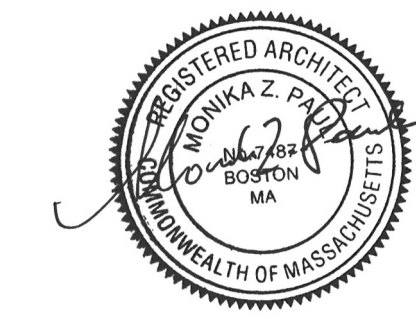


71 CHARLES STREET

BOSTON, MASSACHUSETTS

PERMIT SET



Schedule of Drawings

JANUARY 29, 2020

Pauli & Uribe Architects LLC
 Architect
 121 Mount Vernon Street | Boston, MA 02108
 617-221-0954 Office

Sht. No.	Title
T000	TITLE SHEET
	PLOT PLAN BY WATERMAN ASSOCIATES, CANTON, MA
	EC1 - EXISTING - FLOOR PLANS
EC1.01	EXISTING FIRST FLOOR PLAN
EC1.02	EXISTING SECOND FLOOR PLAN
EC1.03	EXISTING THIRD FLOOR PLAN
EC1.04	EXISTING FOURTH FLOOR PLAN
EC1.05	EXISTING FIFTH FLOOR PLAN
	EC3 - EXISTING - EXTERIOR ELEVATIONS
EC3.01	EXISTING FRONT & REAR ELEVATIONS
EC3.02	EXISTING ENLARGED FRONT ELEVATION
	EC4 - EXISTING - BUILDING SECTIONS
EC4.01	EXISTING BUILDING SECTIONS A & B
EC4.02	EXISTING BUILDING SECTION C
	A1 - PROPOSED - FLOOR PLANS
A1.01	PROPOSED FIRST FLOOR PLAN
A1.02	PROPOSED SECOND FLOOR PLAN
A1.03	PROPOSED THIRD FLOOR PLAN
A1.04	PROPOSED FOURTH FLOOR PLAN
A1.05	PROPOSED FIFTH FLOOR PLAN
	A3 - PROPOSED - EXTERIOR ELEVATIONS
A3.01	PROPOSED FRONT & REAR ELEVATIONS
A3.02	PROPOSED ENLARGED FRONT ELEVATION
A3.03	PROPOSED VESTIBULE DETAILS
	A4 - PROPOSED - BUILDING SECTIONS
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	A5 - PROPOSED - INTERIOR ELEVATIONS
A5.01	PROPOSED FIRST FLOOR INTERIOR ELEVATIONS
A5.02	PROPOSED SECOND FLOOR INTERIOR ELEVATIONS
A5.03	PROPOSED THIRD FLOOR INTERIOR ELEVATIONS
A5.04	PROPOSED FOURTH FLOOR INTERIOR ELEVATIONS
A5.05A	PROPOSED FIFTH FLOOR INTERIOR ELEVATIONS
A5.05B	PROPOSED FIFTH FLOOR INTERIOR ELEVATIONS
	A8 - PROPOSED - ELECTRICAL PLANS
A8.01	PROPOSED FIRST FLOOR ELECTRICAL PLAN
A8.02	PROPOSED SECOND FLOOR ELECTRICAL PLAN
A8.03	PROPOSED THIRD FLOOR ELECTRICAL PLAN
A8.04	PROPOSED FOURTH FLOOR ELECTRICAL PLAN
A8.05	PROPOSED FIFTH FLOOR ELECTRICAL PLAN

PROJECT SUMMARY:

LOT FALLS UNDER TWO DISTRICTS: L-2-65 AND H-2-65. UNDER ARTICLE 12, TRANSITION ZONING, THE L USE CAN MOVE 30 FT INTO THE H DISTRICT. THIS PUTS THE ENTIRE MAIN 5-LEVEL STRUCTURE IN THE L DISTRICT AND LEAVES THE REAR PORTION OF THE 2-STORY ELL IN THE H DISTRICT.

CURRENT USE:
 LOT AREA: 1,120 SF - GROSS FLOOR AREA: 3,822 SF - F.A.R: 3.41
 EXISTING RESTAURANT ON FIRST AND SECOND LEVEL WITH THREE RESIDENTIAL UNITS AND OFFICES ABOVE

PROPOSED USE:
 LOT AREA: 1,120 SF - GROSS FLOOR AREA: 3,822 SF - F.A.R: 3.41 (NO CHANGE)
 1ST LEVEL: CONTINUED RESTAURANT/CAFE USE WITH KITCHEN IN THE ELL
 2ND TO 4TH LEVEL: BOOKSTORE INCLUDING CHILDREN'S BOOKS
 5TH LEVEL: BOOKSTORE OFFICES

AN ELEVATOR AND ACCESSIBLE RAMP ARE PROPOSED AS REQUESTED BY THE ARCHITECTURAL ACCESS BOARD. THERE ARE NO PROPOSED ADDITIONS TO THE EXTERIOR OR TO THE EXISTING FLOOR AREA. WE RECEIVED BHAC APPROVAL (1.24.20) FOR ALL PROPOSED EXTERIOR REPAIRS AND CHANGES.

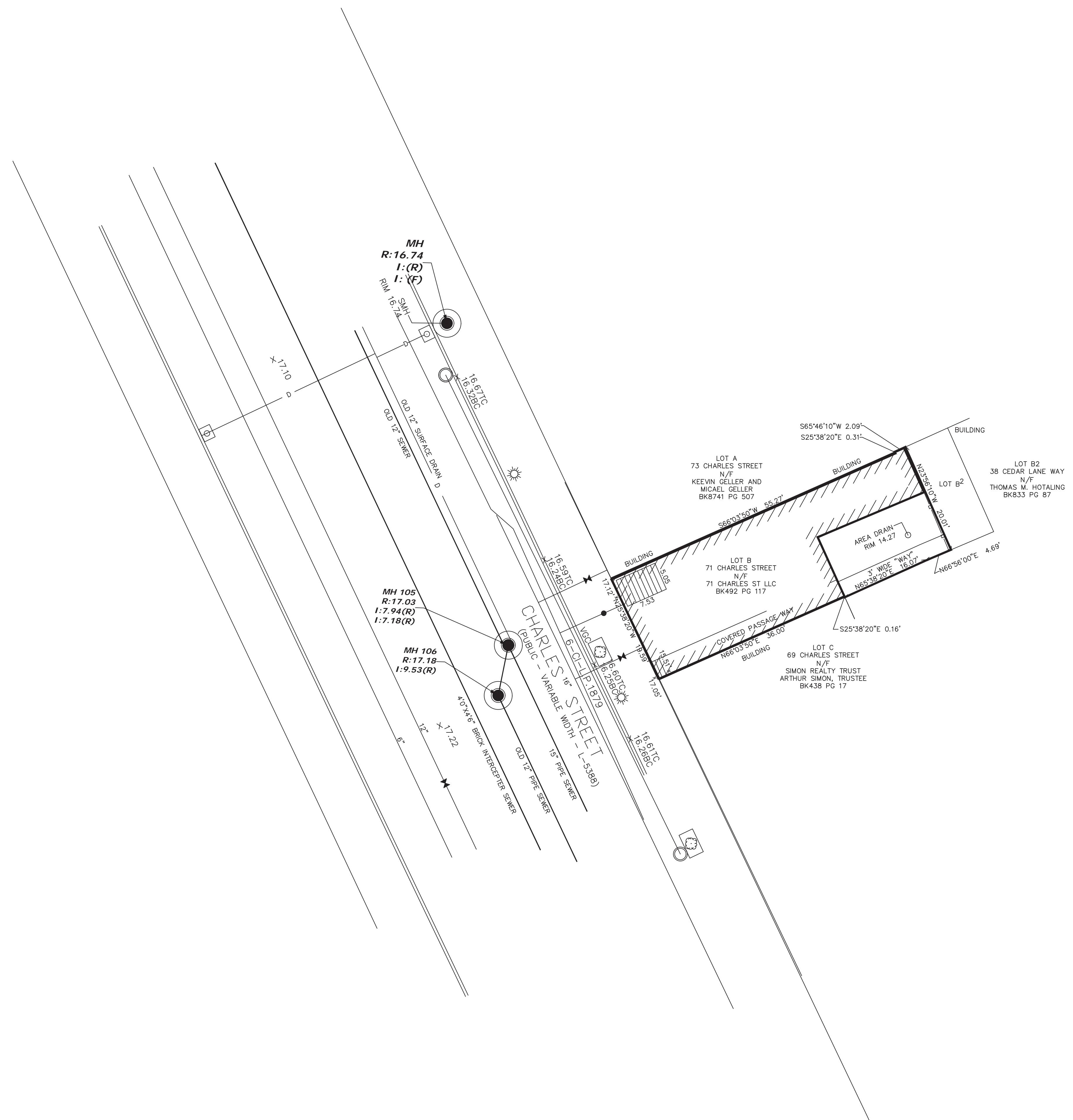
GENERAL REQUIREMENTS:

- ALL DIMENSIONS ARE TO WALL FINISH UNLESS INDICATED OTHERWISE.
- ALL EXTERIOR WALL FRAMING SHALL BE 2x6 CONSTRUCTION AND ALL INTERIOR WALL FRAMING SHALL BE 2x4 CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH INTERNATIONAL BUILDING CODE 2015 AND 780 CMR MASSACHUSETTS STATE BUILDING CODE MASSACHUSETTS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 2015 AND ALL LOCAL CODES, REGULATIONS AND BY-LAWS.
- ALL WORK SHALL COMPLY WITH 780 CMR APPENDIX AA STRETCH ENERGY CODE SECTION AA104 EXISTING BUILDINGS. ALL NEW HVAC DUCTING MUST BE SEALED.
- ALL WORKMANSHIP AND BUILDING MATERIALS SHALL MEET OR EXCEED RECOGNIZED INDUSTRY STANDARDS FOR EACH APPLICABLE TRADE.
- REFER TO OTHER DRAWINGS AS PART OF THIS SET FOR MORE DETAILED REQUIREMENTS REGARDING BUILDING MATERIALS, FOUNDATIONS AND STRUCTURAL DESIGN CRITERIA.
- BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLER DETECTION AND FIRE & SMOKE ALARM SYSTEM IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2015 AS APPLICABLE TO NEW CONSTRUCTION.

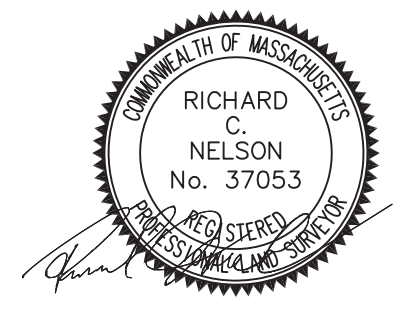
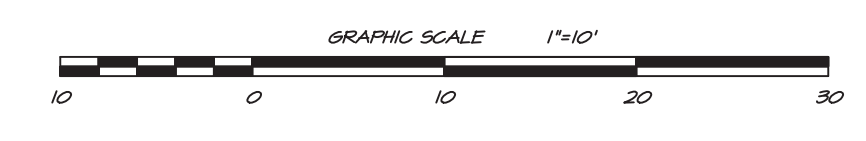
ZONING MAP:



RENDERING FOR SCHEMATIC DESIGN REFERENCE ONLY



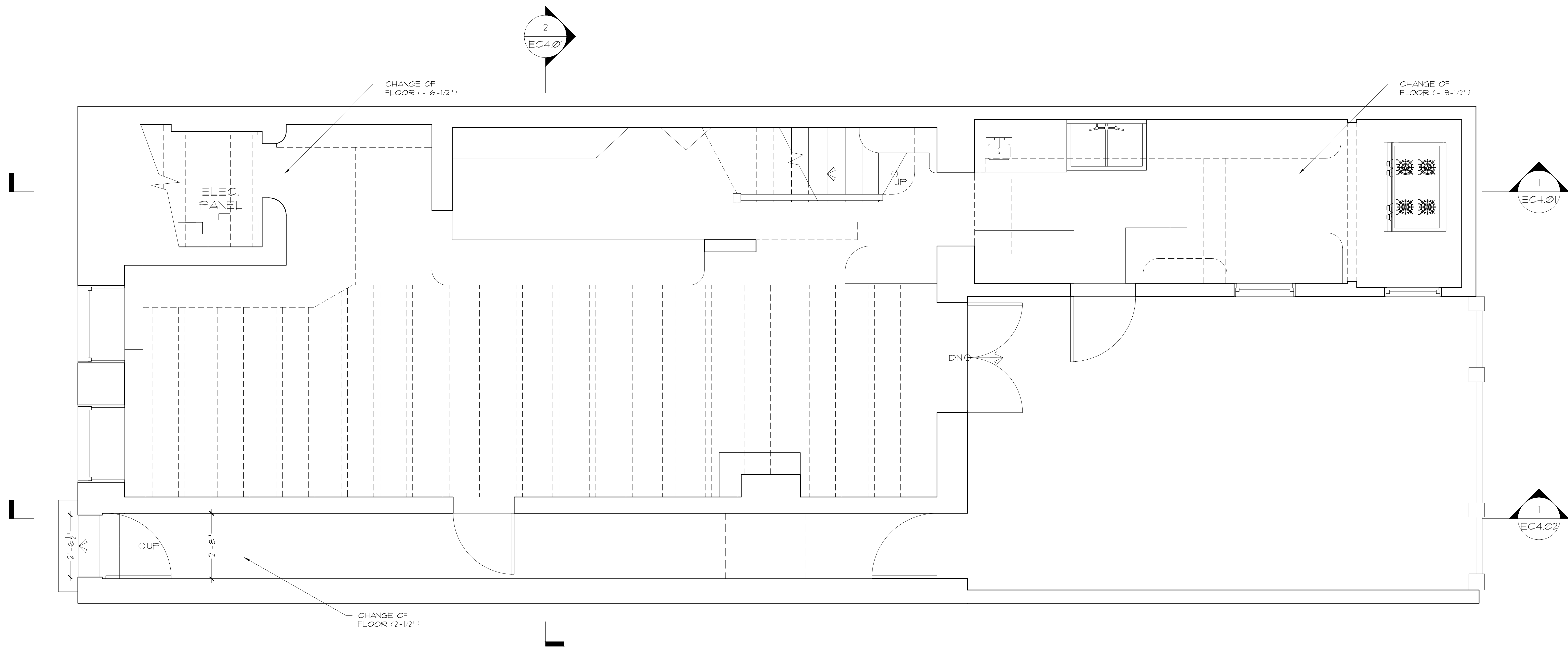
UNDERGROUND UTILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPINGS SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE. ADDITIONALLY, OTHER UTILITIES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE NOT APPARENT TO F.O. WATERMAN AND ASSOCIATES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL 811 BEFORE YOU DIG.



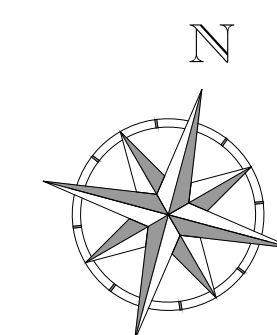
TOPOGRAPHIC SURVEY
71 CHARLES STREET
SUFFOLK COUNTY
BOSTON, MASSACHUSETTS

SITE NAME:
71 Charles Street

No.	Description	By	Date

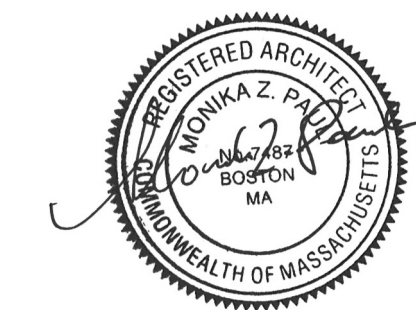


1 ——— EXISTING FIRST FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

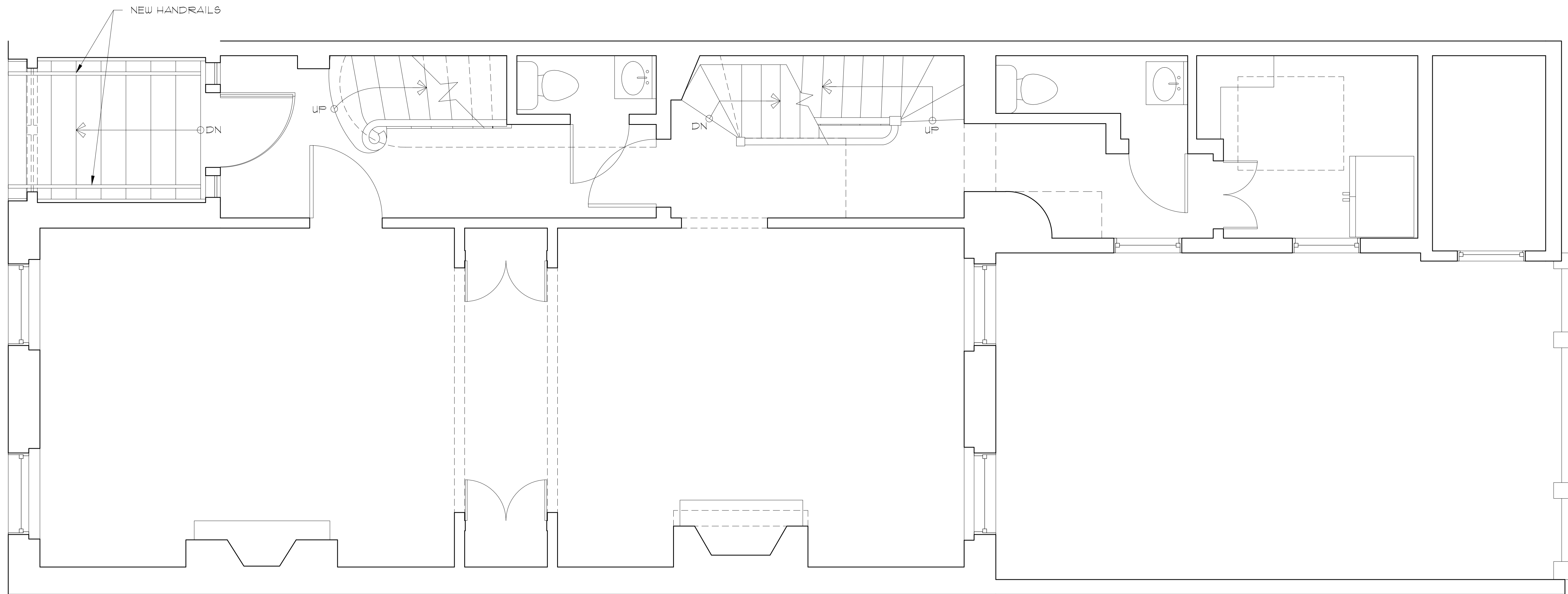



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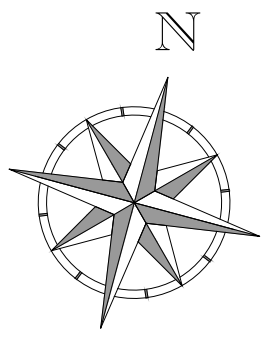
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 BOSTON, MA 02114



SHEET TITLE: EXISTING CONDITIONS FIRST FLOOR PLAN	SHEET NO. EC1.01
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	

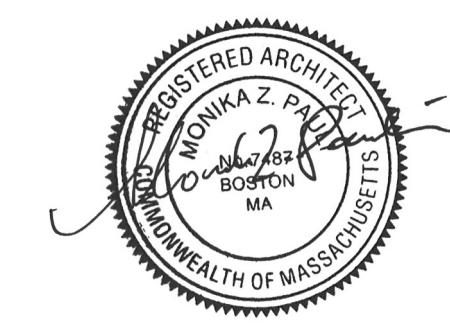


1 EXISTING SECOND FLOOR PLAN
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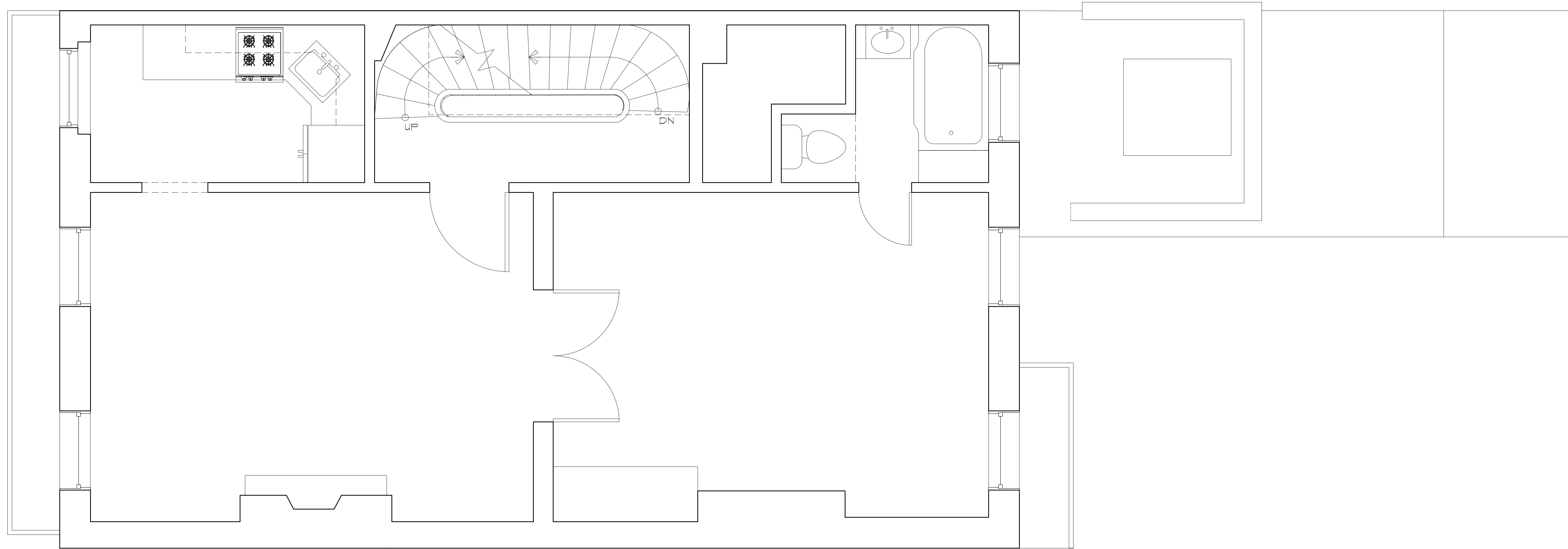


