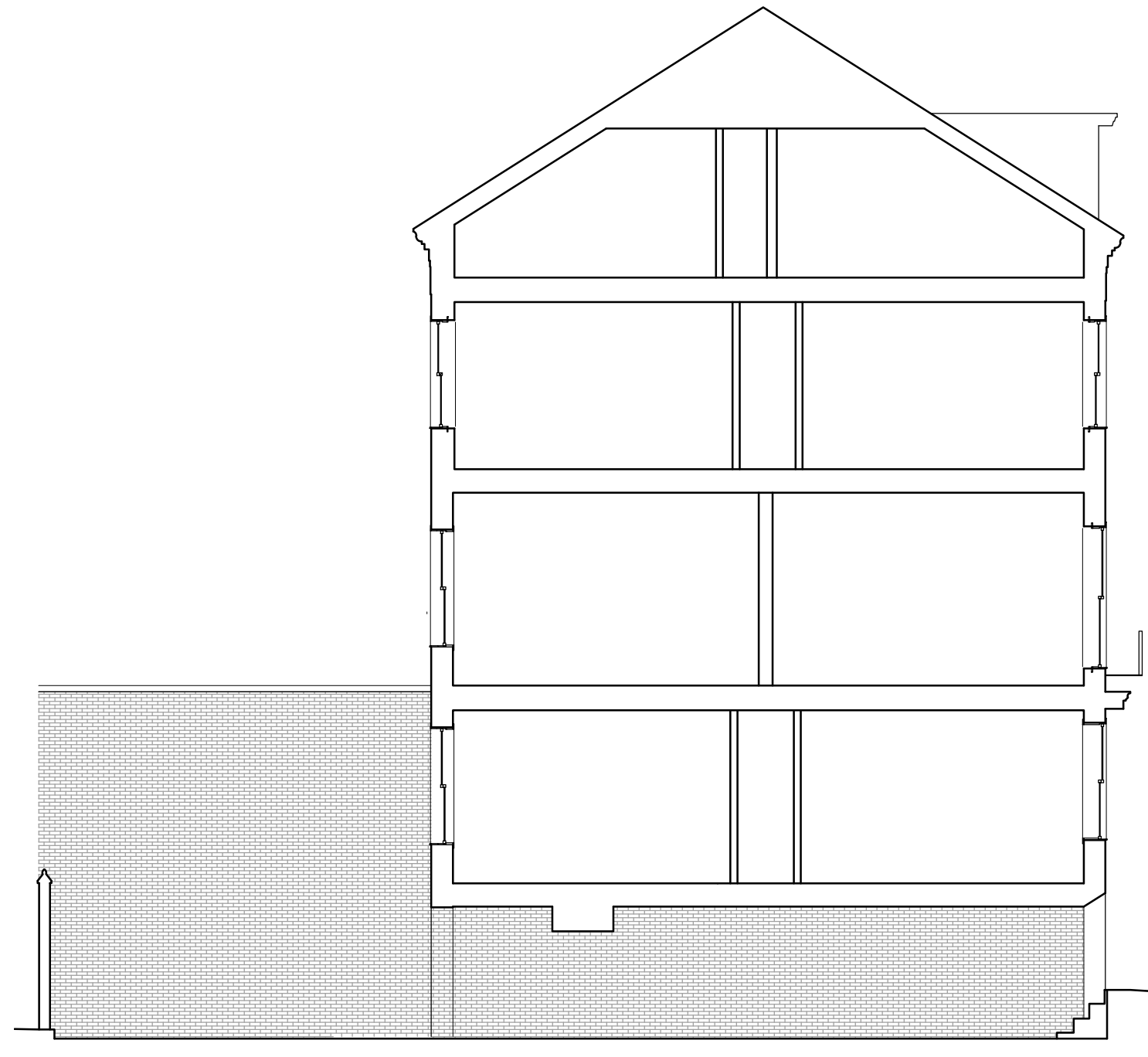
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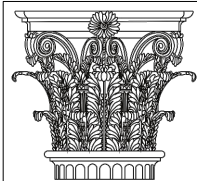
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DATE:	APRIL 30, 2020
SCALE:	AS NOTED
DRAWN:	JGUR & RJP
CHECKED:	JGUR & MZF

SHEET NO.
A3.02



① — EXISTING BUILDING SECTION C
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