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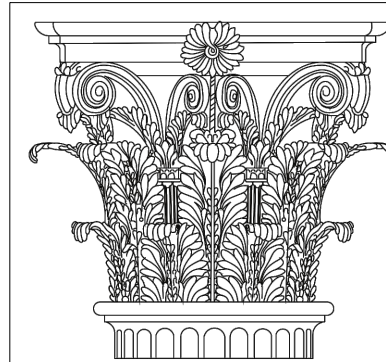
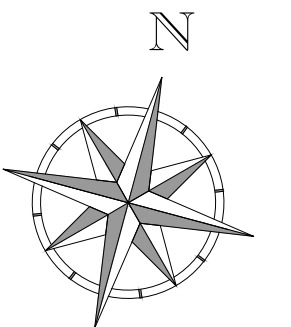
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SHEET TITLE: EXISTING CONDITIONS SECOND FLOOR PLAN	SHEET NO. EC1.02
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	

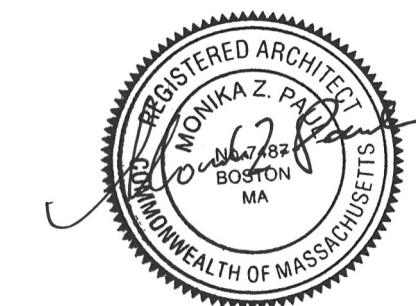


① EXISTING THIRD FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



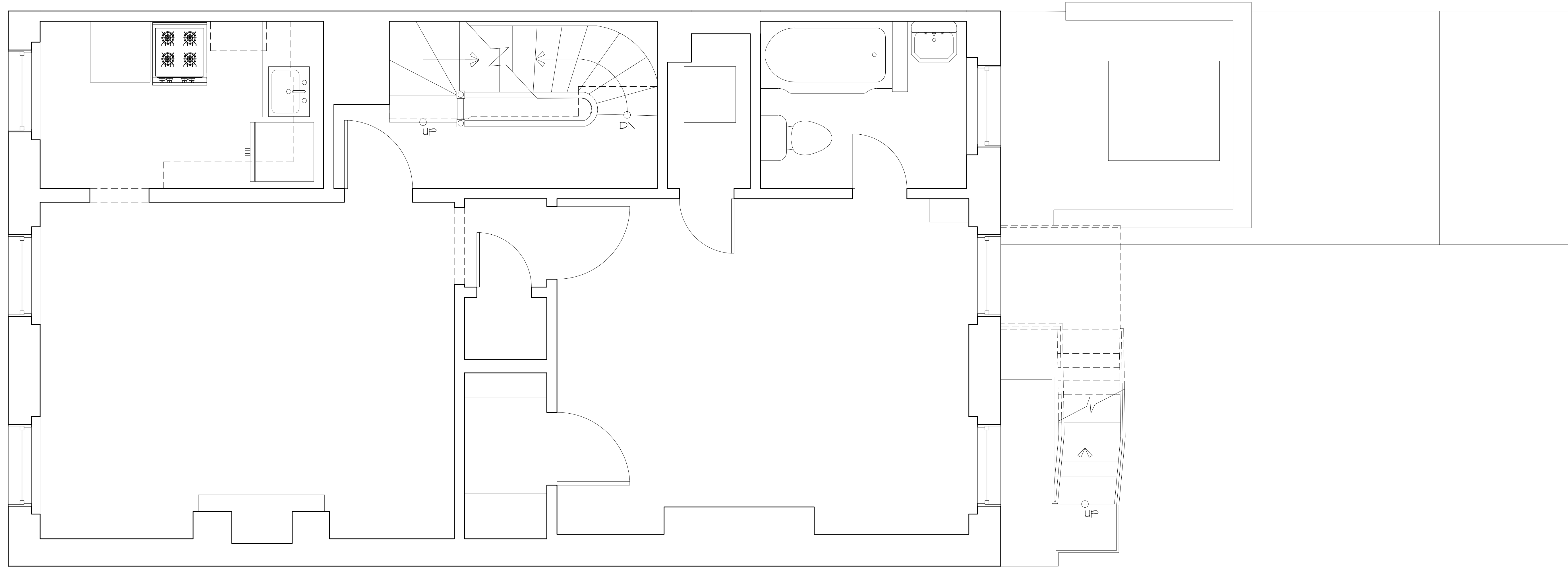
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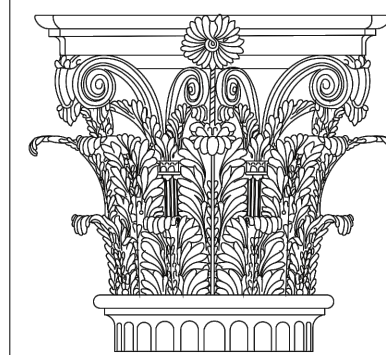
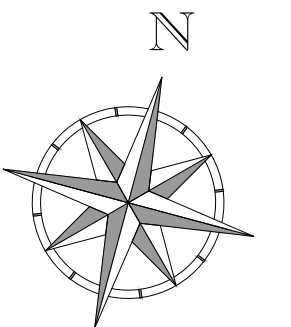


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 EXISTING CONDITIONS
 THIRD FLOOR PLAN
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 EC1.03

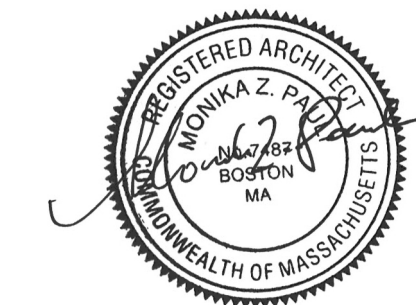


① EXISTING FOURTH FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



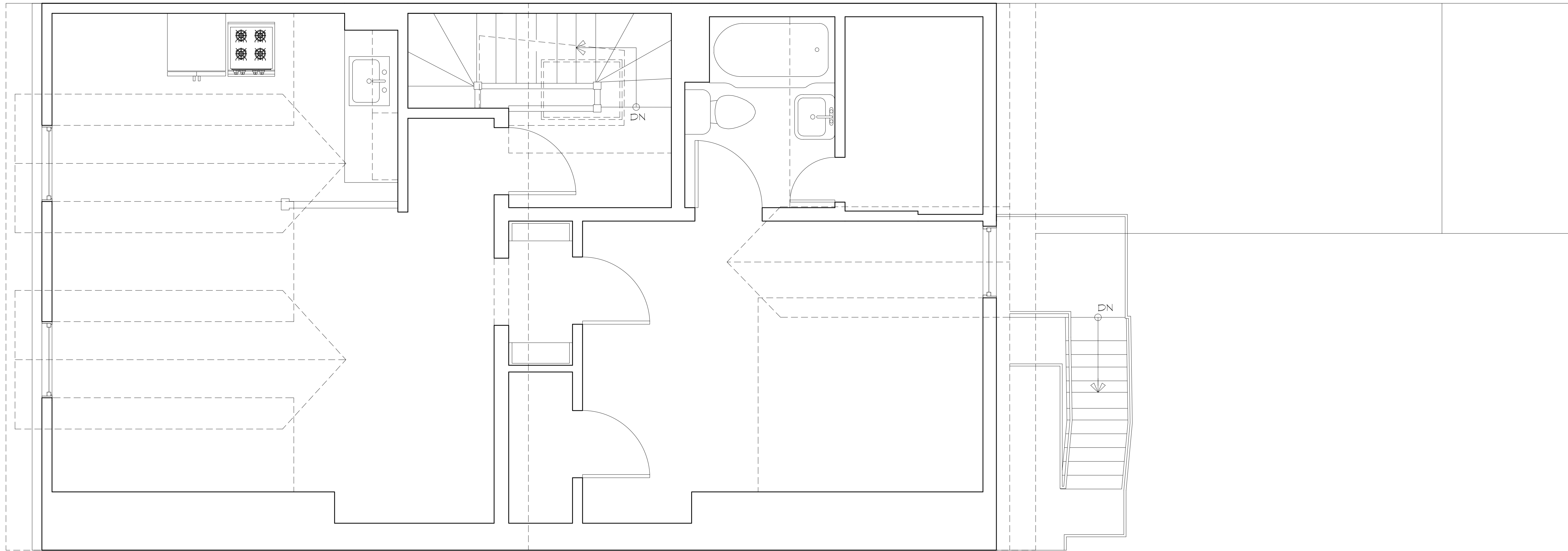
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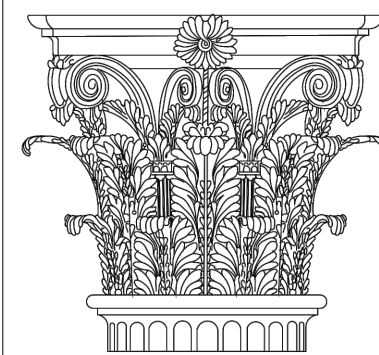
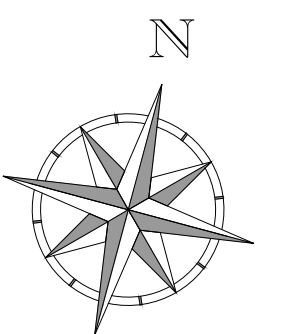
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 EXISTING CONDITIONS
 FOURTH FLOOR PLAN
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 EC1.04



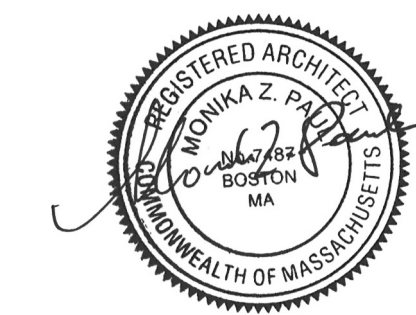
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EXISTING FIFTH FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



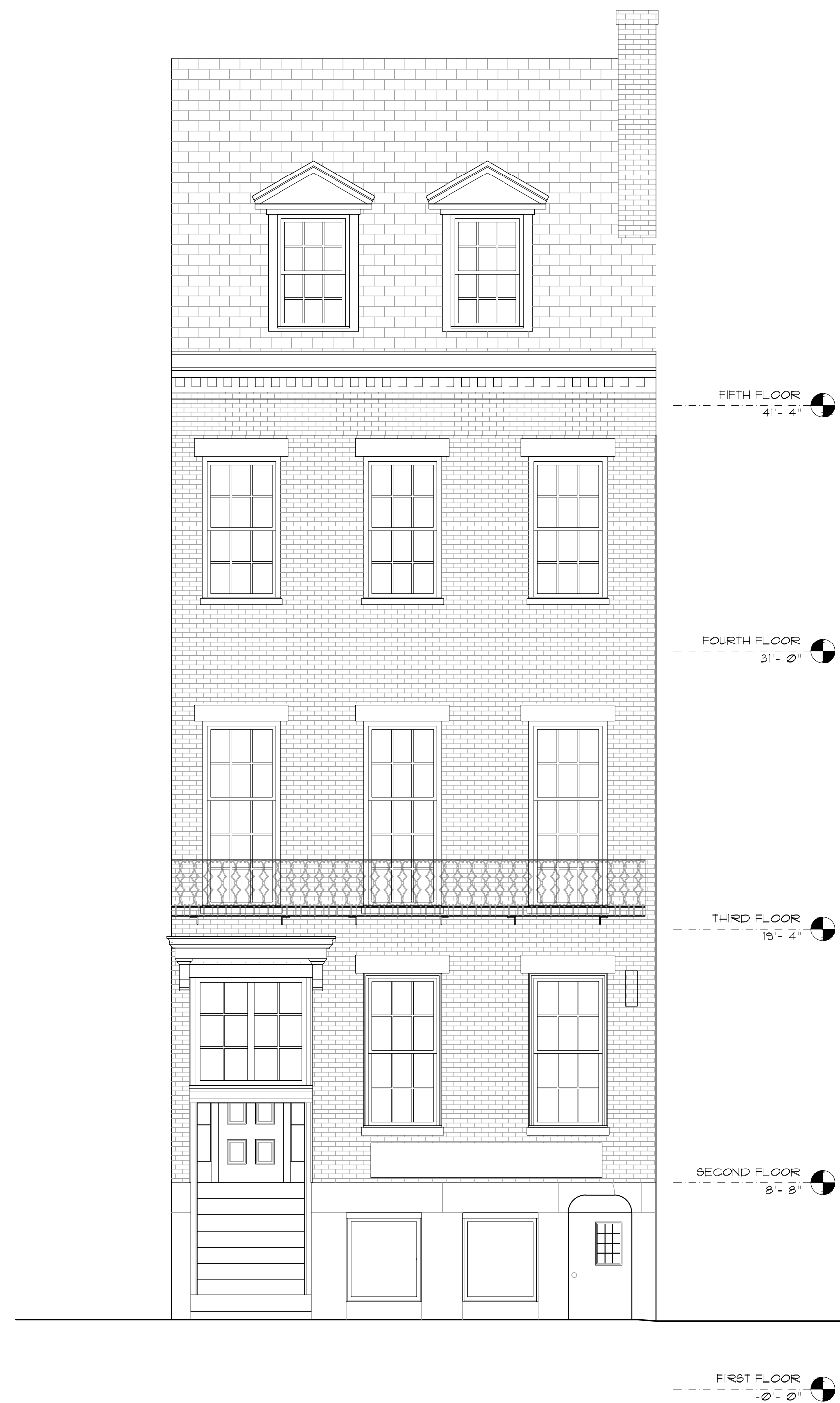
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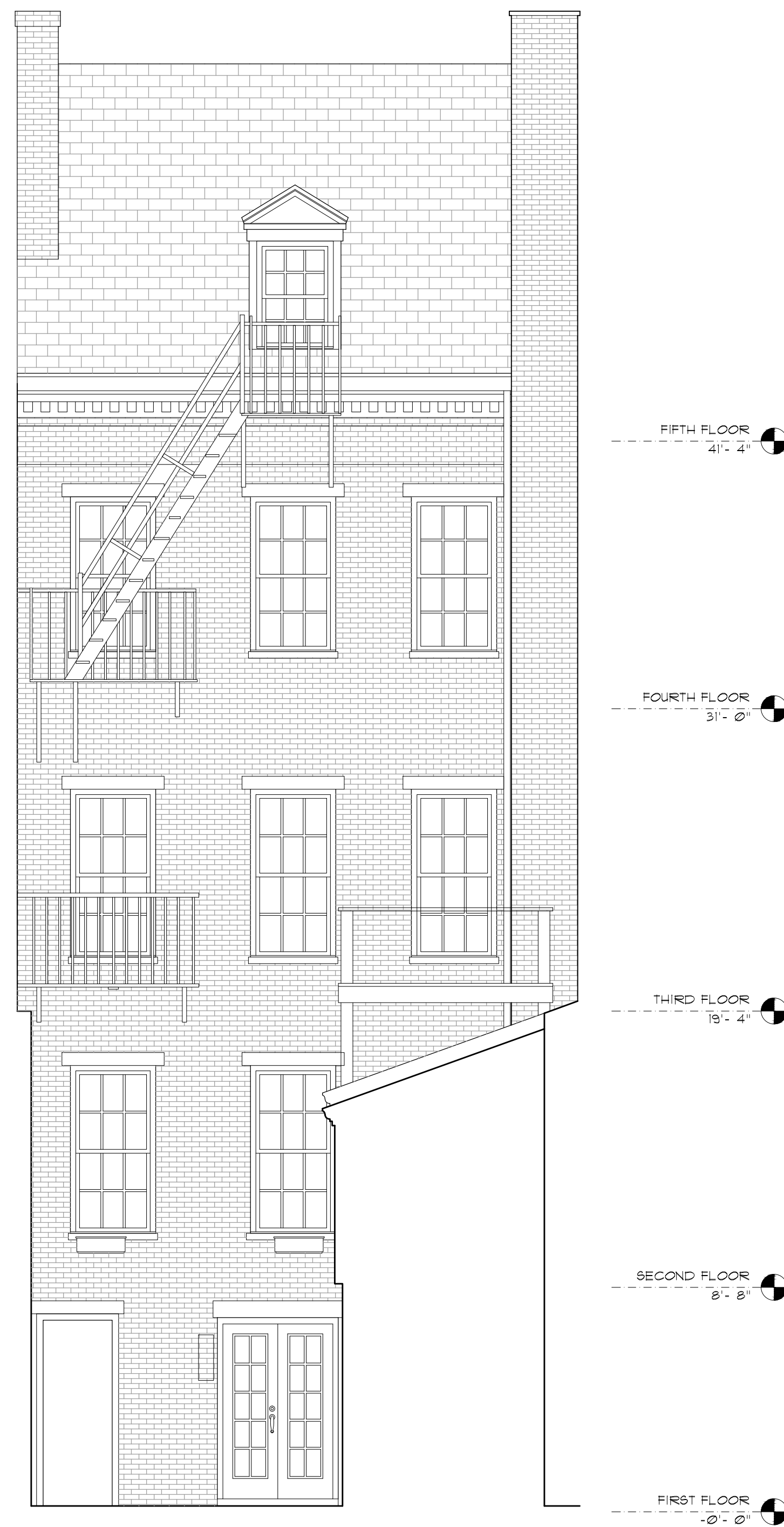
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 EXISTING CONDITIONS
 FIFTH FLOOR PLAN
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 EC1.05



1

FRONT ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



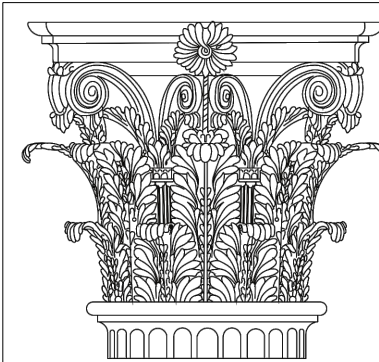
2

REAR ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



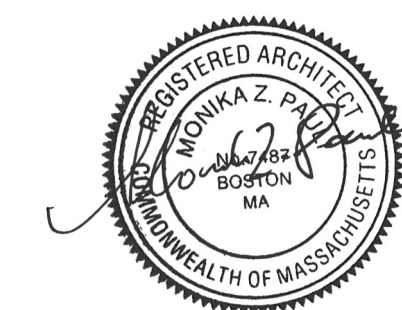
3

REAR-SIDE ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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SHEET TITLE:
EXISTING CONDITIONS
FRONT & REAR
ELEVATIONS
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.

EC3.01

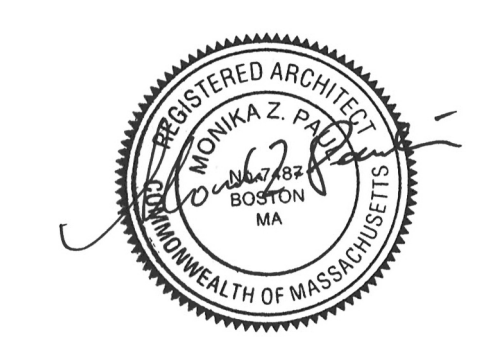


SECOND FLOOR
8'-8"

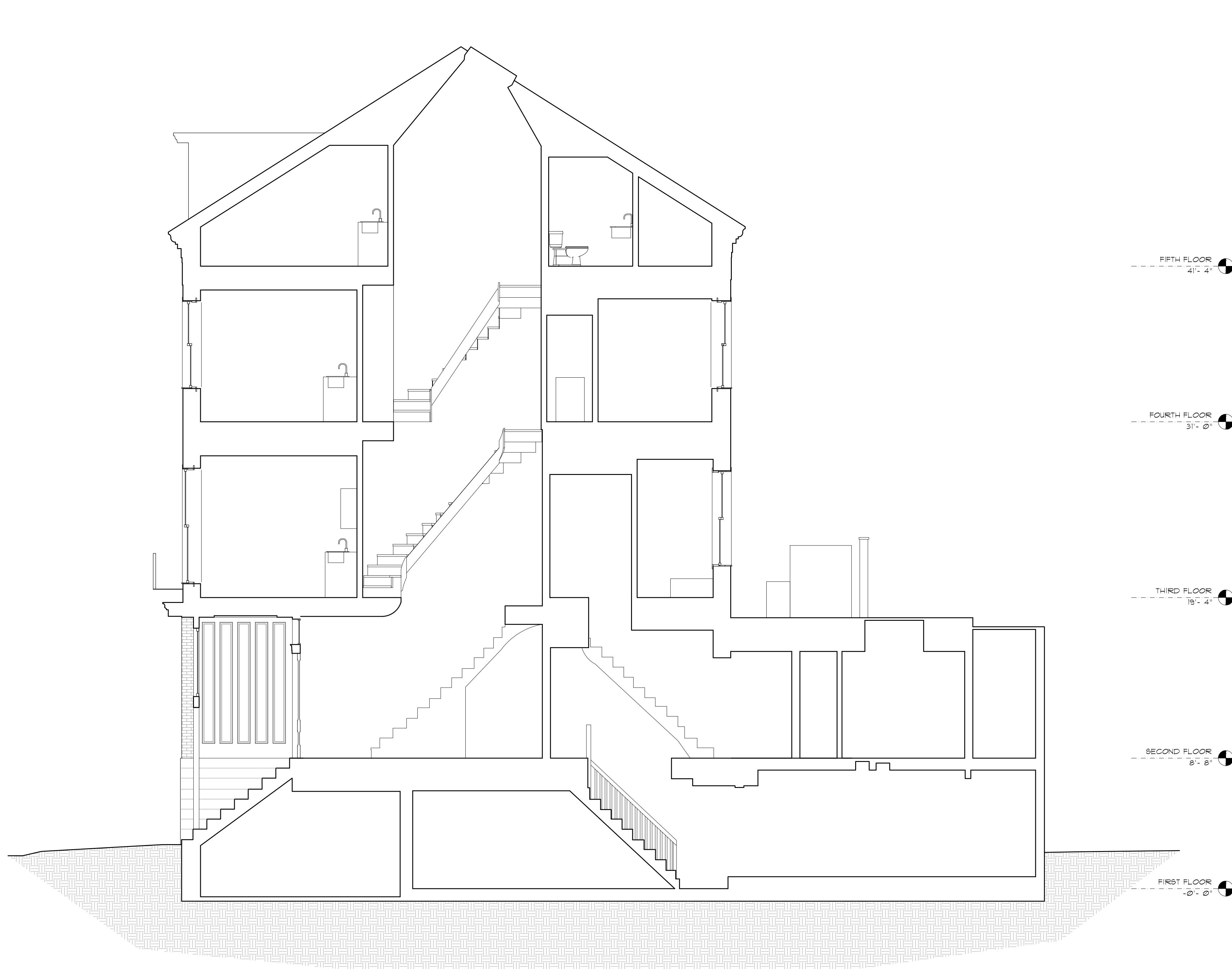
1 ENLARGED FRONT ELEVATION
FULL: 1" = 1'-0", HALF: 1/2" = 1'-0"

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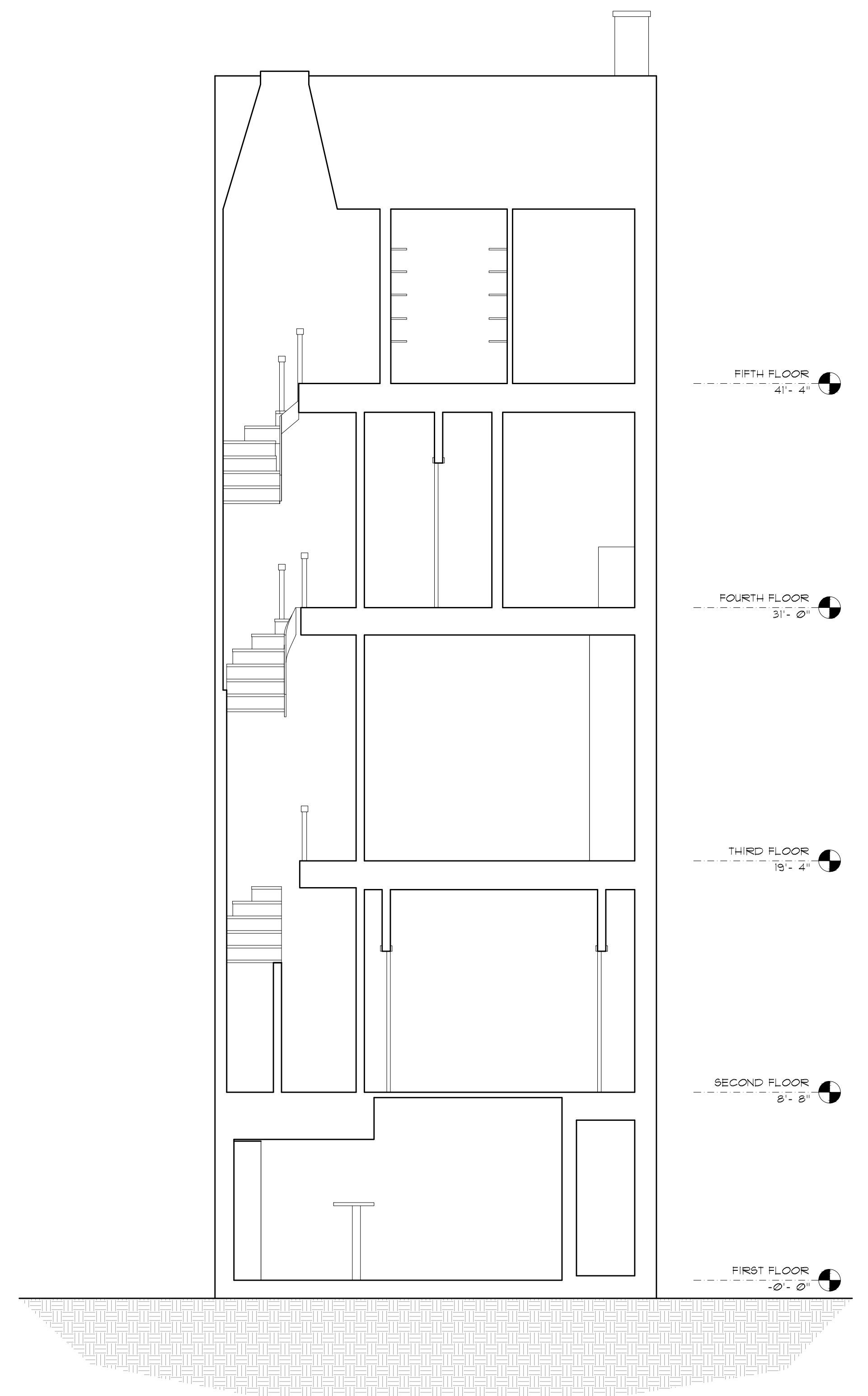
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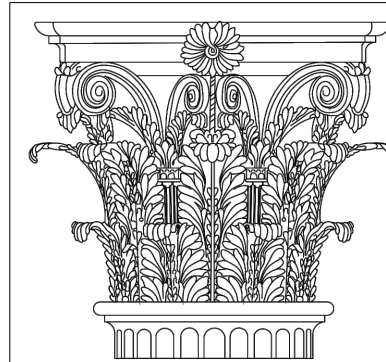
SHEET TITLE: EXISTING CONDITIONS ENLARGED FRONT ELEVATION	SHEET NO. EC3.02
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



1 EXISTING BUILDING SECTION A
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

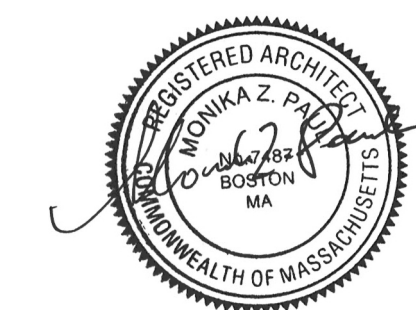


2 EXISTING BUILDING SECTION B
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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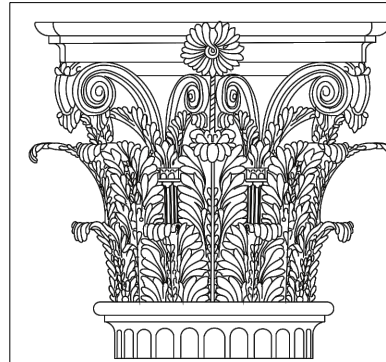


SHEET TITLE:
 EXISTING CONDITIONS
 BUILDING SECTIONS
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 EC4.01

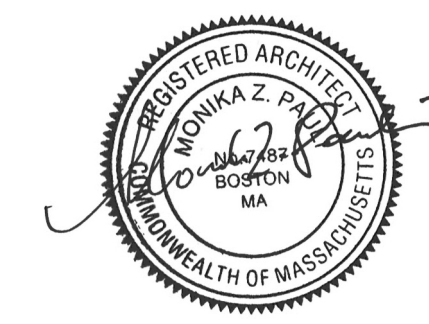


① EXISTING BUILDING SECTION C
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

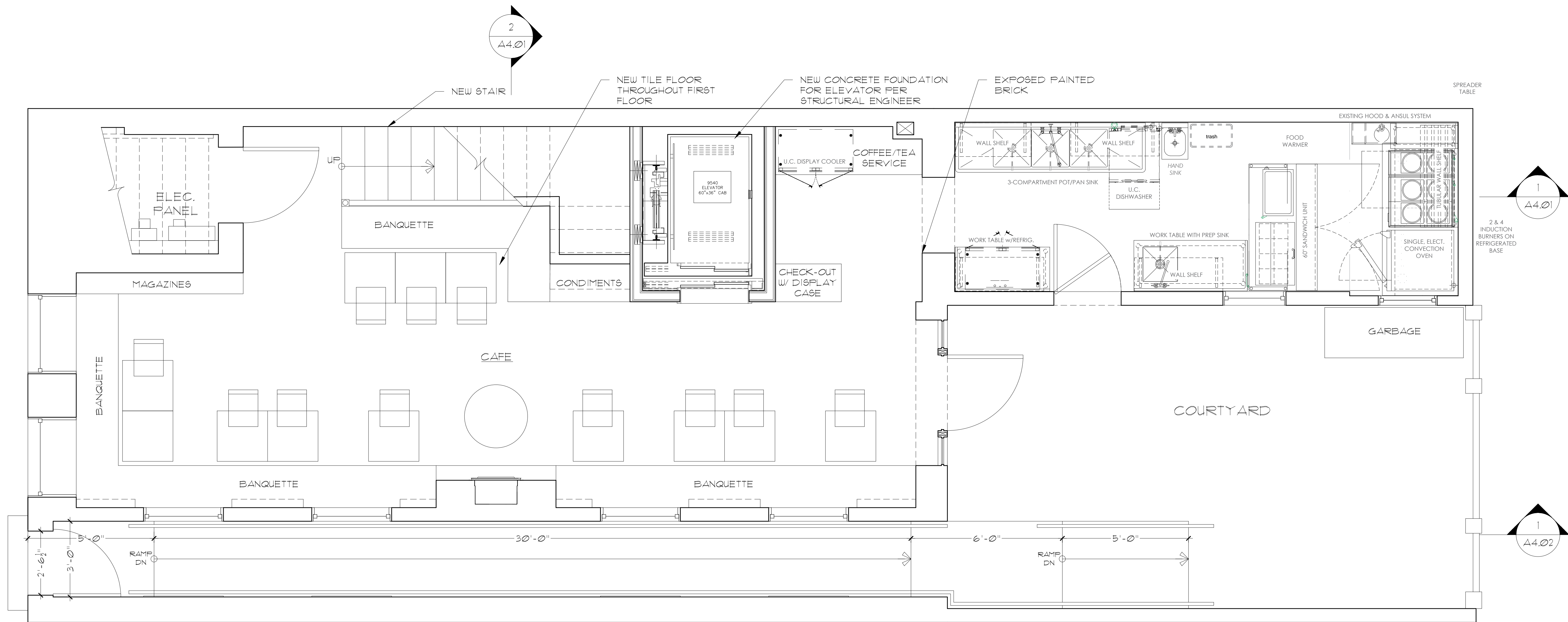


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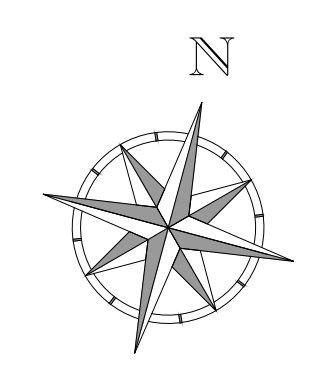
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SHEET TITLE: EXISTING CONDITIONS BUILDING SECTIONS	SHEET NO. EC4.02
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZF	



1 FIRST FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

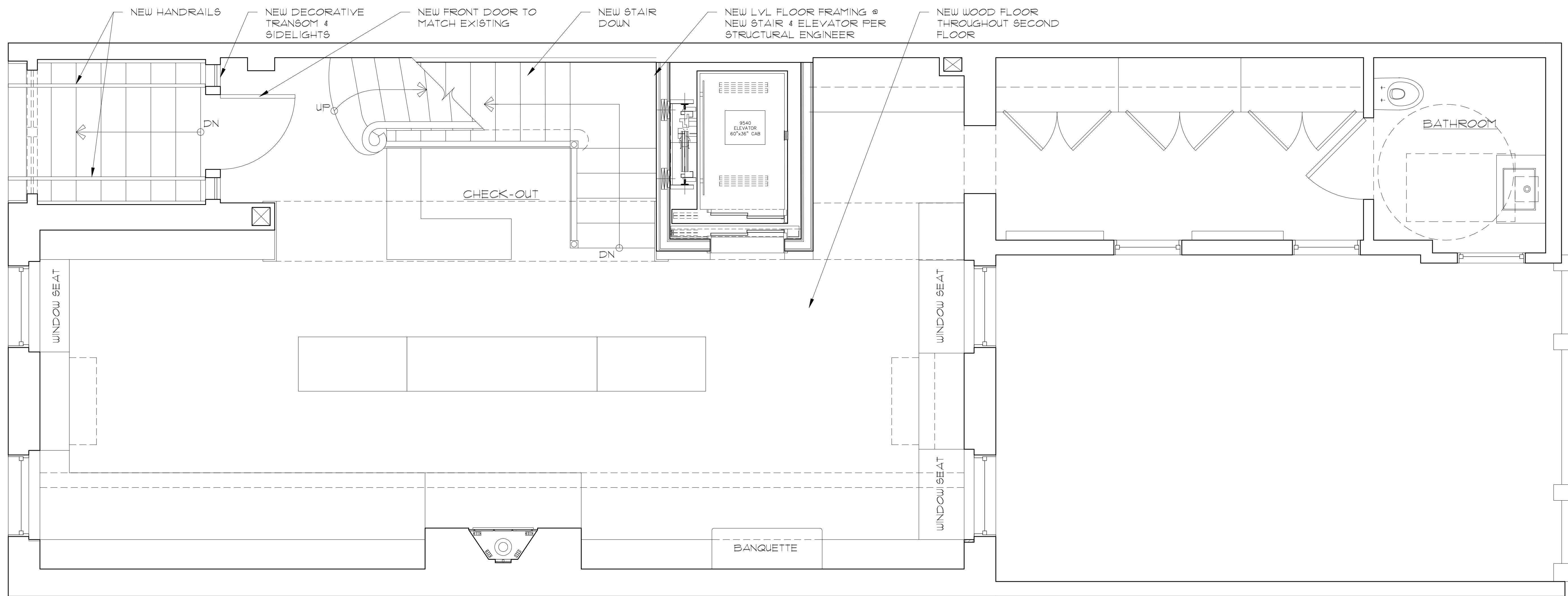


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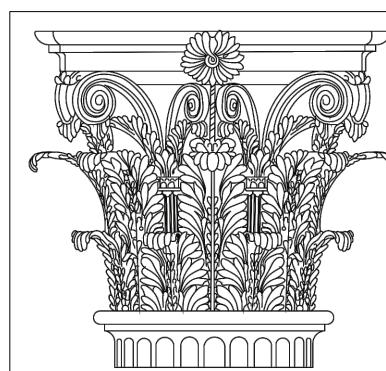
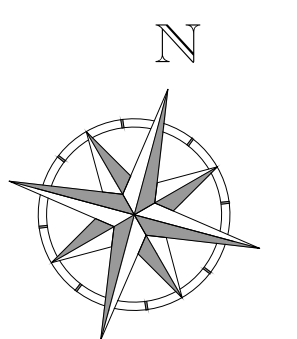


SHEET TITLE: PROPOSED FIRST FLOOR PLAN	SHEET NO. A1.01
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



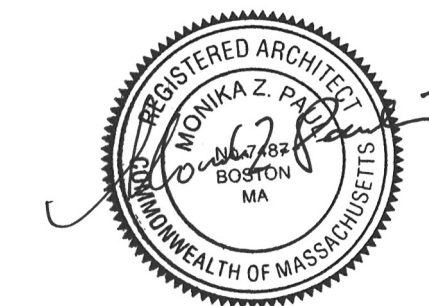
1

SECOND FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



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SHEET TITLE:
 PROPOSED
 SECOND FLOOR PLAN

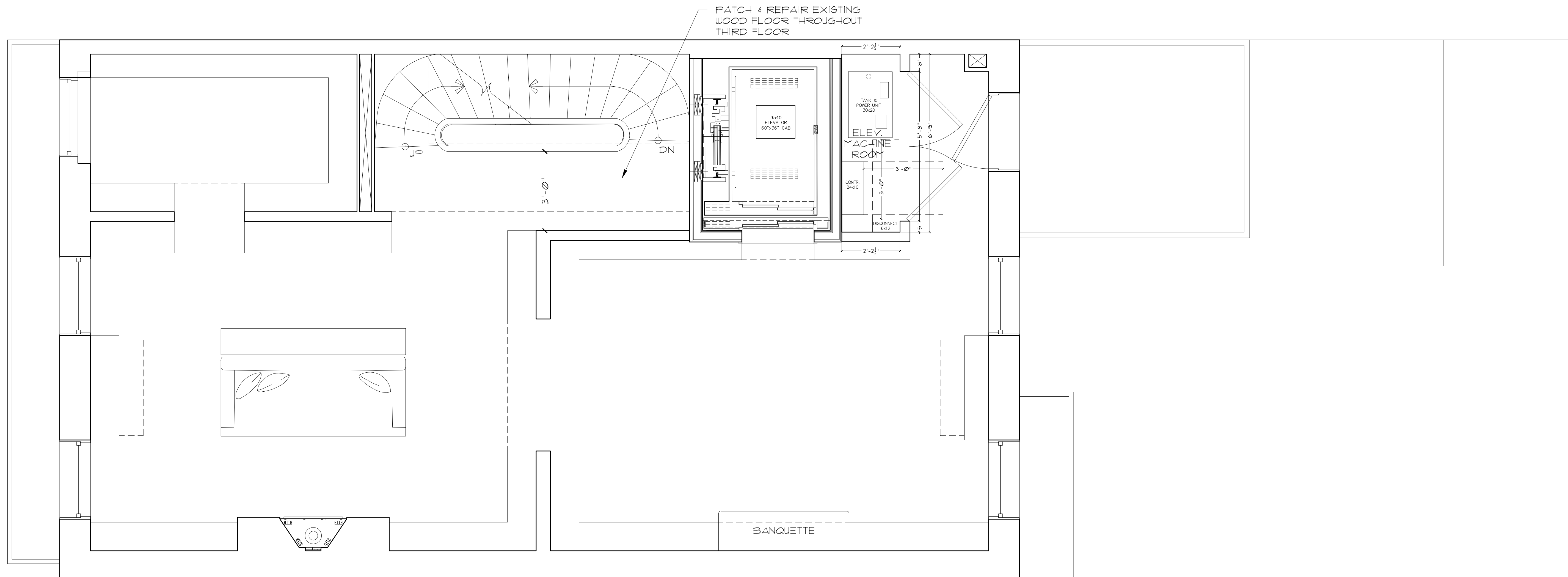
DATE: JANUARY 29, 2020

SCALE: AS NOTED

DRAWN: JGUR & RJP

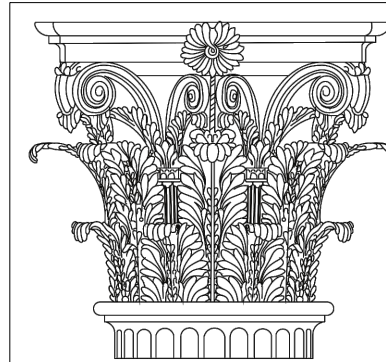
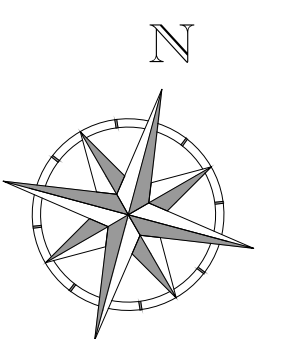
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SHEET NO.
 A1.02



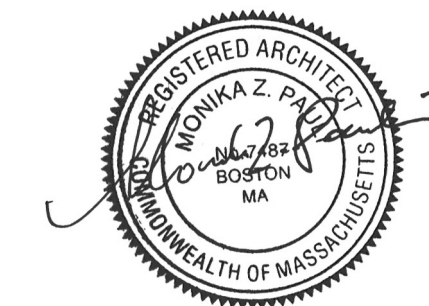
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THIRD FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



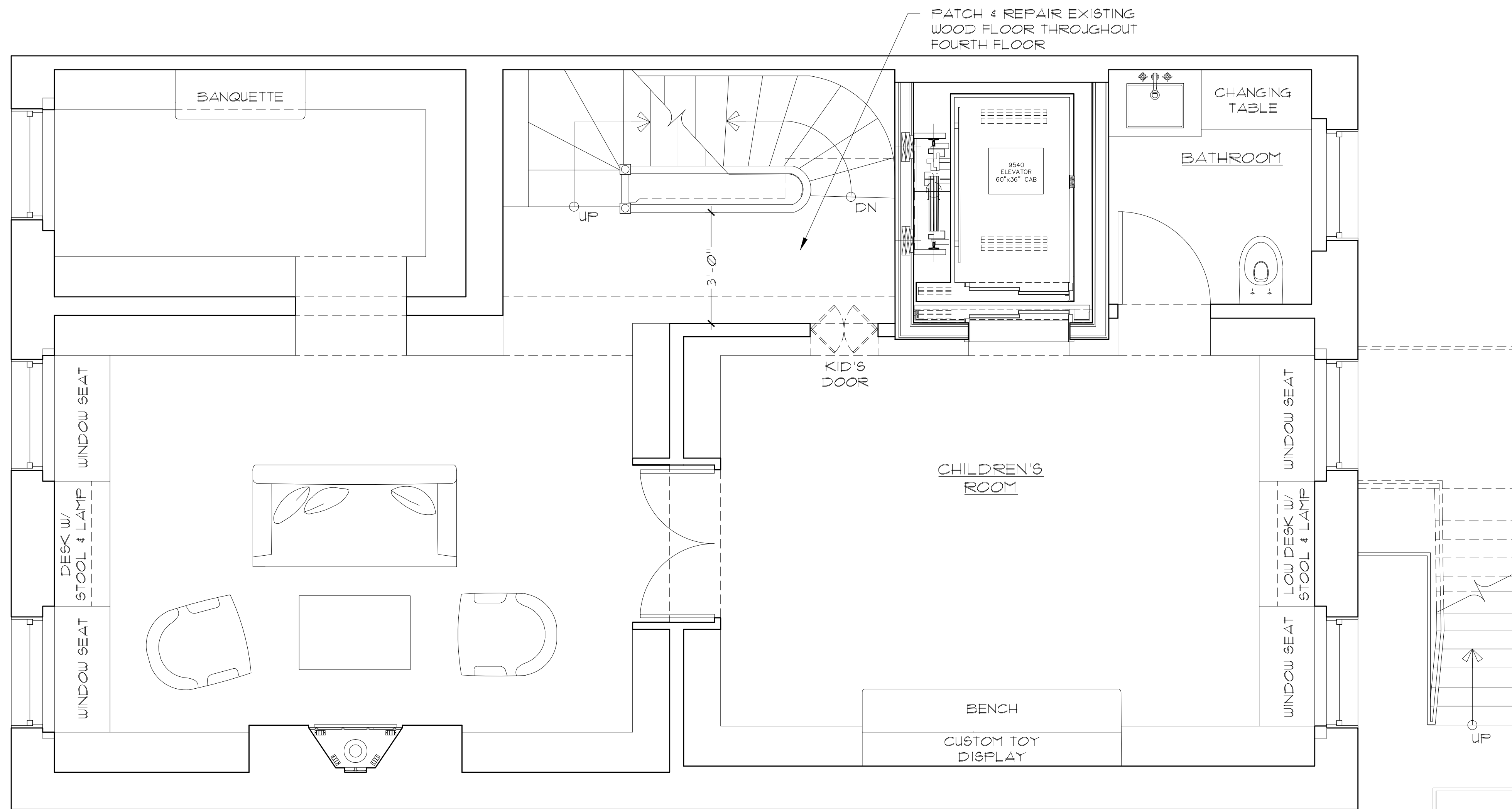
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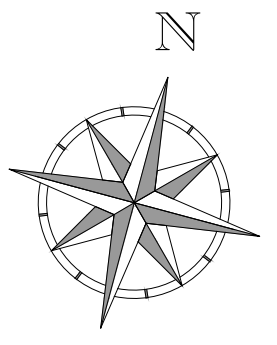