② — EXISTING BUILDING SECTION D
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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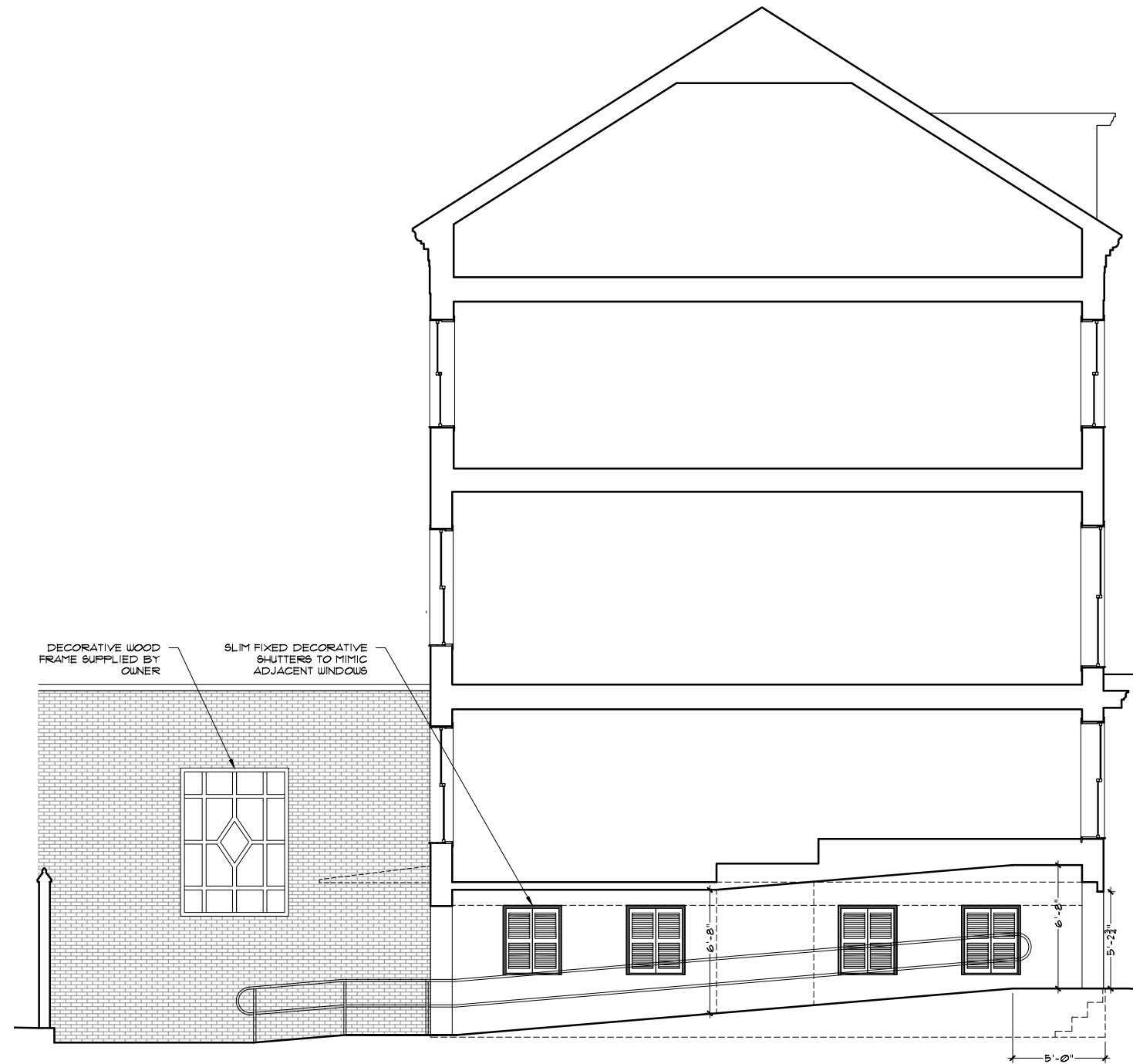
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 BUILDING SECTIONS
 DATE: APRIL 30, 2020
 SCALE: AS NOTED
 DRAWN: JGUR & RJP
 CHECKED: JGUR & MZF

SHEET NO.