SHEET TITLE:
 PROPOSED
 THIRD FLOOR PLAN
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 A1.03

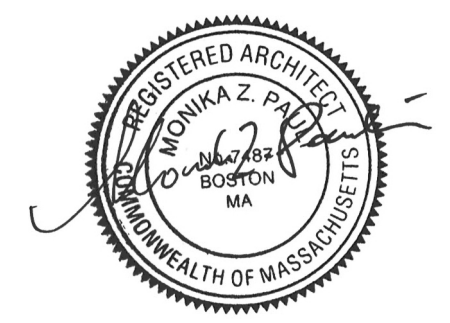


① FOURTH FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

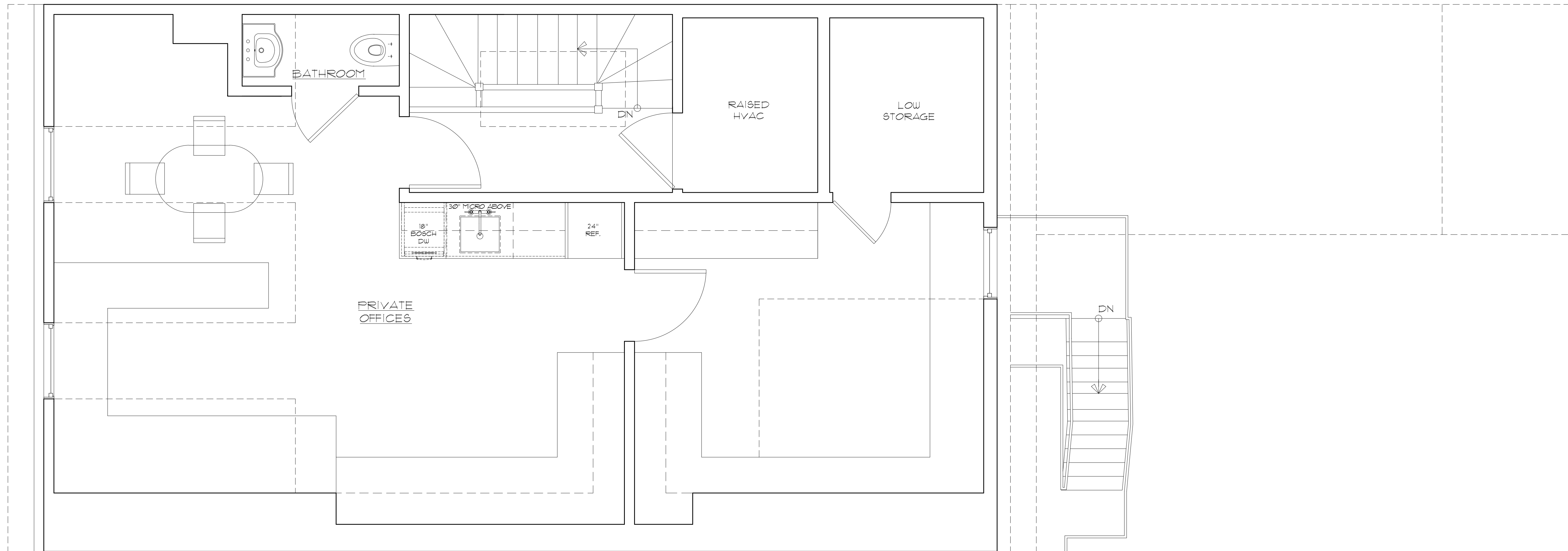


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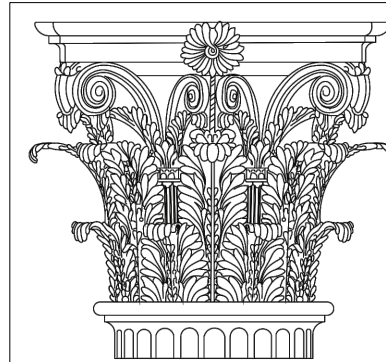
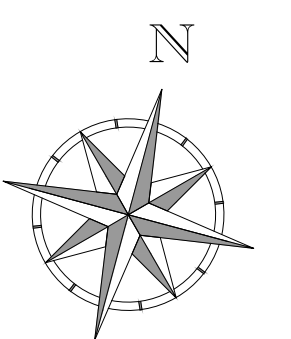


SHEET TITLE: PROPOSED FOURTH FLOOR PLAN	SHEET NO. A1.04
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



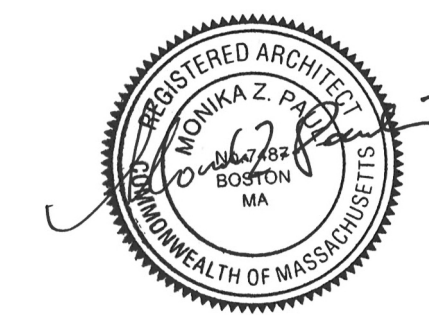
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FIFTH FLOOR PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



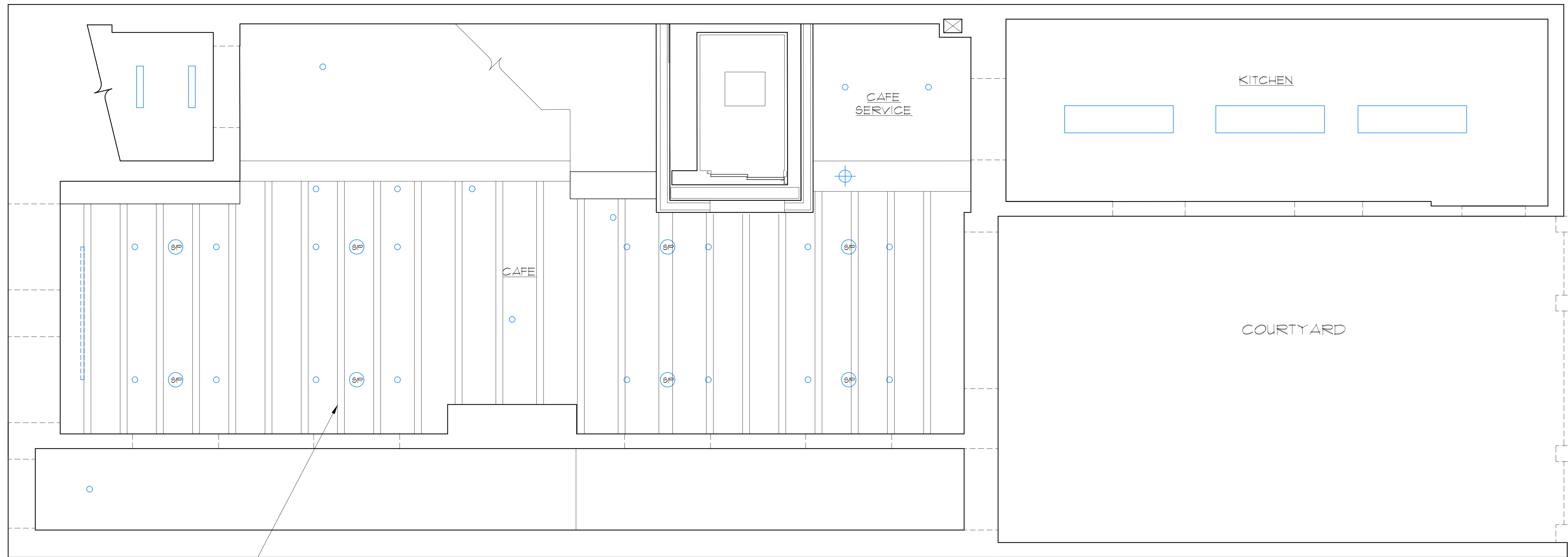
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SHEET TITLE:
 PROPOSED
 FIFTH FLOOR PLAN
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 A1.05

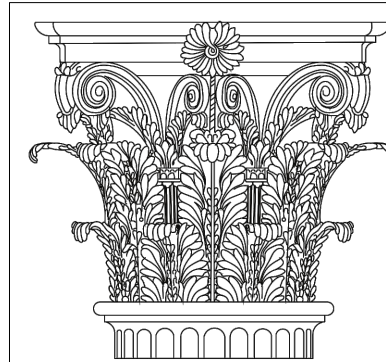


EXISTING JOIST
LOCATIONS TO BE
CONFIRMED ON SITE

1

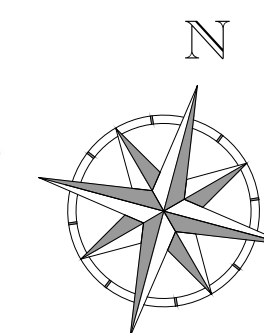
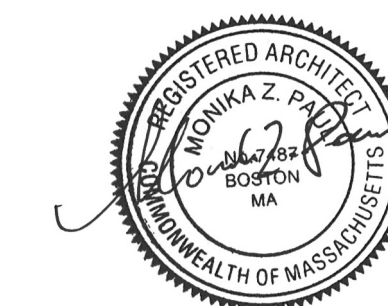
FIRST FLOOR RCP
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	○
SURFACE MOUNT / PENDANT	⊕
CLOSET/UTILITY LIGHT	▭
CEILING EXHAUST FAN	F
SMOKE DETECTOR	S
HEAT DETECTOR	H
ROLL DOWN SCREEN	----
SPEAKER	SF



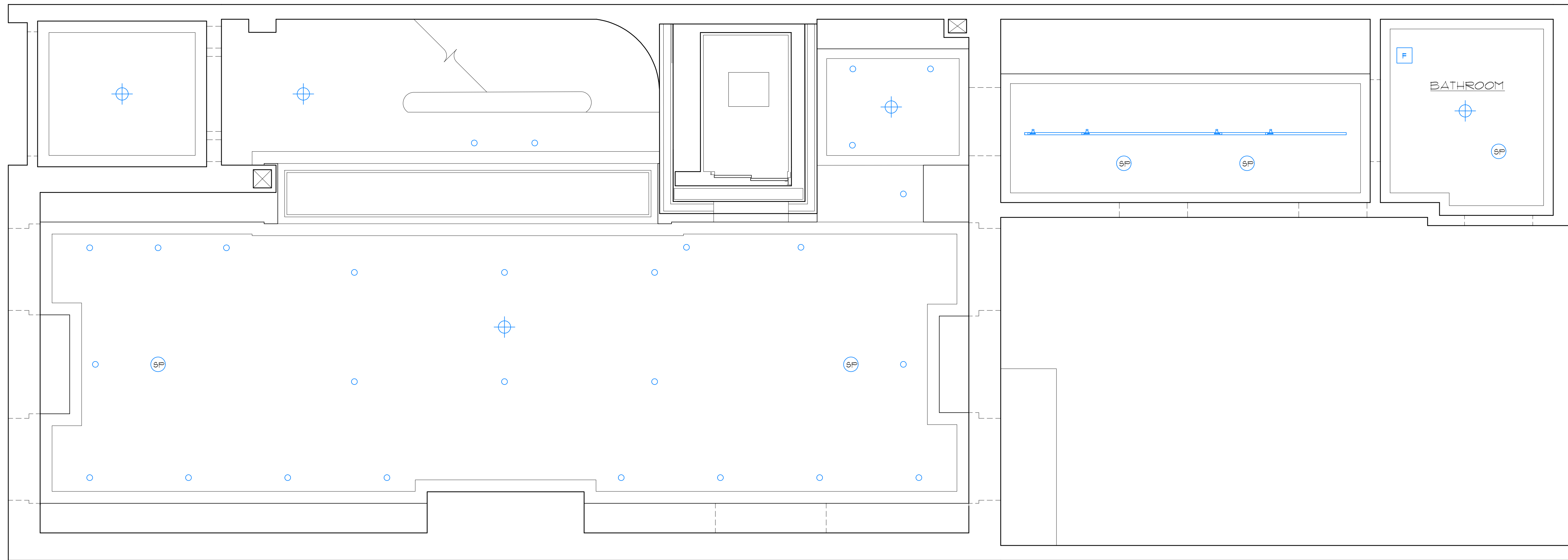
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SHEET TITLE:
PROPOSED
FIRST FLOOR
REFLECTED CEILING PLAN
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

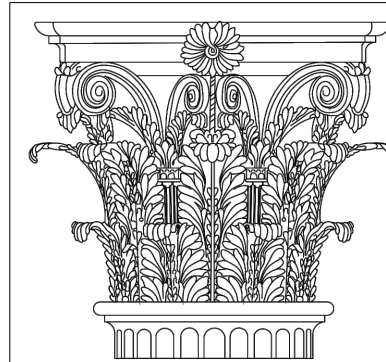
SHEET NO.
A2.01



1

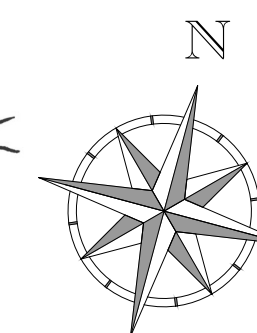
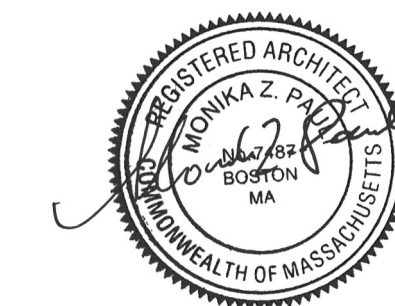
SECOND FLOOR RCP
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	
SURFACE MOUNT / PENDANT	
CLOSET/UTILITY LIGHT	
CEILING EXHAUST FAN	
SMOKE DETECTOR	
HEAT DETECTOR	
ROLL DOWN SCREEN	
SPEAKER	



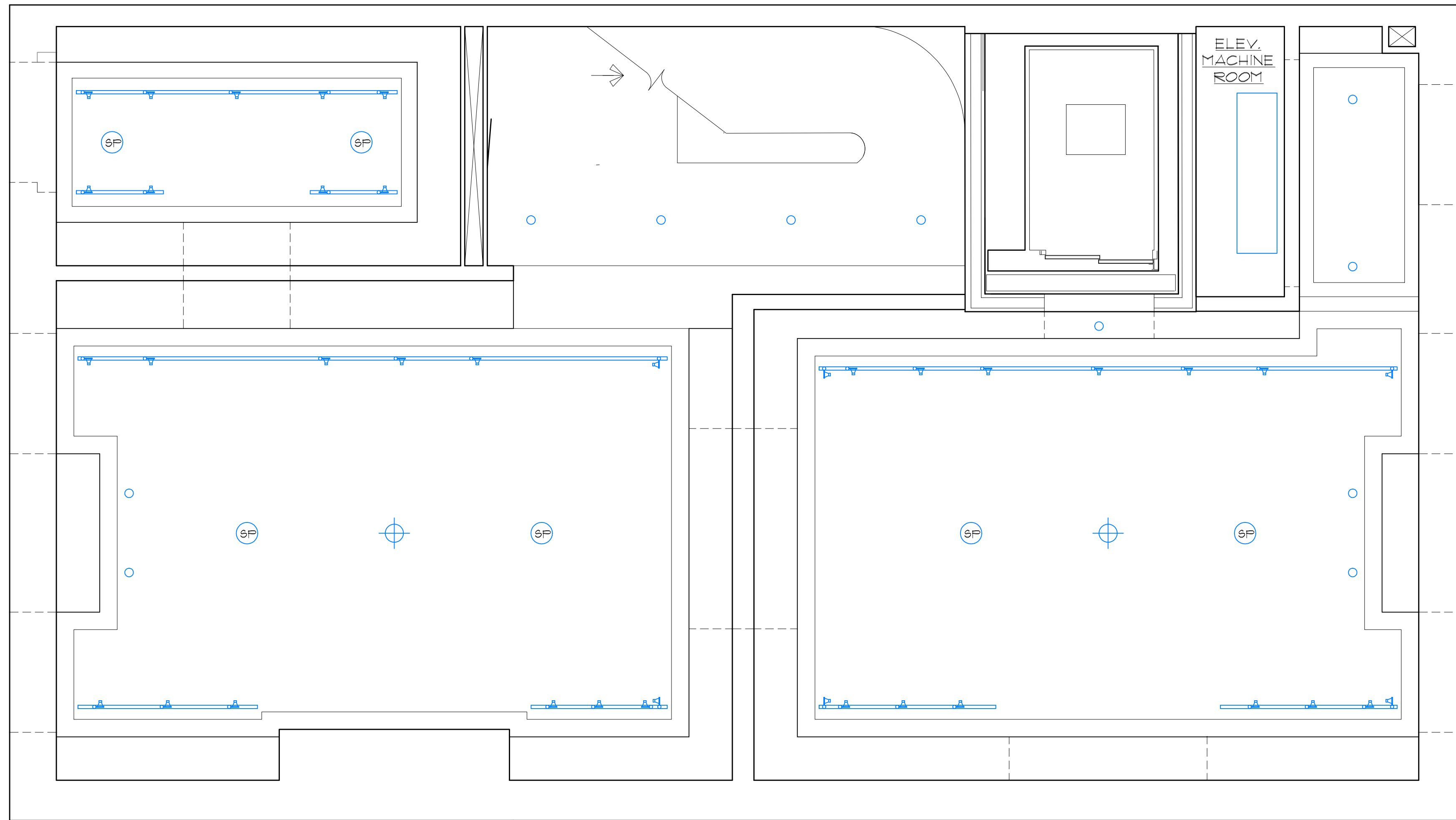
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SHEET TITLE:
 PROPOSED
 SECOND FLOOR
 REFLECTED CEILING PLAN
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 A2.02



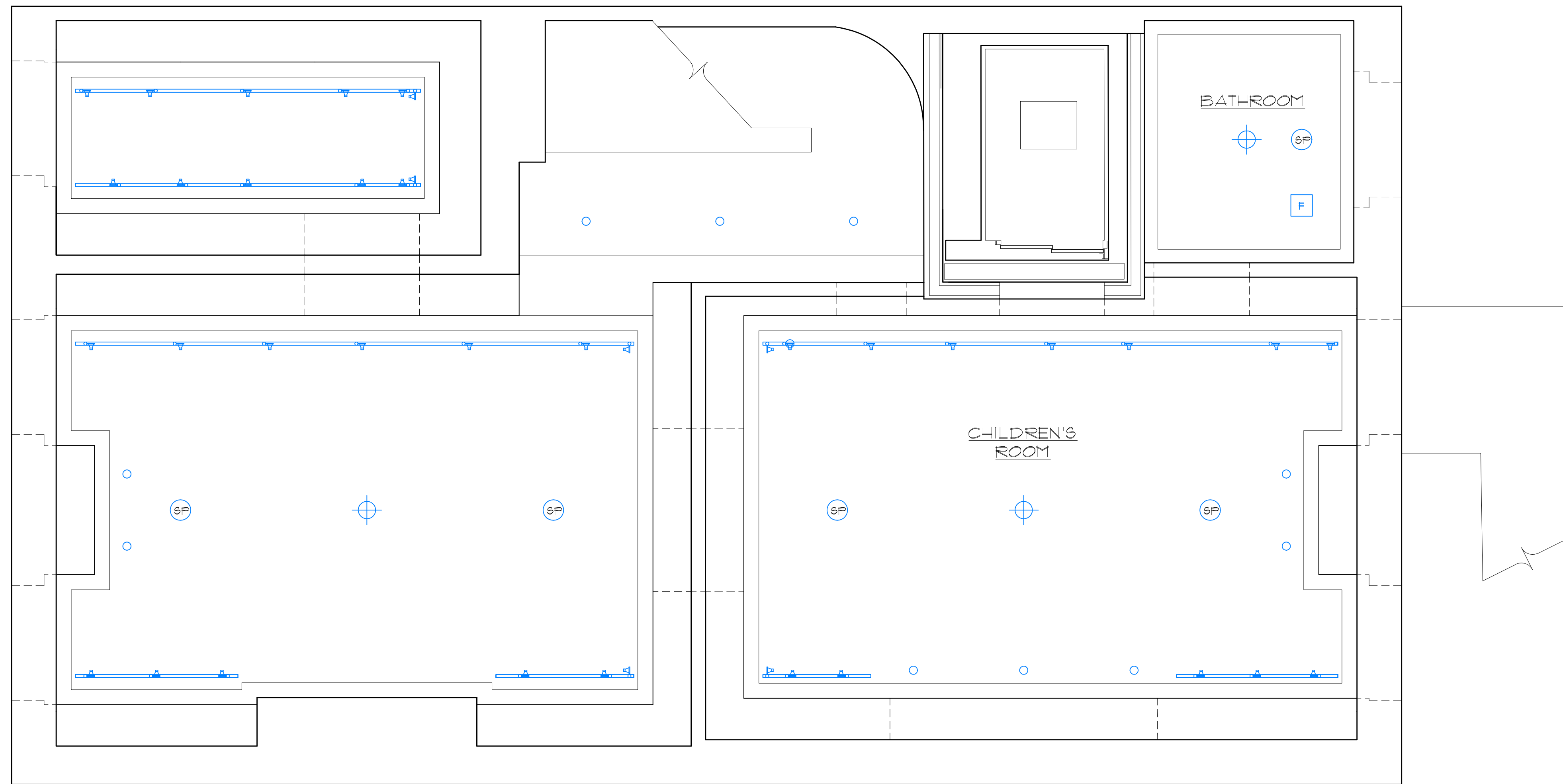
① THIRD FLOOR RCP
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	○
SURFACE MOUNT / PENDANT	⊕
CLOSET/UTILITY LIGHT	▭
CEILING EXHAUST FAN	F
SMOKE DETECTOR	S
HEAT DETECTOR	H
ROLL DOWN SCREEN	-----
SPEAKER	SP

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SHEET TITLE: PROPOSED THIRD FLOOR REFLECTED CEILING PLAN	SHEET NO. A2.03
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



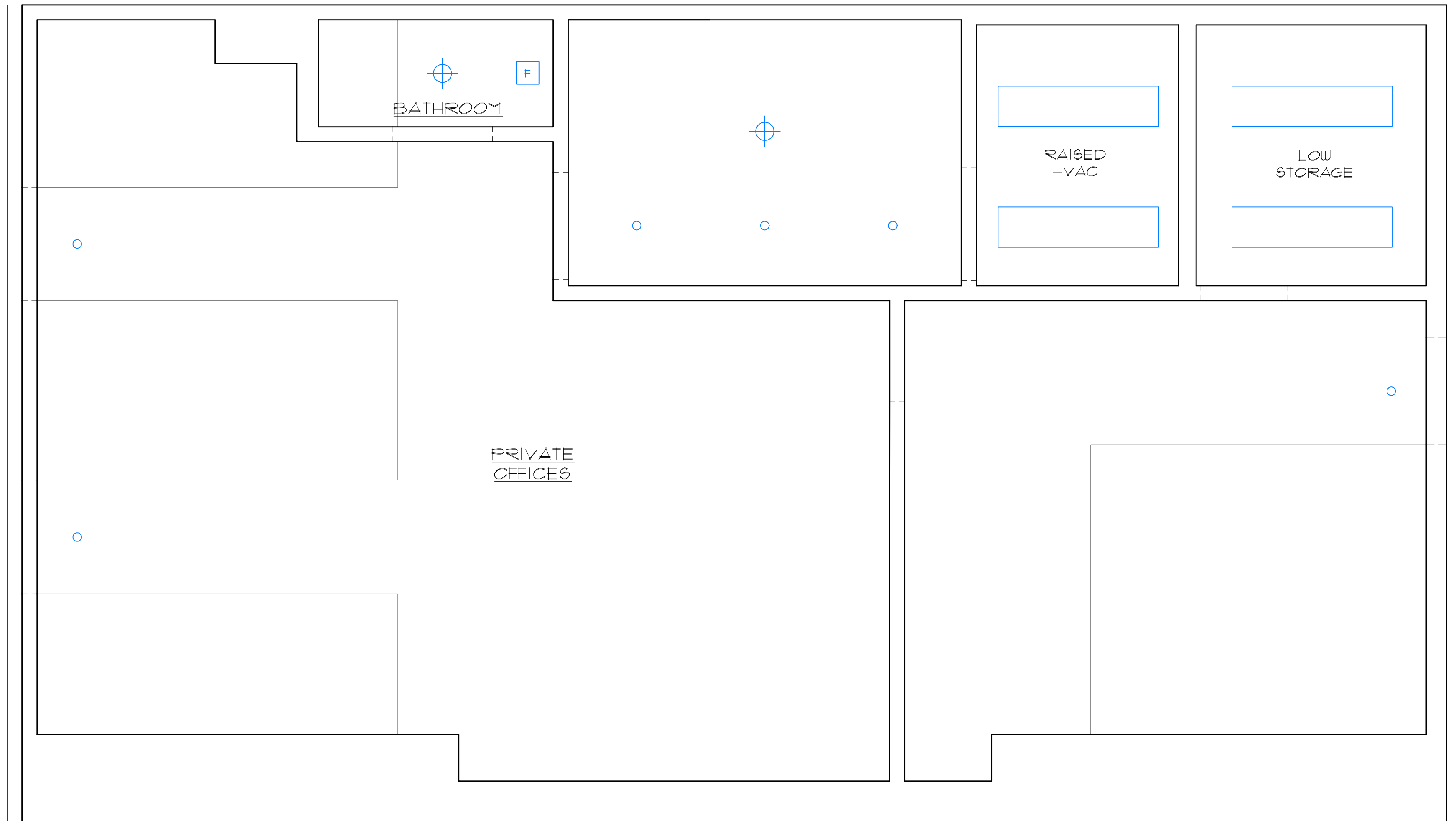
① FOURTH FLOOR RCP
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	
SURFACE MOUNT / PENDANT	
CLOSET/UTILITY LIGHT	
CEILING EXHAUST FAN	
SMOKE DETECTOR	
HEAT DETECTOR	
ROLL DOWN SCREEN	
SPEAKER	

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SHEET TITLE: PROPOSED FOURTH FLOOR REFLECTED CEILING PLAN	SHEET NO. A2.04
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	

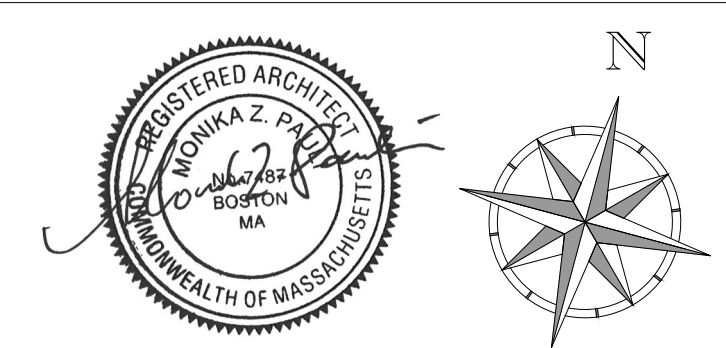


① FIFTH FLOOR RCP
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

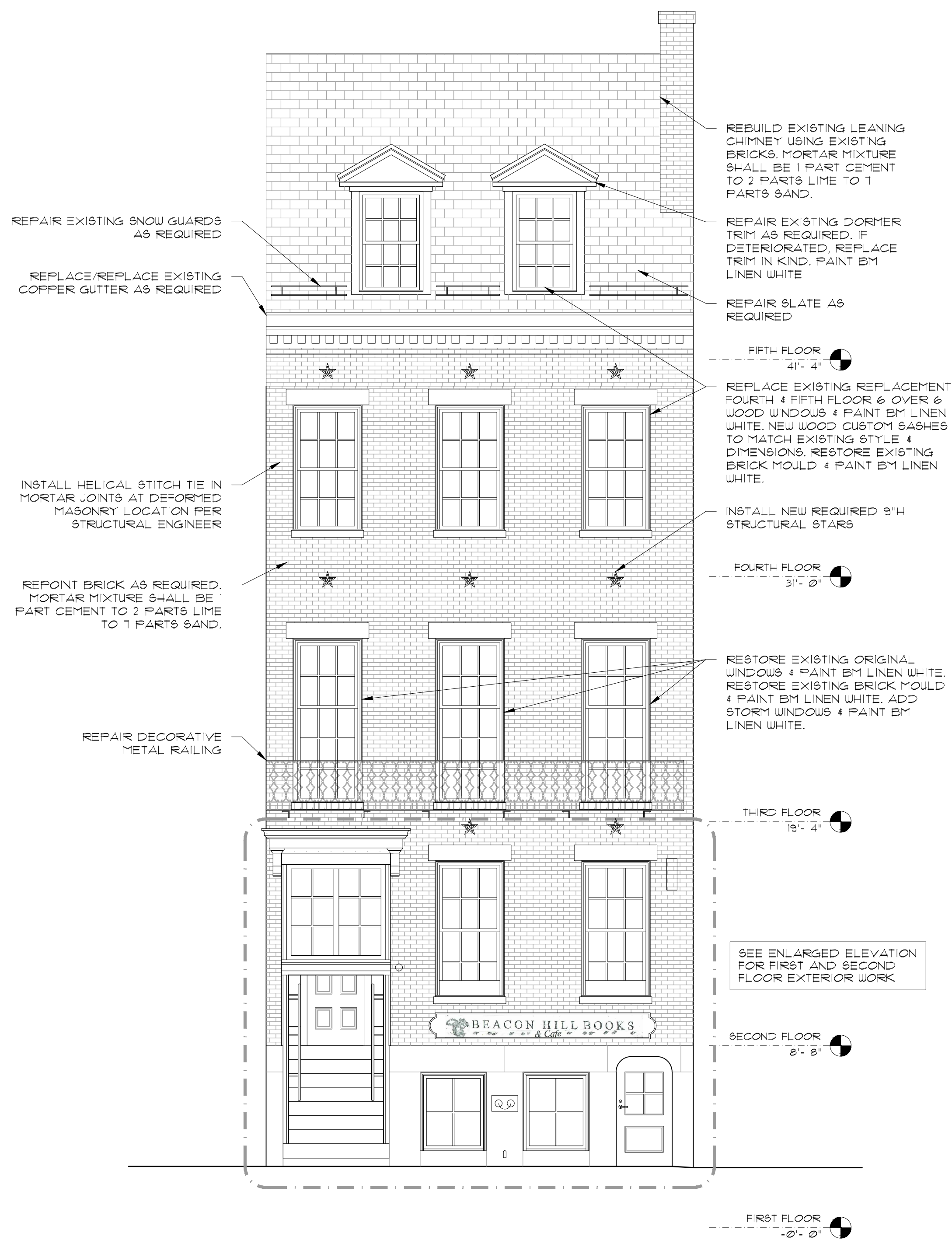
ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	○
SURFACE MOUNT / PENDANT	⊕
CLOSET/UTILITY LIGHT	▭
CEILING EXHAUST FAN	⊠
SMOKE DETECTOR	⊙
HEAT DETECTOR	⊙
ROLL DOWN SCREEN	-----
SPEAKER	⊠

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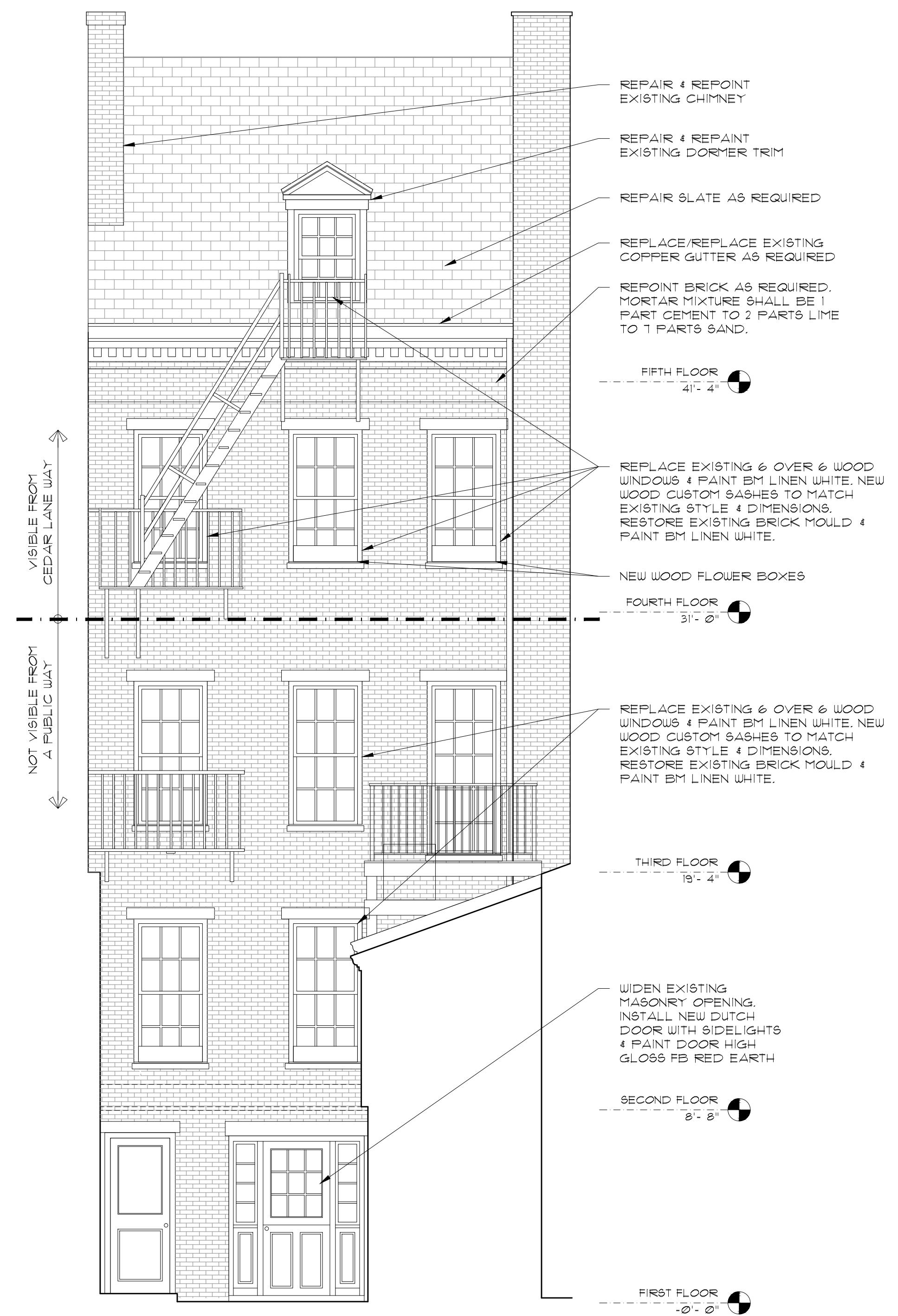
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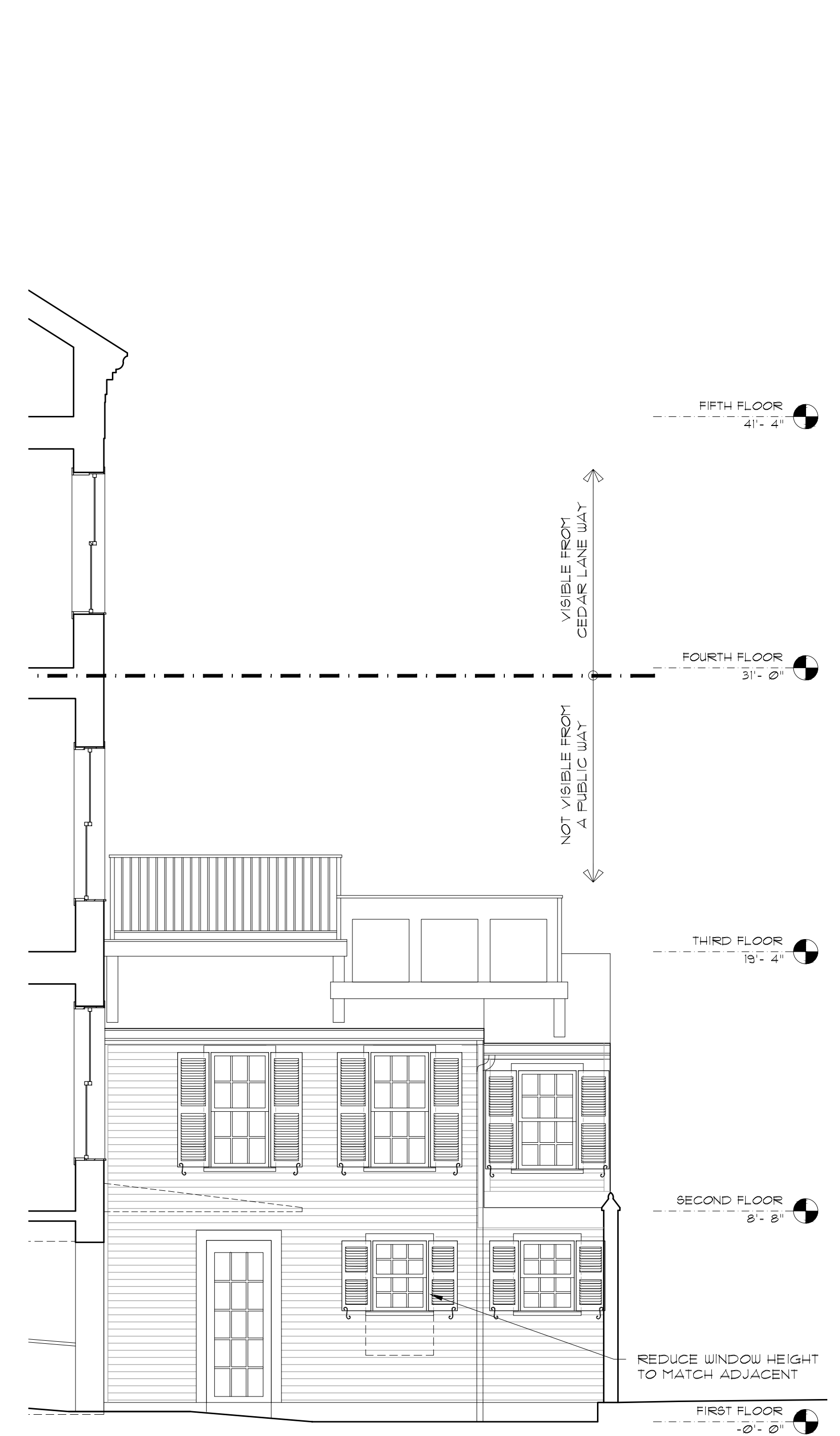
SHEET TITLE: PROPOSED FIFTH FLOOR REFLECTED CEILING PLAN	SHEET NO. A2.05
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



① FRONT ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



② REAR ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

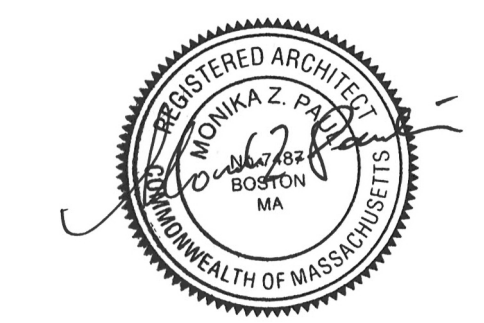


③ REAR-SIDE ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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SHEET TITLE: PROPOSED FRONT & REAR ELEVATIONS	SHEET NO. A3.01
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	

RESTORE & PAINT BM LINEN WHITE

RESTORE TRANSOM WINDOW & PAINT BM LINEN WHITE

SONOS BEACON STROBE

POTTER ELECTRIC BELL WITHIN VESTIBULE

RESTORE EXISTING DOOR. PAINT HIGH GLOSS FB RED EARTH

RESTORE EXISTING SIDELIGHTS & TRANSOM BEYOND

INSTALL TWO NEW HANDRAILS

FIRE DEPARTMENT POTTER ROEMER SIAMESE CONNECTION 36" ABOVE SIDEWALK



PROPOSED HANGING SIGN
- REUSE EXISTING 48" BRACKET
- NEW SIGN DESIGN TBD (SAME SIZE OR SMALLER THAN EXISTING 42"x36")

STRIP BLACK PAINT IF FEASIBLE OR PAINT TO MATCH EXISTING STONE

EXISTING SIGN BRACKET LOCATION. SEE PROPOSED SIGN

RESTORE EXISTING ORIGINAL WINDOWS & PAINT BM LINEN WHITE. RESTORE EXISTING BRICK MOULD & PAINT BM LINEN WHITE. ADD STORM WINDOWS & PAINT BM LINEN WHITE.