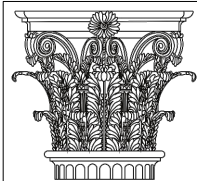
EC4.02



① PROPOSED BUILDING SECTION C
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



② PROPOSED BUILDING SECTION D
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



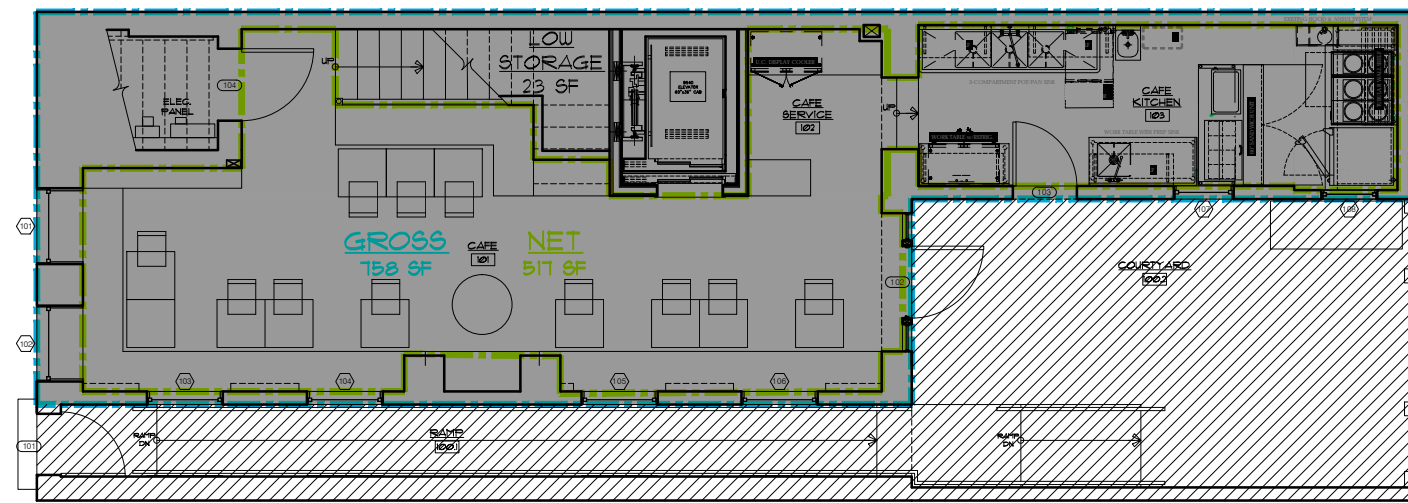
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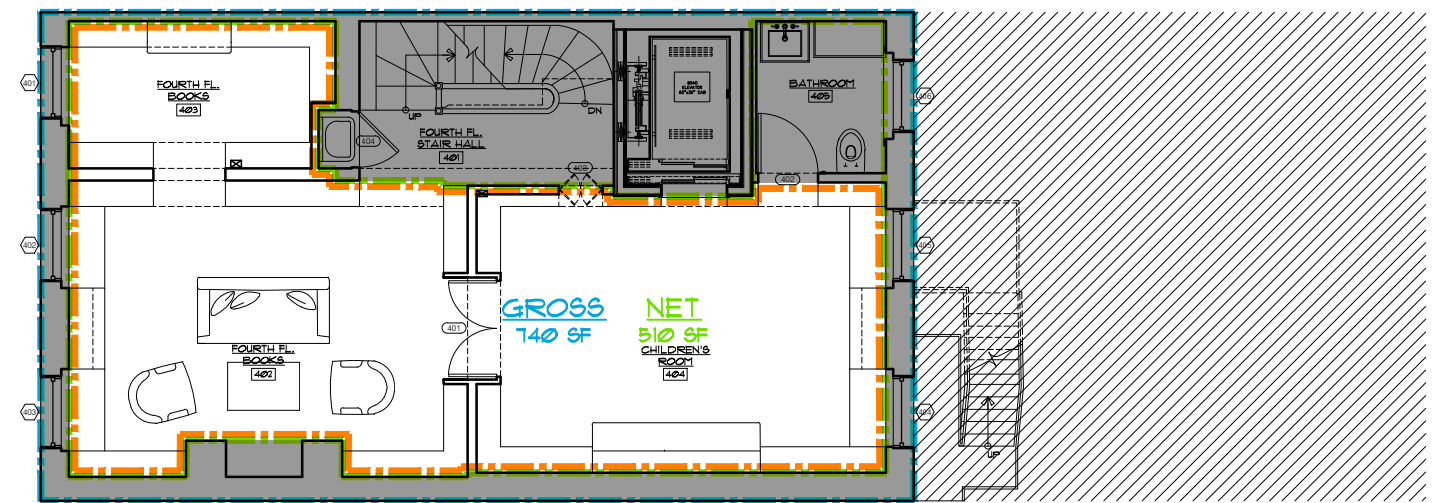
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 DATE: APRIL 30, 2020
 SCALE: AS NOTED
 DRAWN: JGUR & RJP
 CHECKED: JGUR & MZF

SHEET NO.