NEW WOOD WINDOW BOXES

NEW SIGN DESIGN IN EXISTING LOCATION TBD. SAME SIZE OR SMALLER THAN EXISTING

REPLACE EXISTING REPLACEMENT FIXED WINDOWS. BRICK MOULD TO MATCH EXISTING. 7/8" MUNTINS TO MATCH NEW DOUBLE HUNG WINDOW DETAIL

REPAIR EXISTING CRACK IN GRANITE

SECOND FLOOR
8'-8"

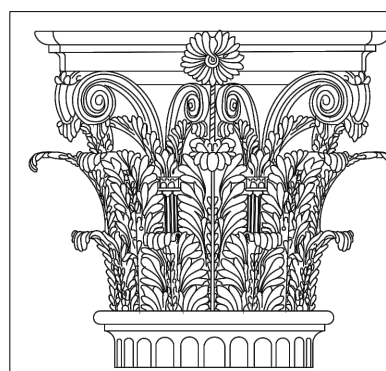
CAUTION SIGN FOR LOW HEADROOM TO BE DISCUSSED

SHAVE EXISTING SLOPED "OUCH" ON STONE. EXISTING STONE OUTLINE TO REMAIN

VIKING AUTOMATIC DRIP CHECK

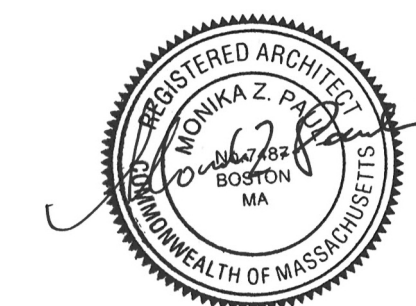
INSTALL NEW DOOR TO GARDEN LEVEL & PAINT BM BLACK. NEW LEVER & LOCK IN NON-LACQUERED BRASS (BALDWIN 5125 LEVER)

1 ENLARGED FRONT ELEVATION
FULL: 1" = 1'-0", HALF: 1/2" = 1'-0"



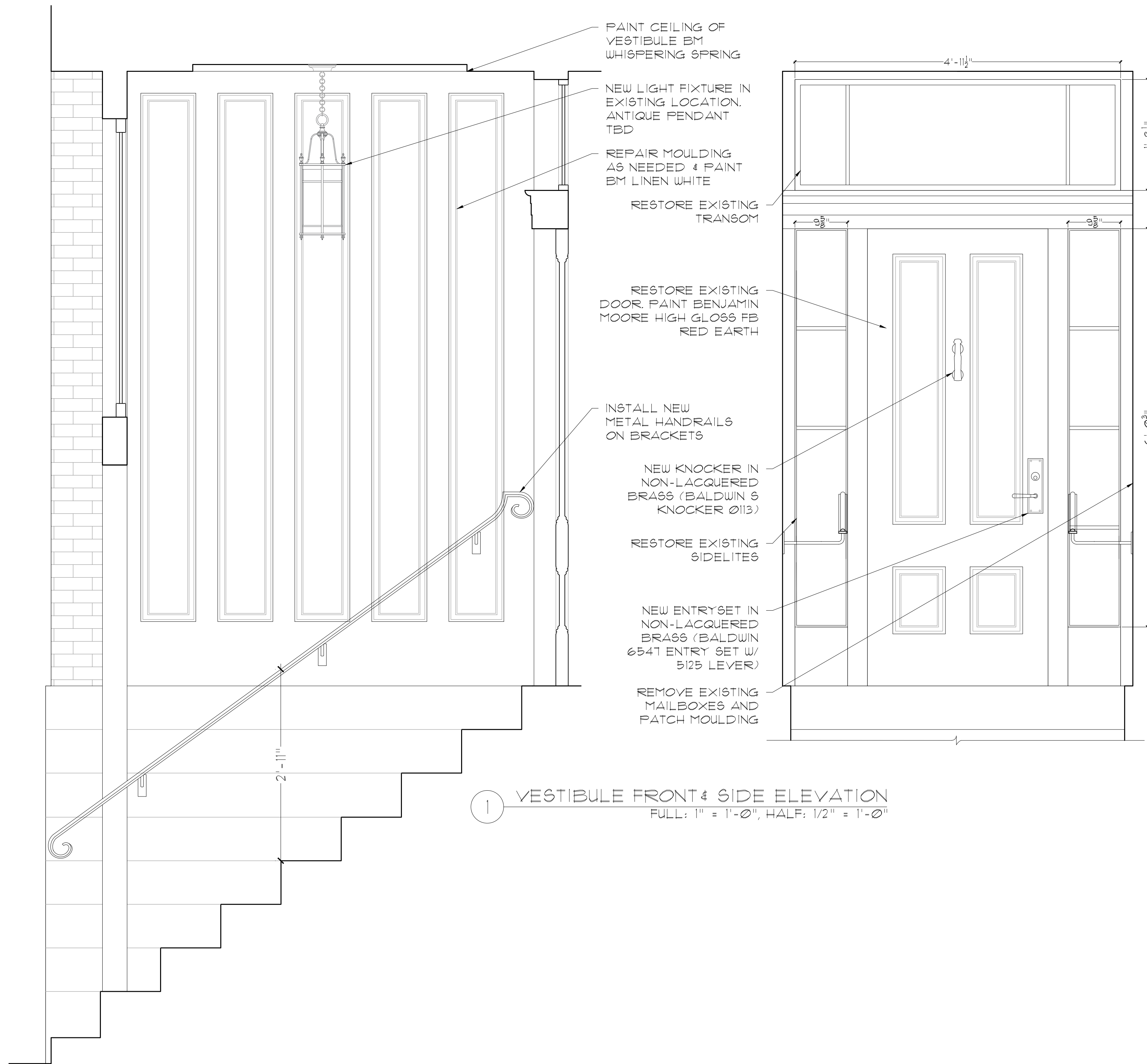
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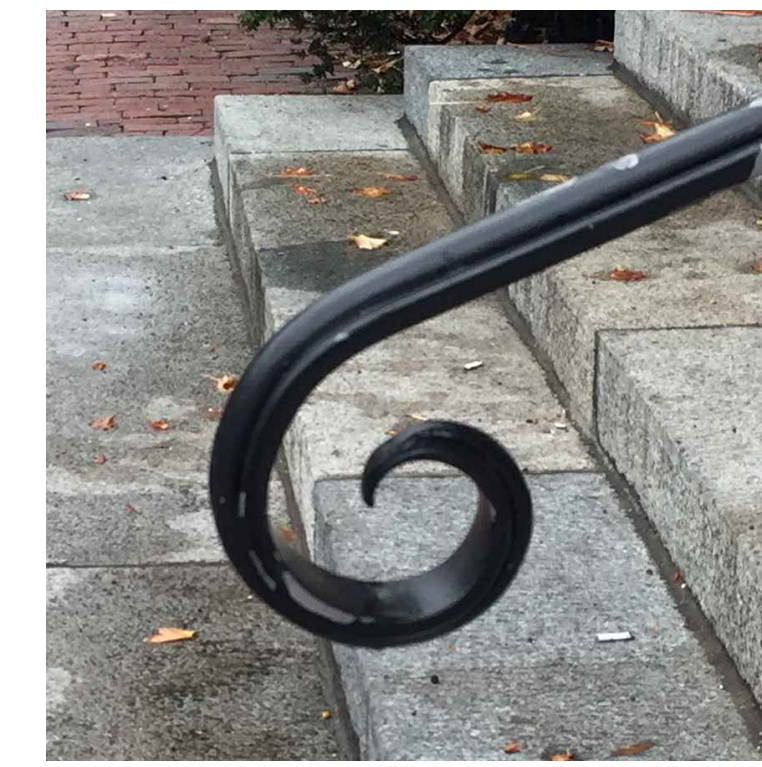


SHEET TITLE:
PROPOSED ENLARGED FRONT ELEVATION
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

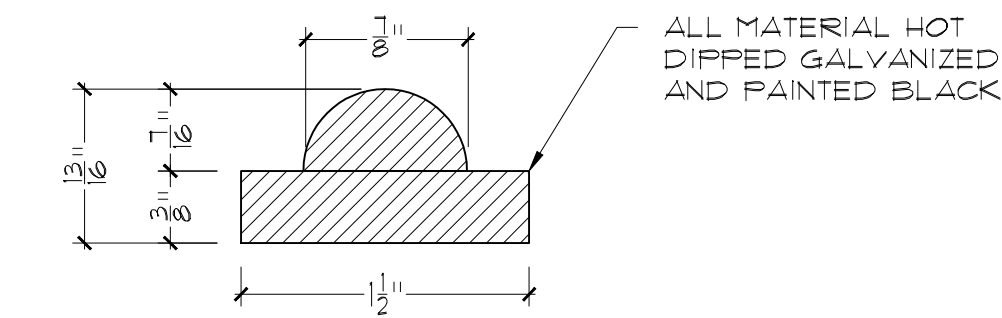
SHEET NO.
A3.02



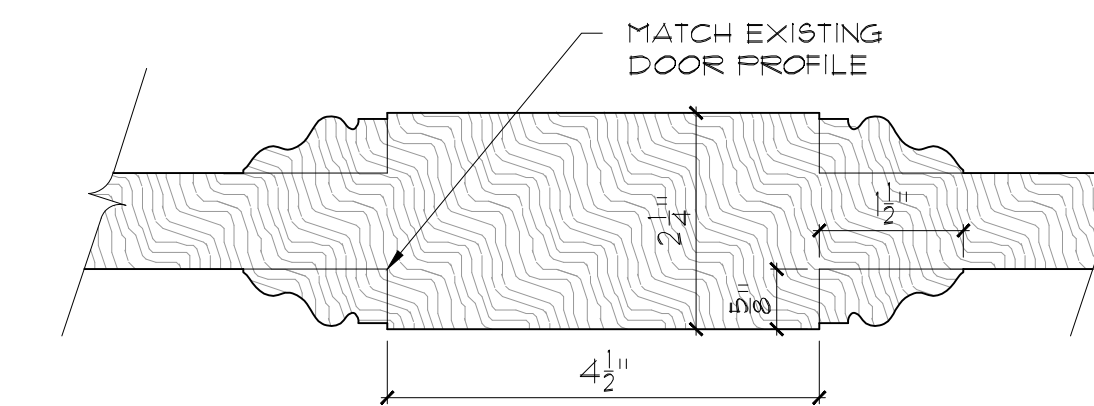
1 VESTIBULE FRONT & SIDE ELEVATION
 FULL: 1" = 1'-0", HALF: 1/2" = 1'-0"



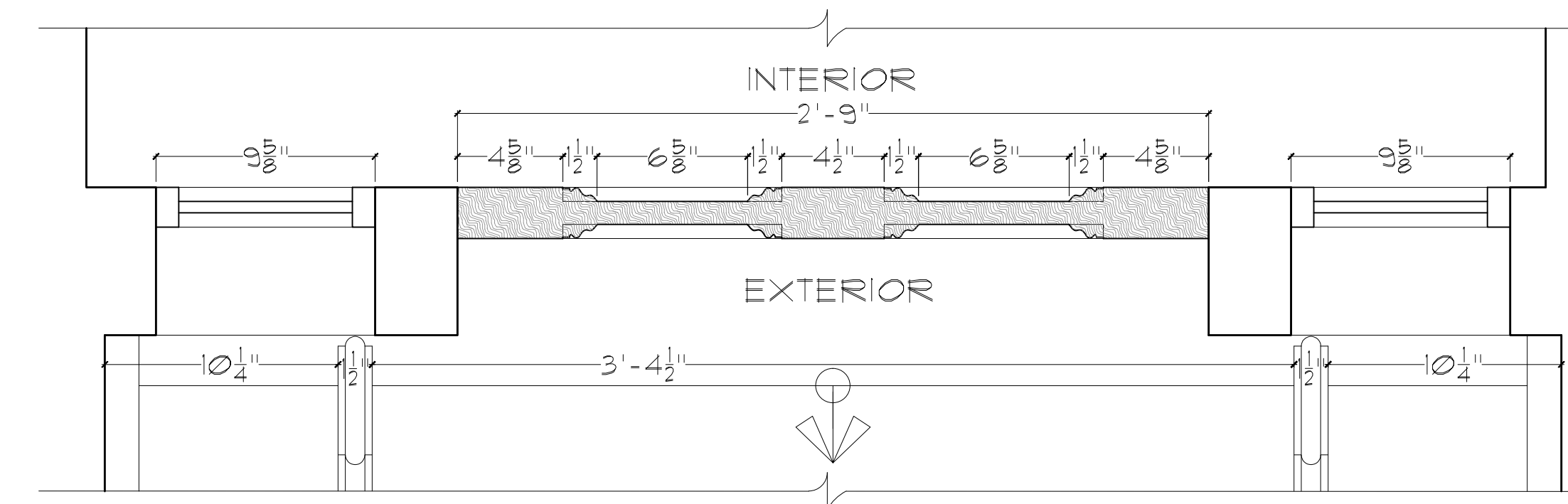
5 HANDRAIL REFERENCE IMAGE
 N.T.S.



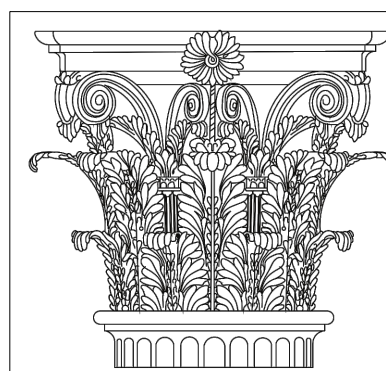
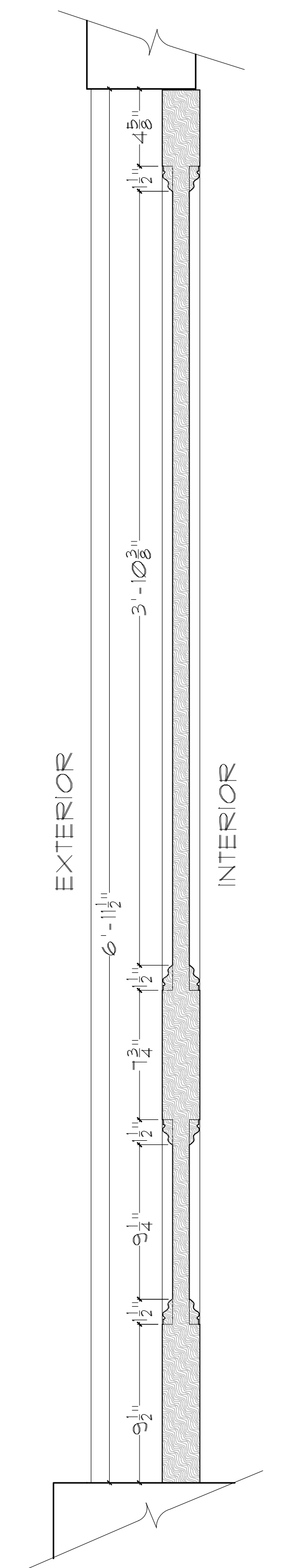
4 METAL HANDRAIL DETAIL
 FULL: 1'-0" = 1'-0", HALF: 6" = 1'-0"



3 DOOR MOULDING DETAIL
 FULL: 6" = 1'-0", HALF: 3" = 1'-0"

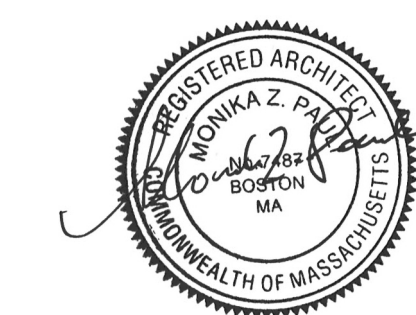


2 PLAN & SECTION DETAILS
 FULL: 2" = 1'-0", HALF: 1" = 1'-0"



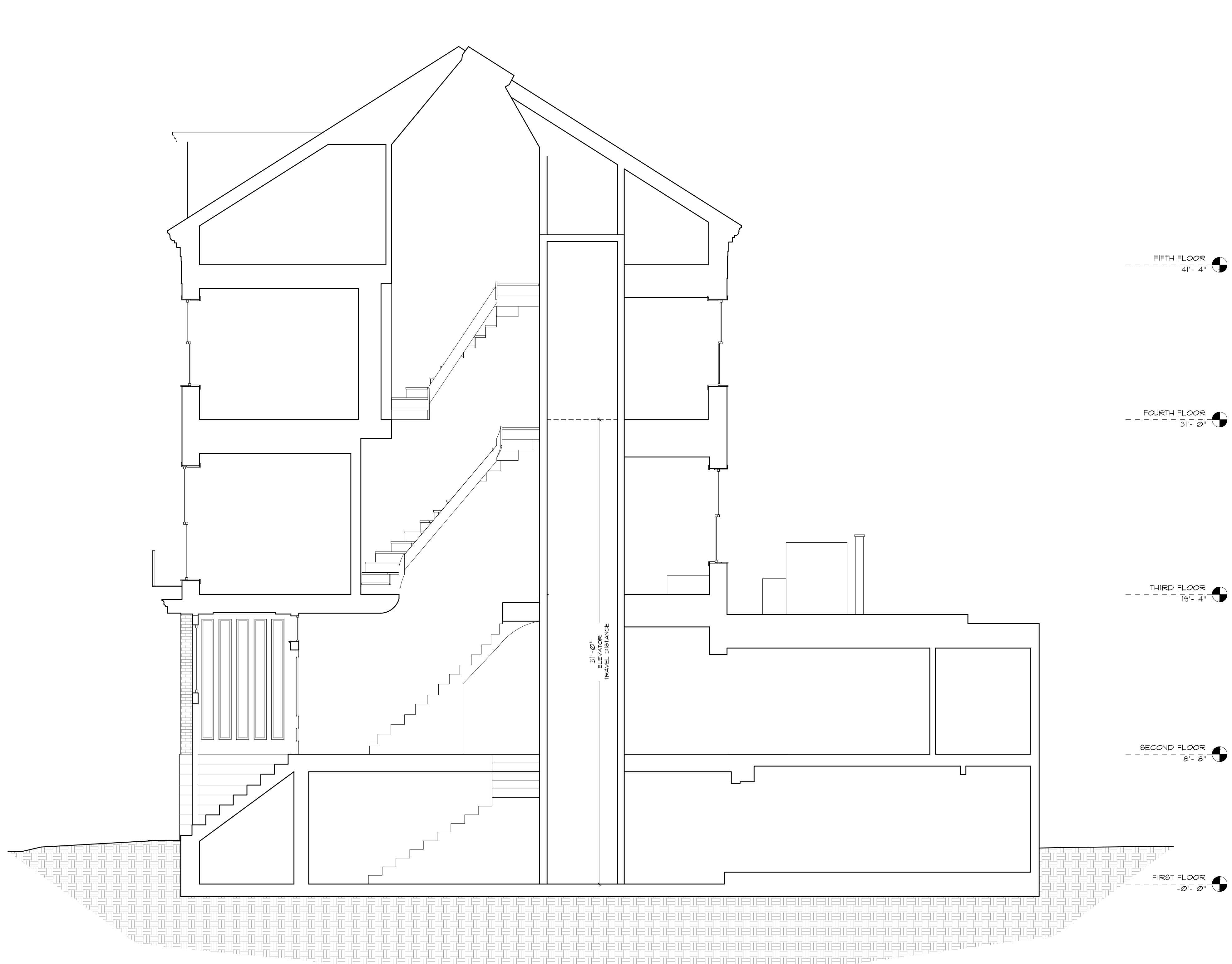
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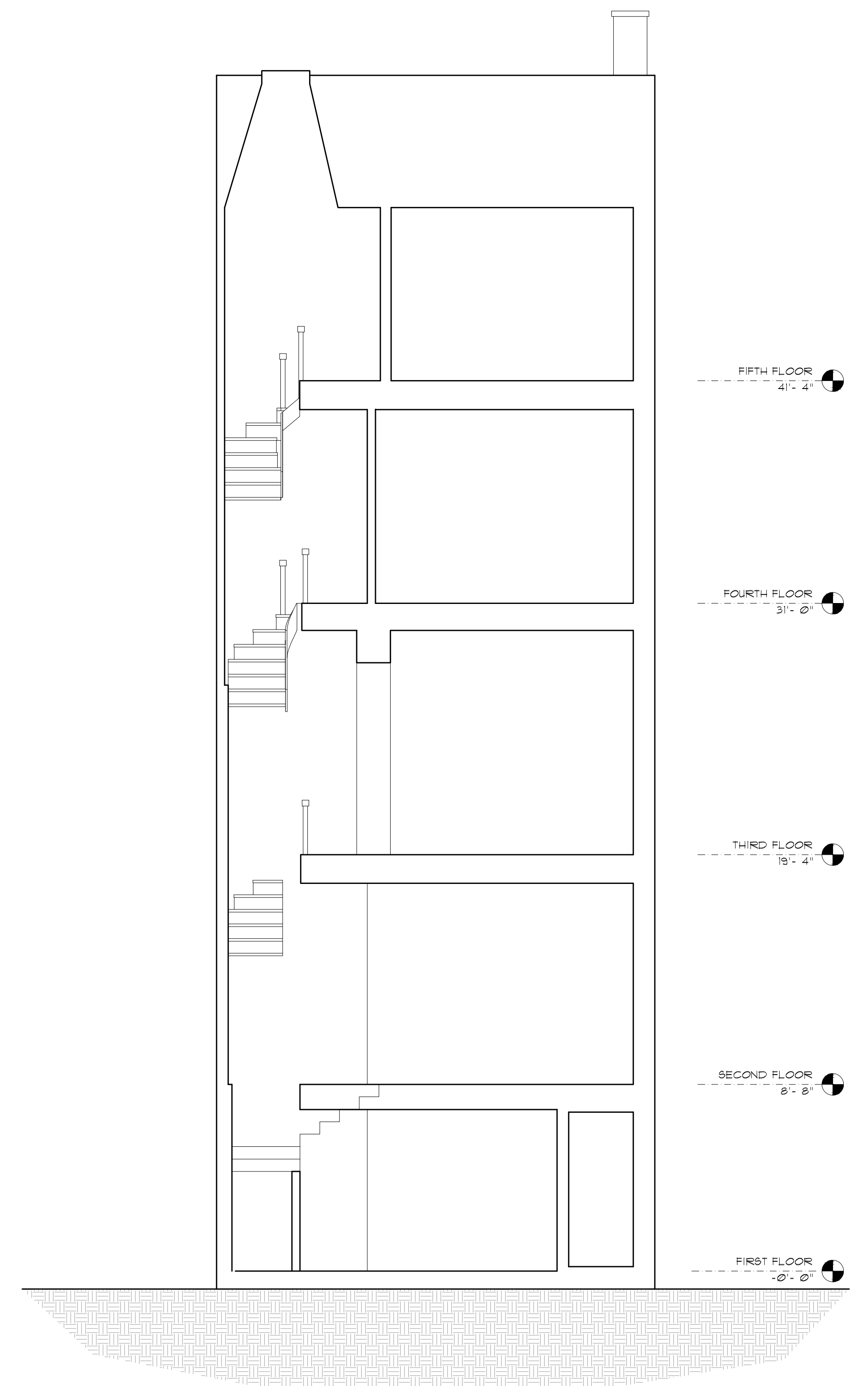


SHEET TITLE:
 PROPOSED
 VESTIBULE DETAILS
 DATE: JANUARY 29, 2020
 SCALE: AS NOTED
 DRAWN: JGUR & RJP
 CHECKED: JGUR & MZP

SHEET NO.
 A3.03



1 BUILDING SECTION A
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

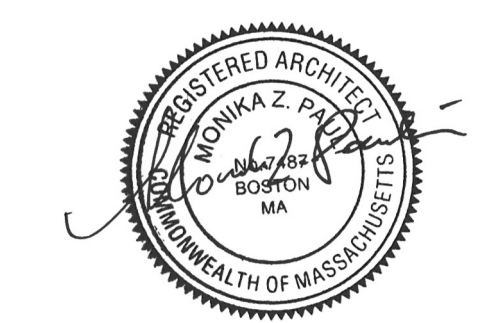


2 BUILDING SECTION B
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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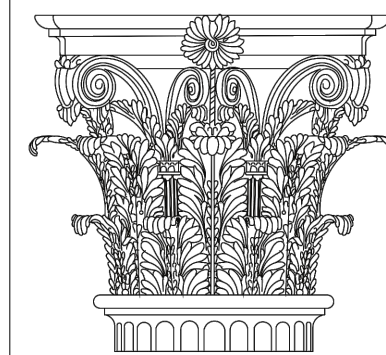
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SHEET TITLE: PROPOSED BUILDING SECTIONS	SHEET NO. A4.01
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	