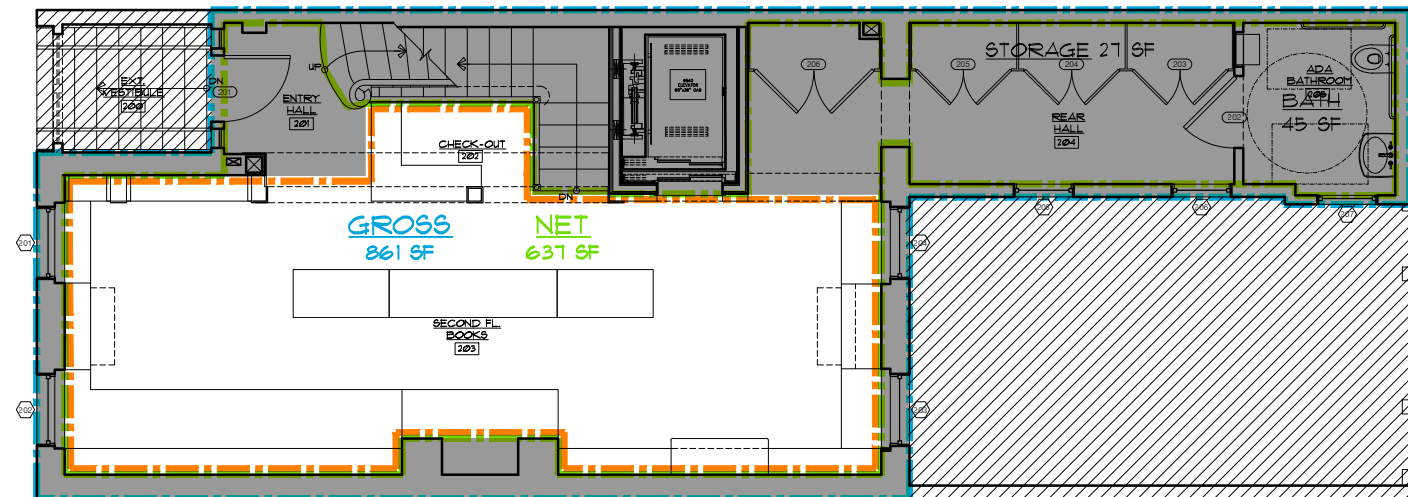
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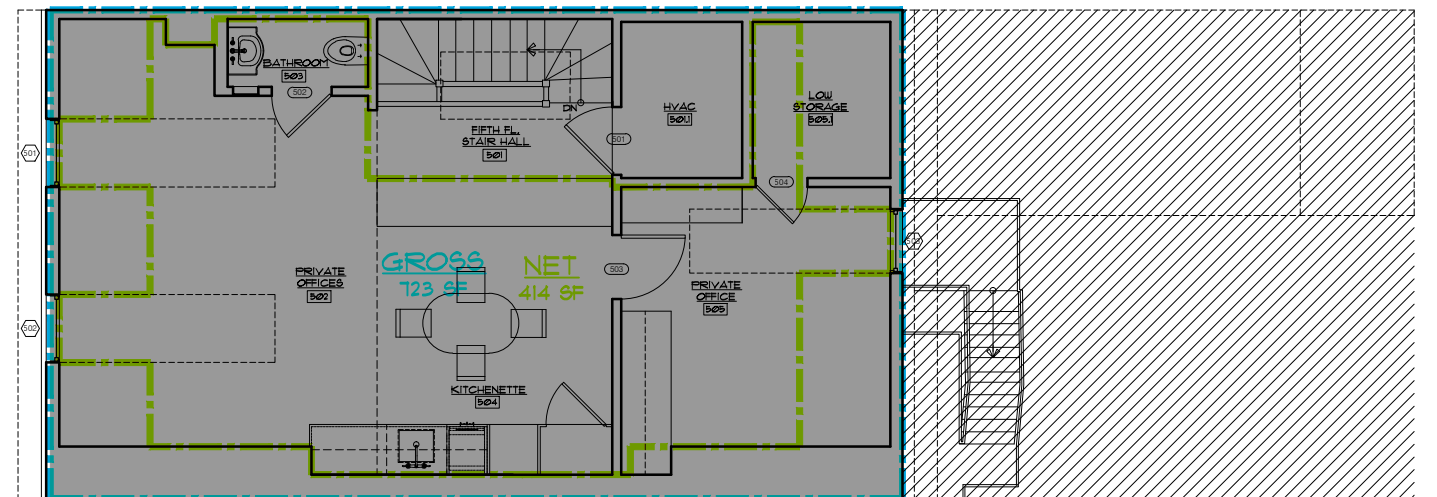
1 FIRST FLOOR PLAN