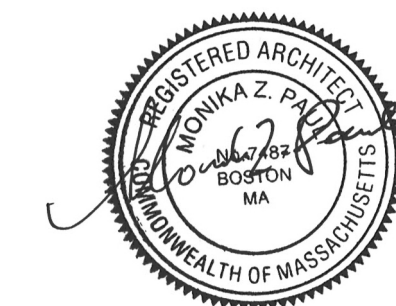


1 PROPOSED BUILDING SECTION C
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



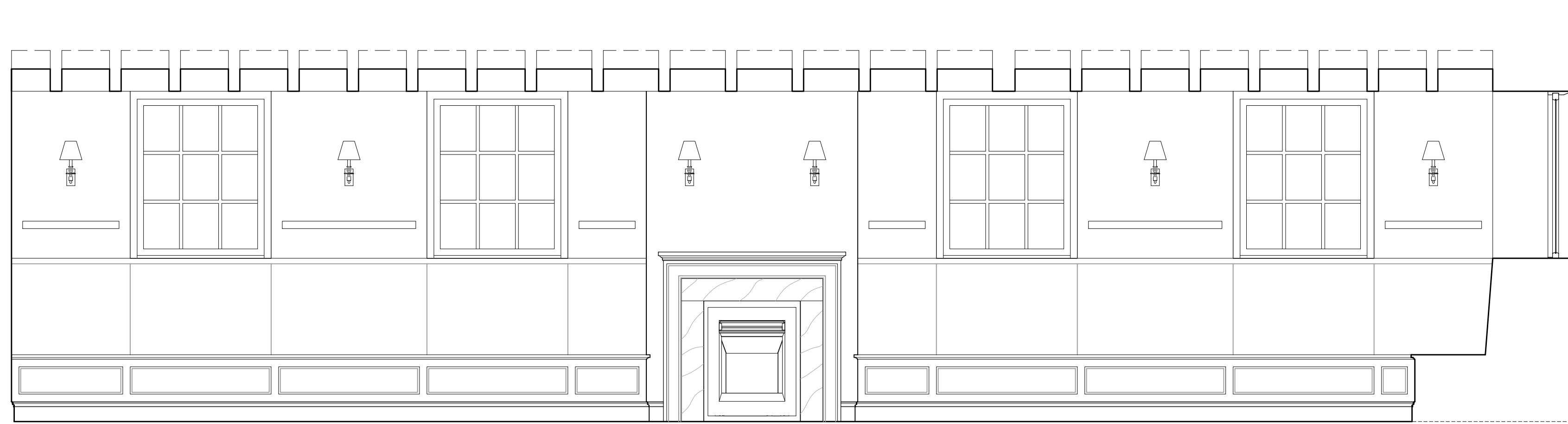
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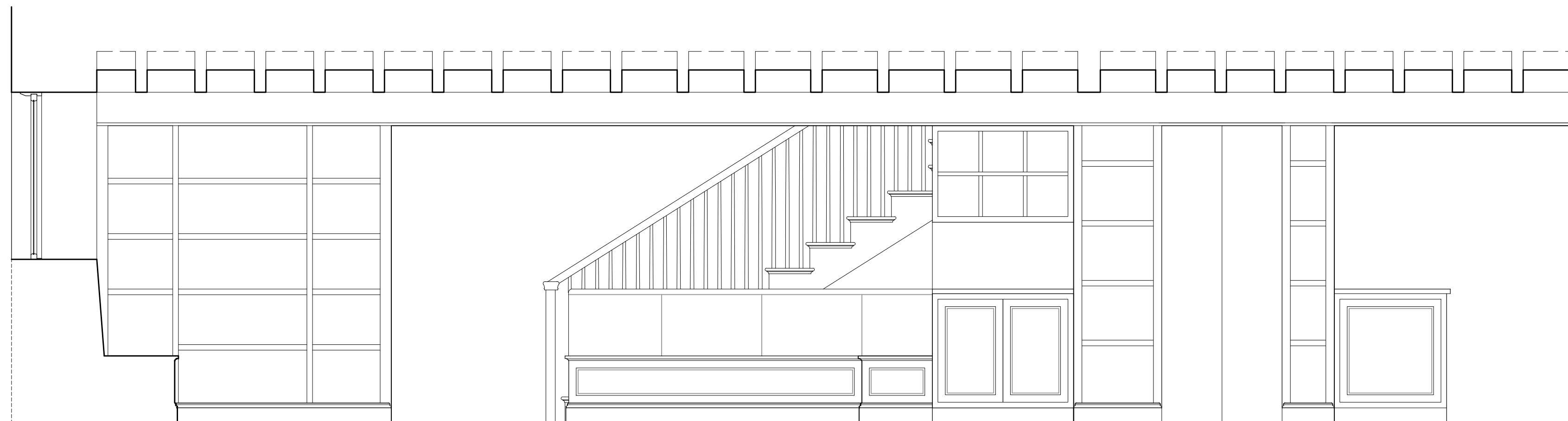


SHEET TITLE:
 PROPOSED
 BUILDING SECTIONS
 DATE: JANUARY 29, 2020
 SCALE: AS NOTED
 DRAWN: JGUR & RJP
 CHECKED: JGUR & MZP

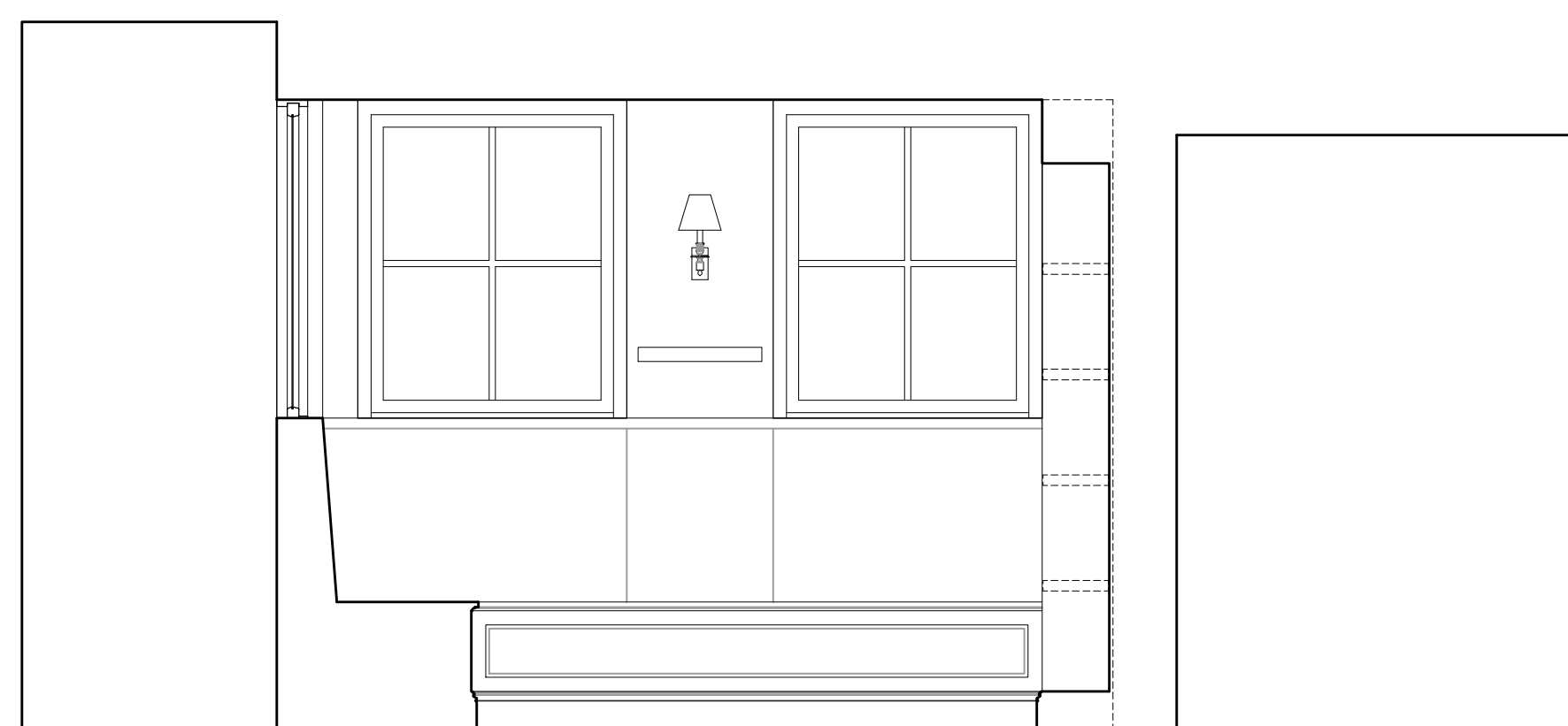
SHEET NO.
 A4.02



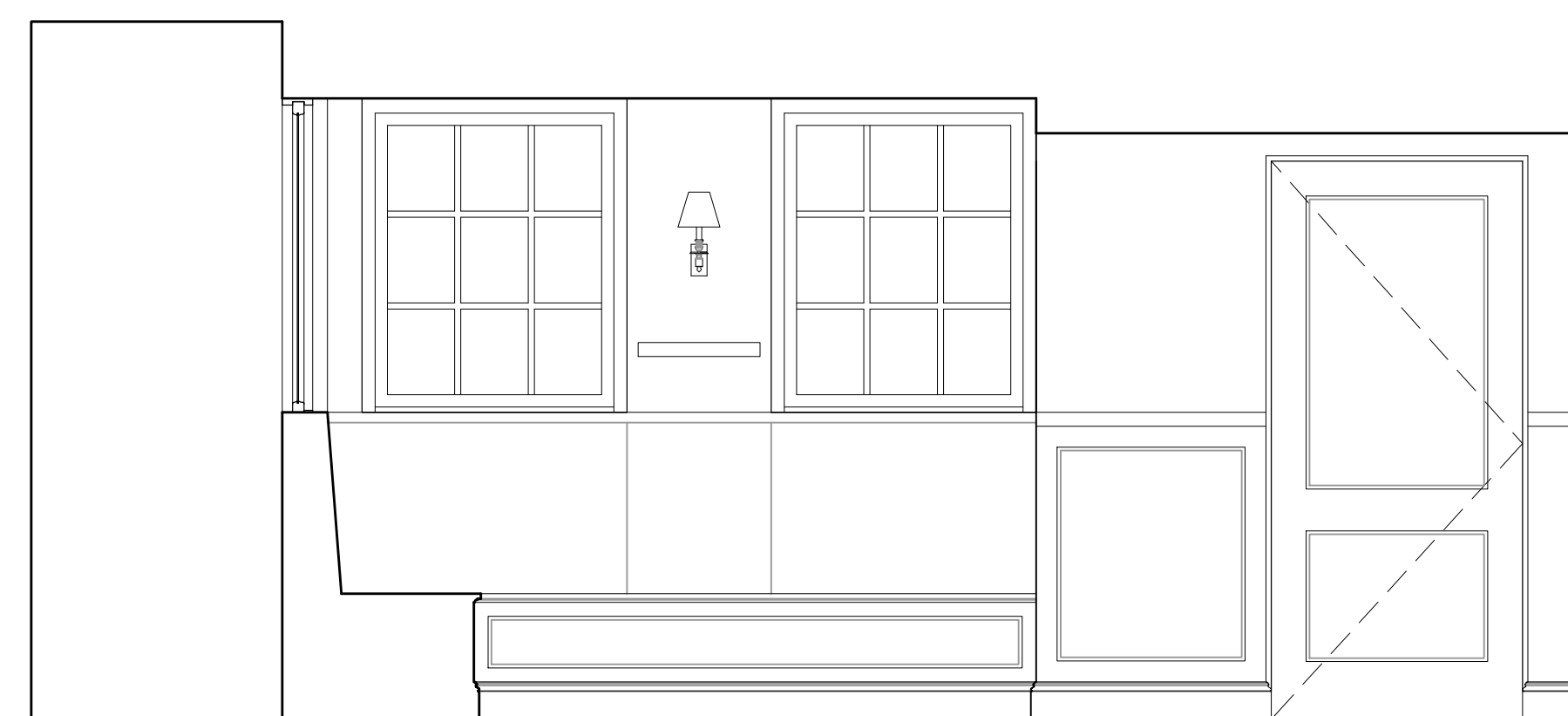
1 FIRST FLOOR - SOUTH
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



2 FIRST FLOOR - NORTH
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



3 FIRST FLOOR - WEST
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



3b FIRST FLOOR - WEST
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

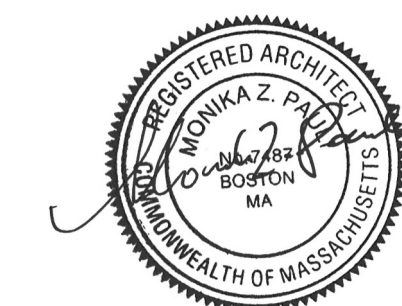


4 FIRST FLOOR - EAST
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



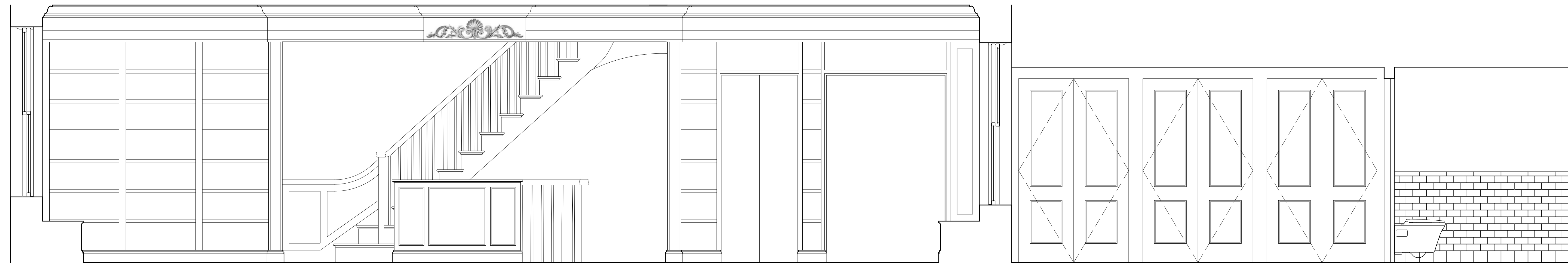
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SHEET TITLE:
 PROPOSED
 FIRST FLOOR
 INTERIOR ELEVATIONS
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

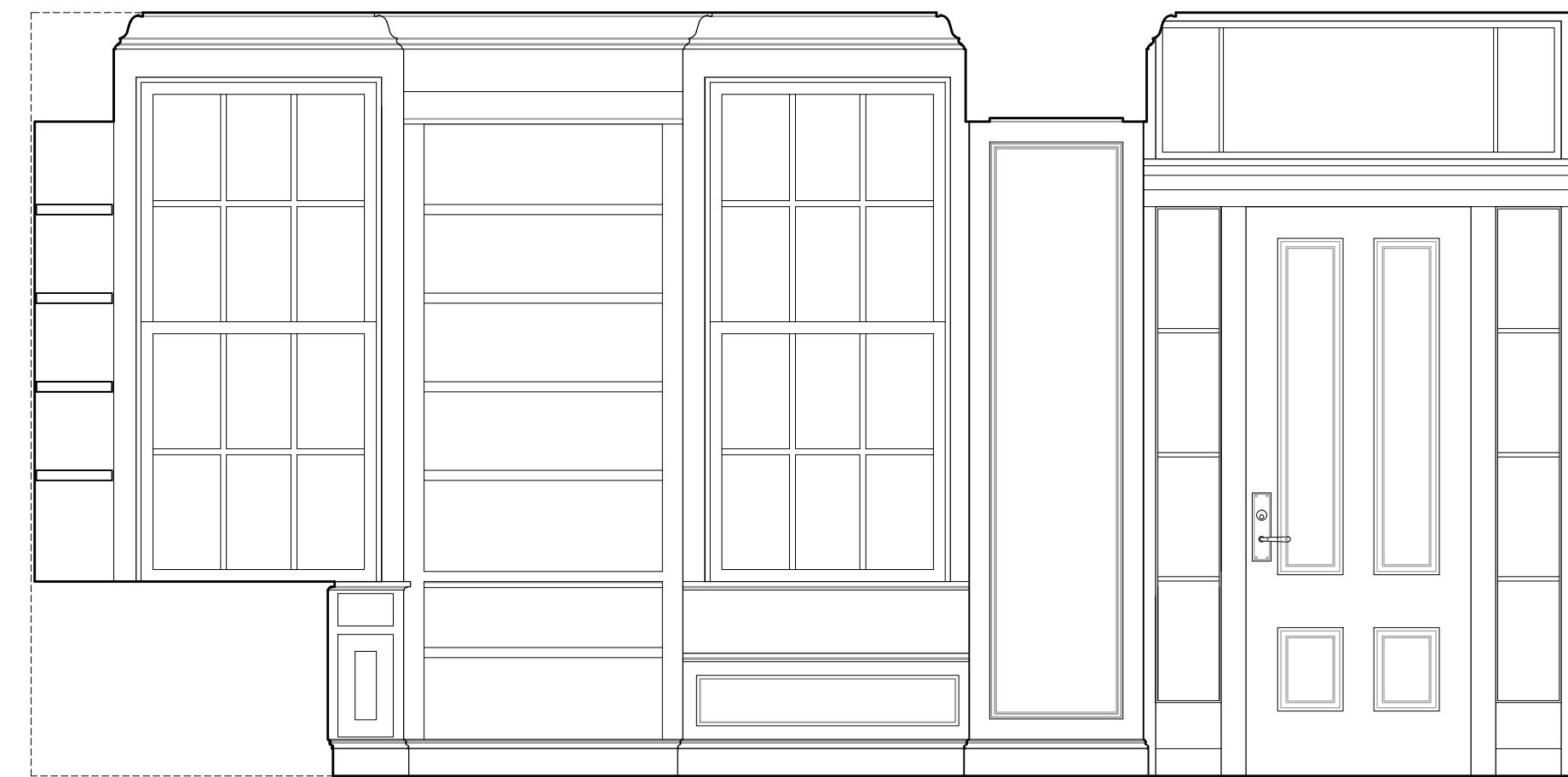
SHEET NO.
 A5.01



1 SECOND FLOOR - NORTH
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



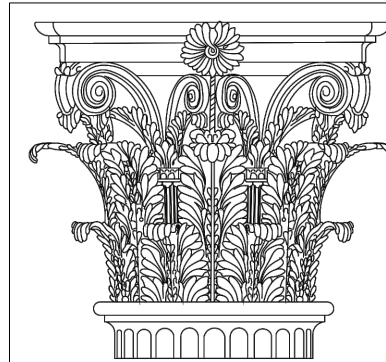
2 SECOND FLOOR - SOUTH
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



3 SECOND FLOOR - WEST
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

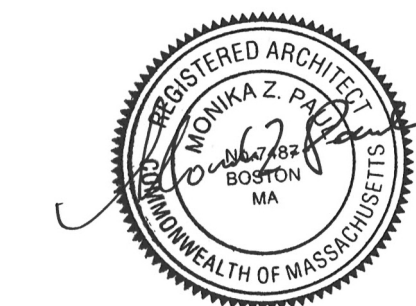


4 SECOND FLOOR - EAST
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



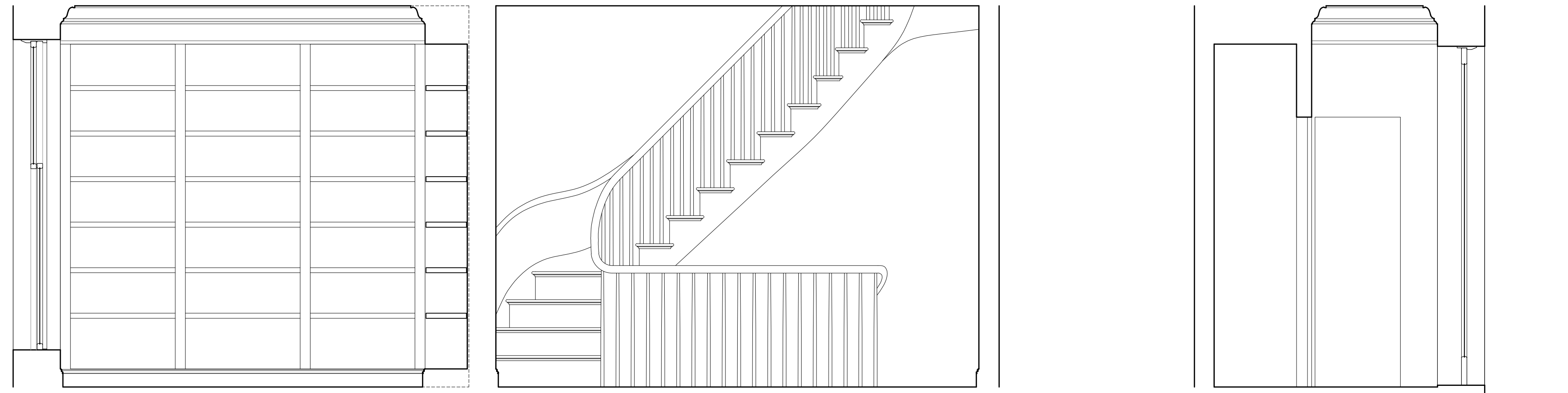
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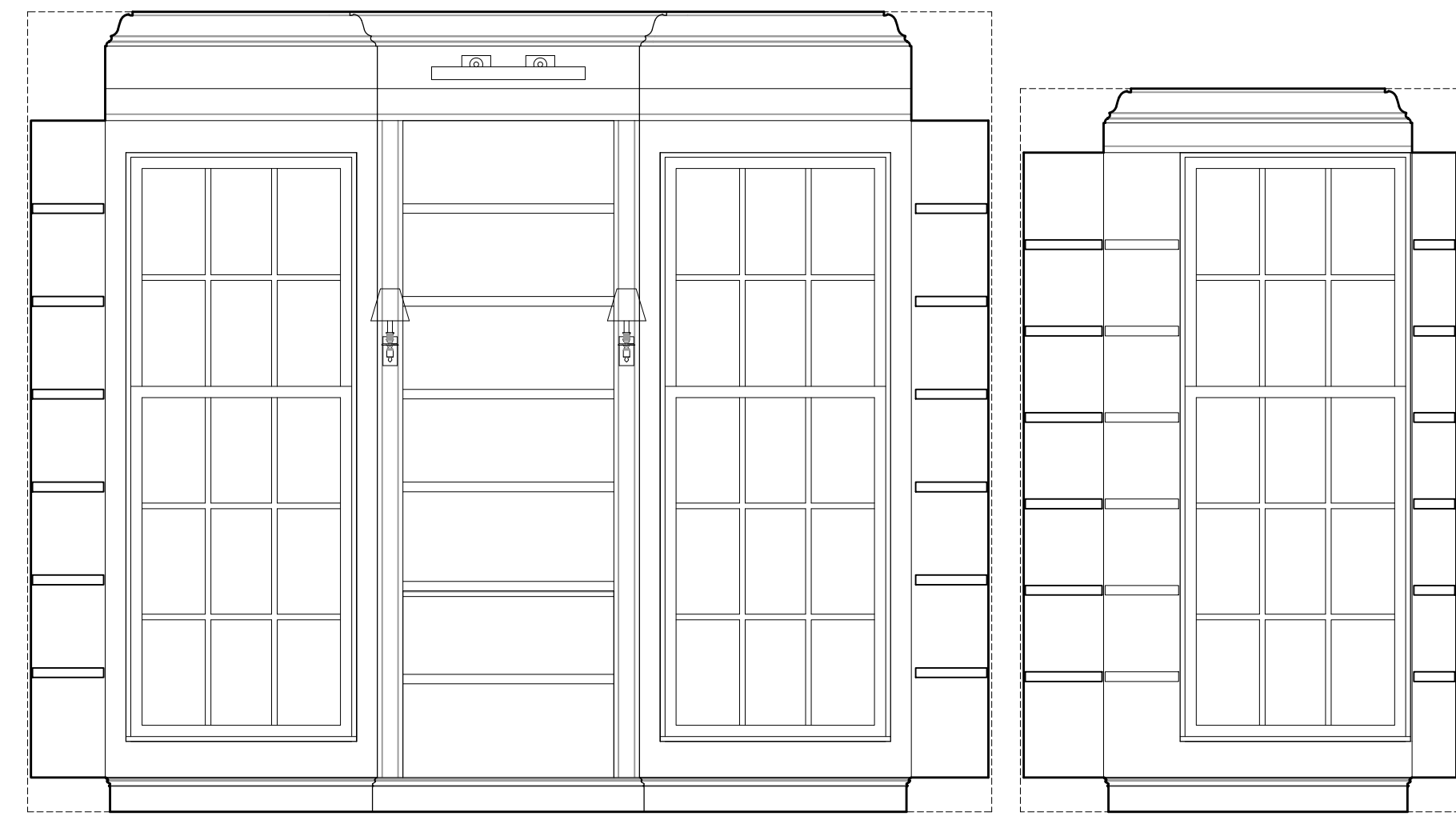