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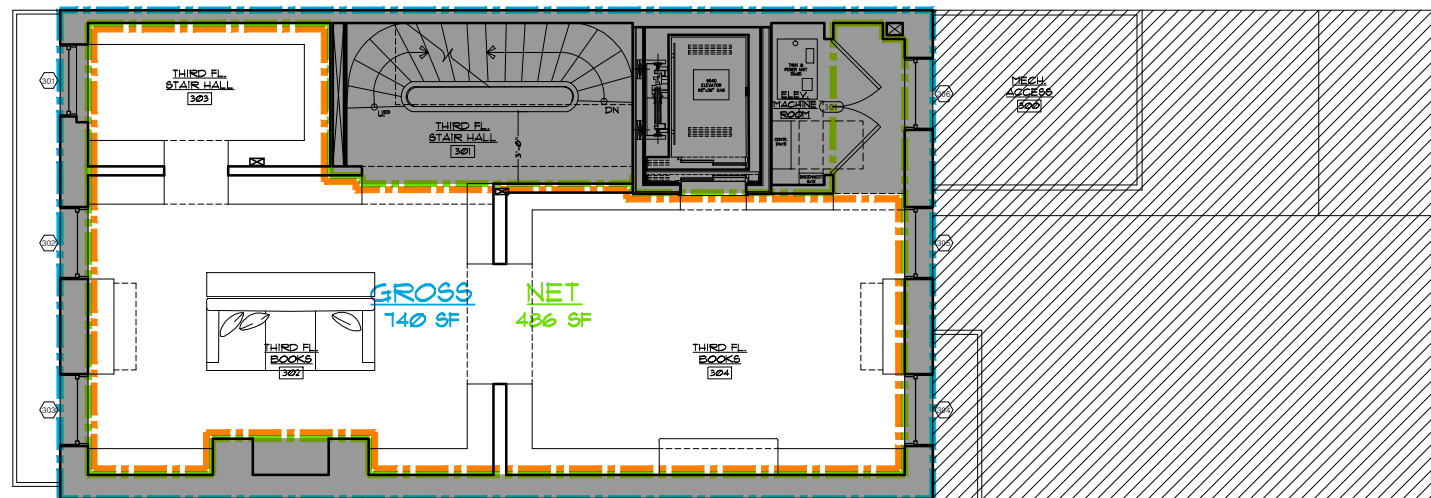
4 FOURTH FLOOR PLAN
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



5 FIFTH FLOOR PLAN
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



3 THIRD FLOOR PLAN
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

71 Charles Street Square Footage Summary							
	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR	TOTAL	
BOOK RETAIL SQUARE FOOTAGE	0	424	466	473	0	BOOK RETAIL TOTAL	1363
NET SQUARE FOOTAGE	517	637	487	510	418	NET TOTAL	2569
GROSS SQUARE FOOTAGE	758	861	740	740	723	GROSS TOTAL	3822



71 CHARLES STREET

BOSTON, MA 02114



SHEET TITLE:
PROPOSED
FLOOR PLAN
SQUARE FOOTAGES
DATE: MARCH 24, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
SK

EXISTING EXTERIOR/PASSAGEWAY PHOTOGRAPHS



REAR FACADE



PASSAGEWAY

EXISTING BRICK FACADE PHOTOGRAPHS



**BOWING BRICK FACADE
AT WINDOW**



**BOWING BRICK FACADE
AT WINDOW**



**BOWING BRICK FACADE
AT WINDOW**

EXISTING INTERIOR PHOTOGRAPHS



FLOODED KITCHEN FLOOR



KITCHEN

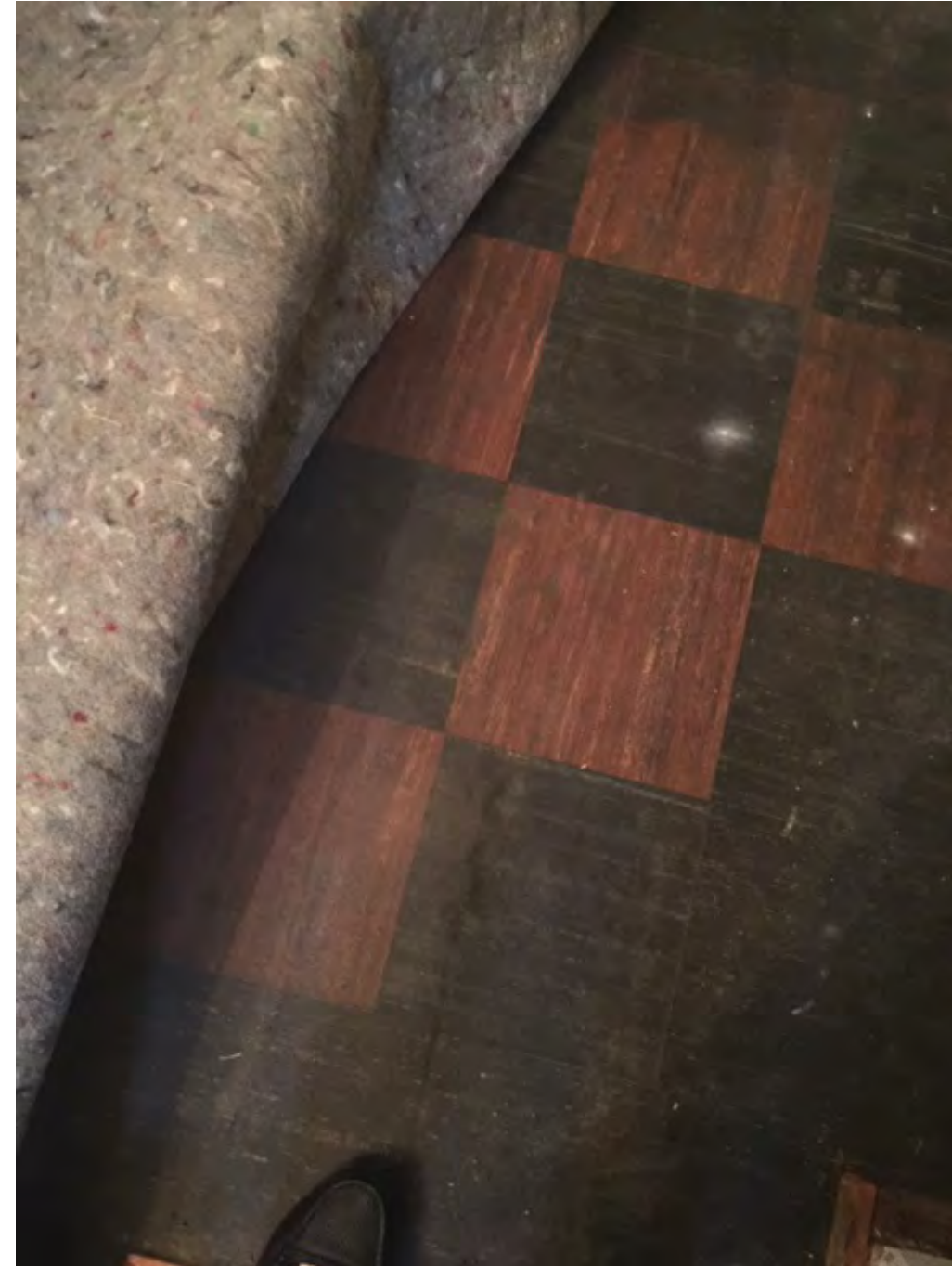


KITCHEN

EXISTING INTERIOR PHOTOGRAPHS



EXISTING WIRING



ASBESTOS FLOOR TILE