SHEET TITLE:
 PROPOSED
 SECOND FLOOR
 INTERIOR ELEVATIONS
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

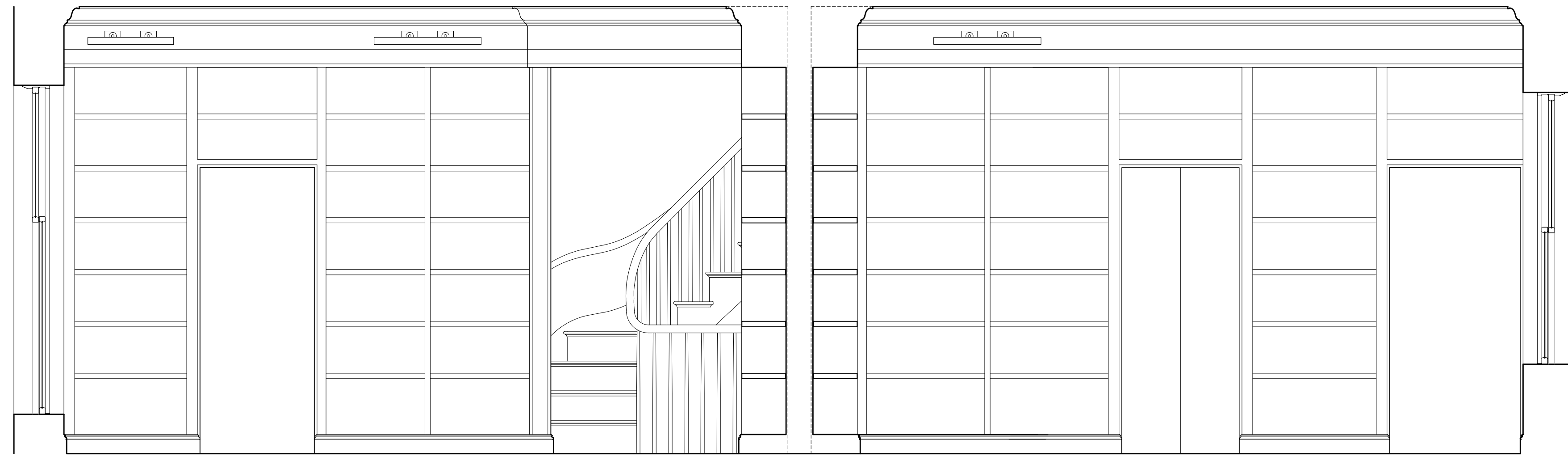
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 A5.02



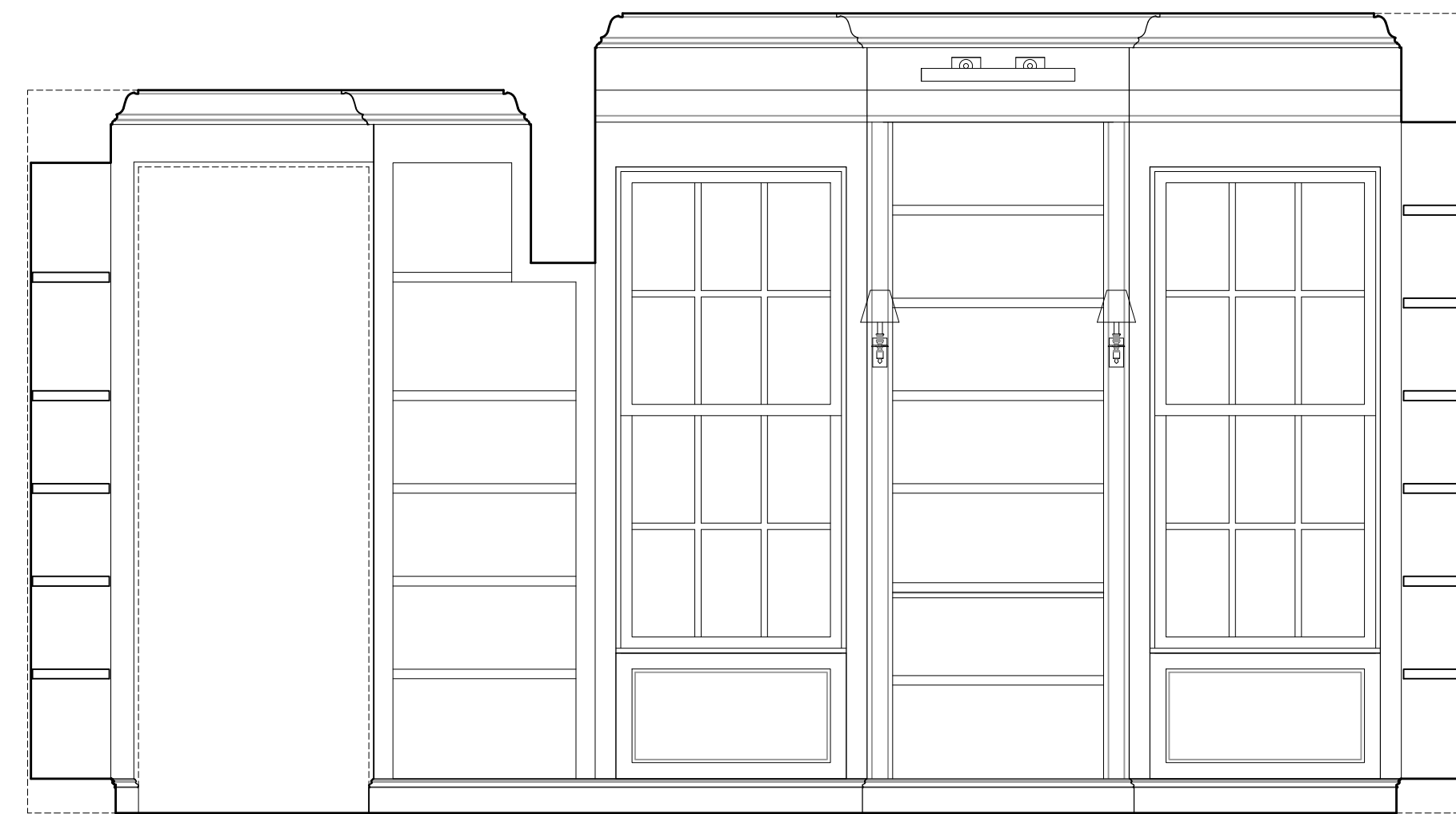
1b THIRD FLOOR - NORTH
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



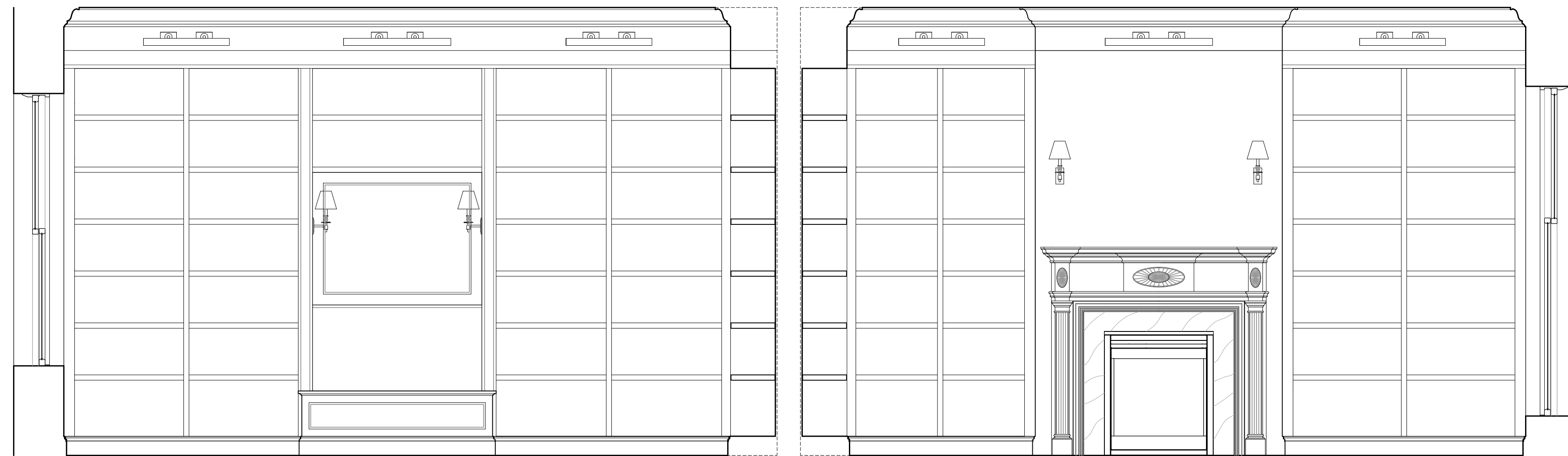
2 THIRD FLOOR - WEST
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



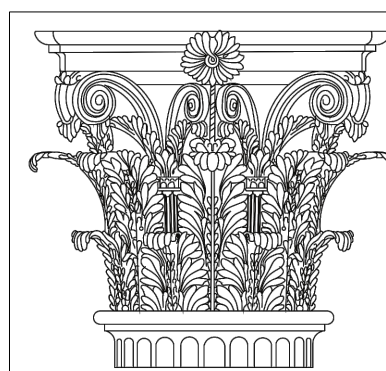
1 THIRD FLOOR - NORTH
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



3 THIRD FLOOR - EAST
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

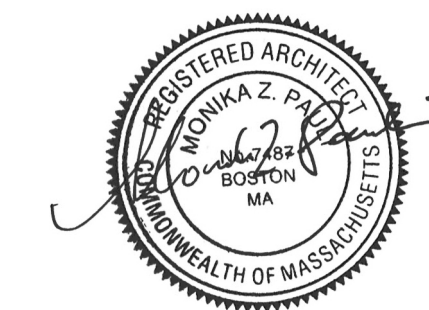


4 THIRD FLOOR - SOUTH
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



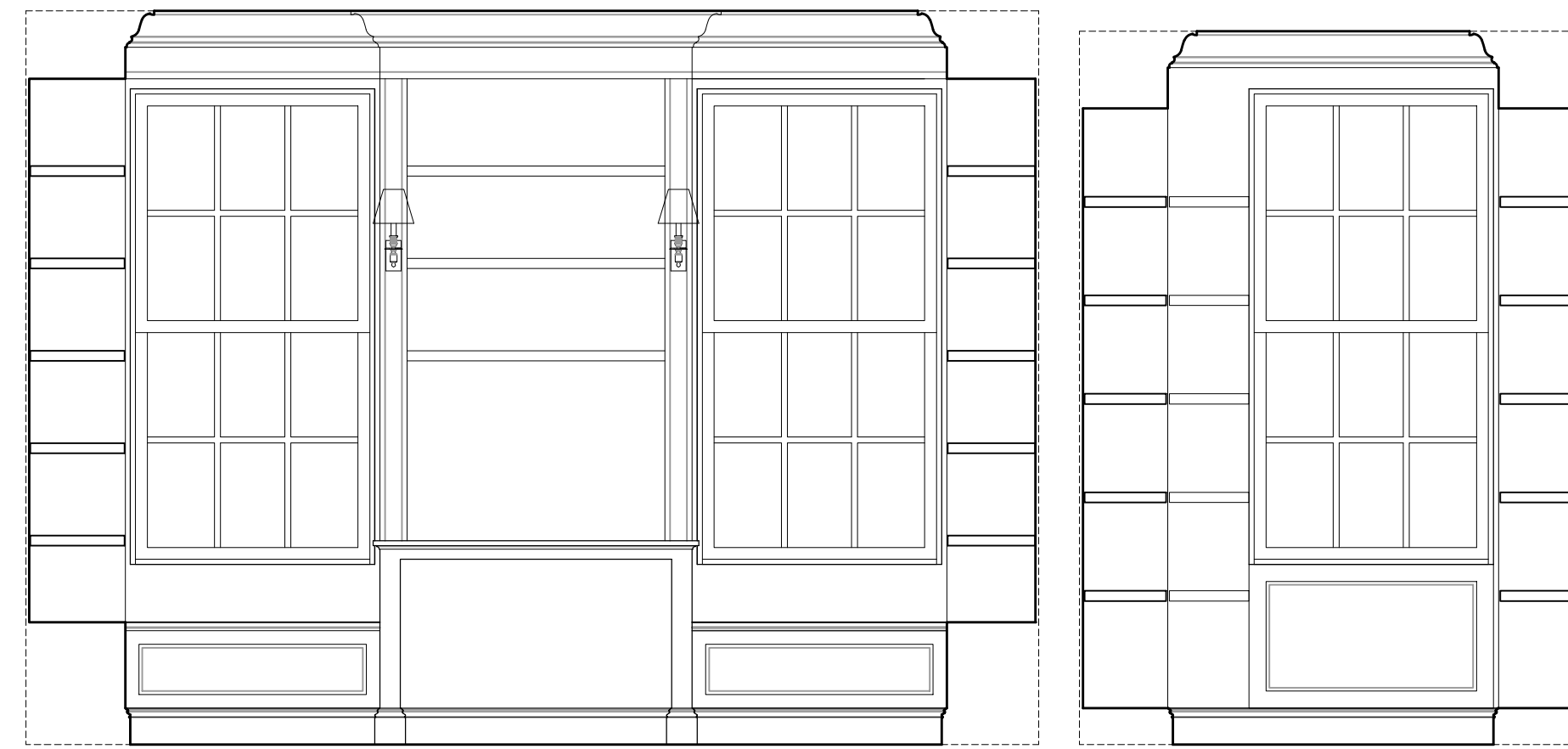
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SHEET TITLE:
PROPOSED
THIRD FLOOR
INTERIOR ELEVATIONS
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

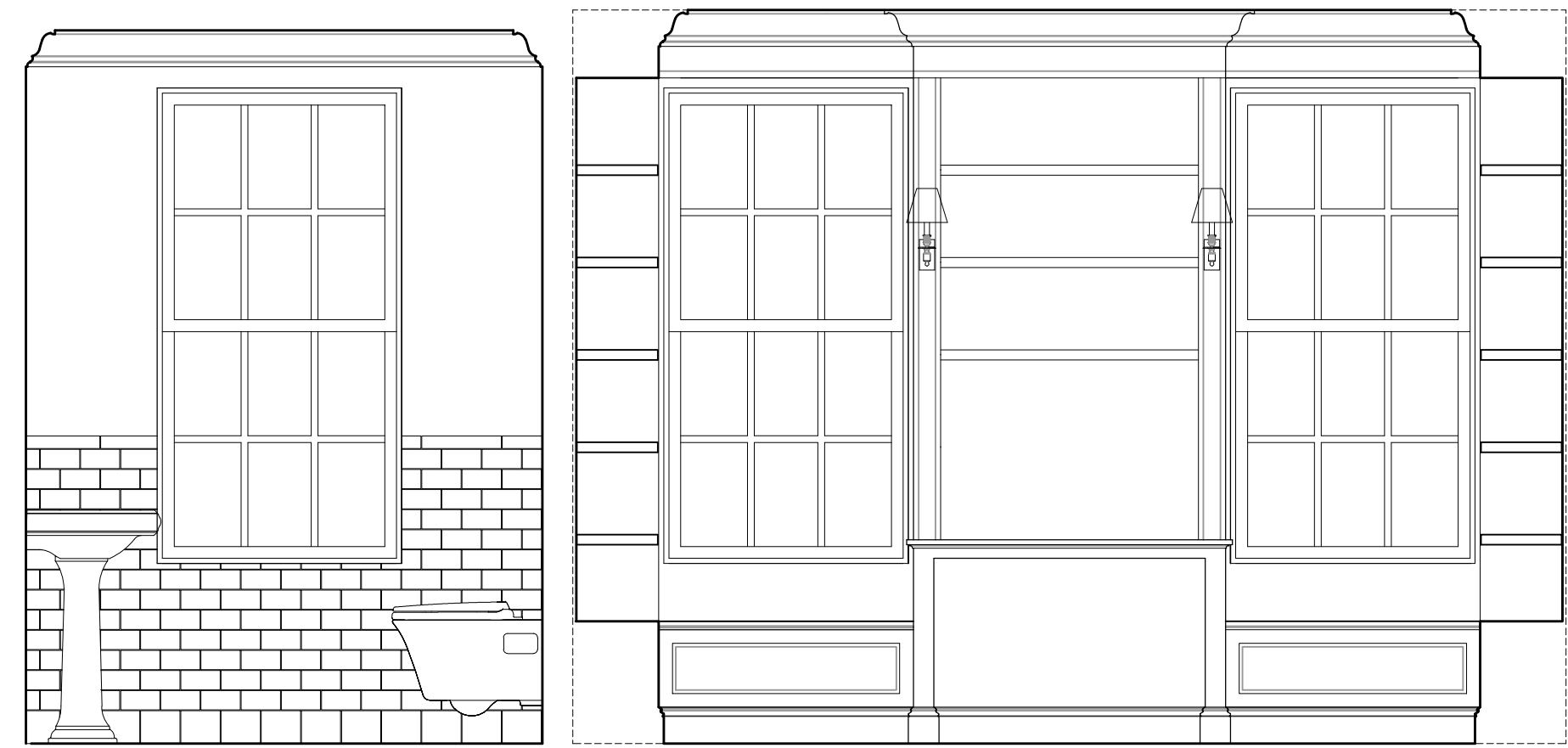
SHEET NO.
A5.03



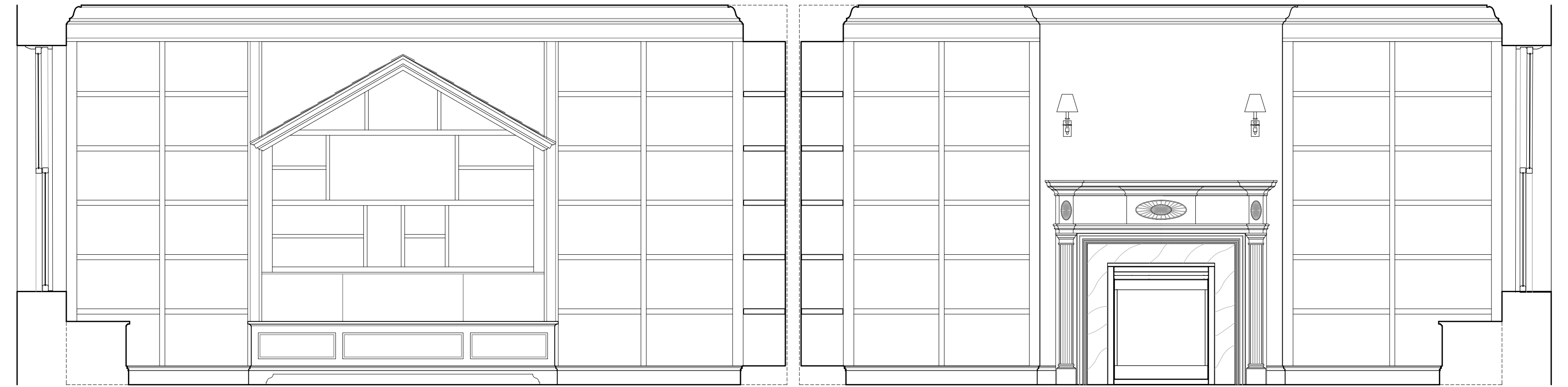
① FOURTH FLOOR - WEST
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



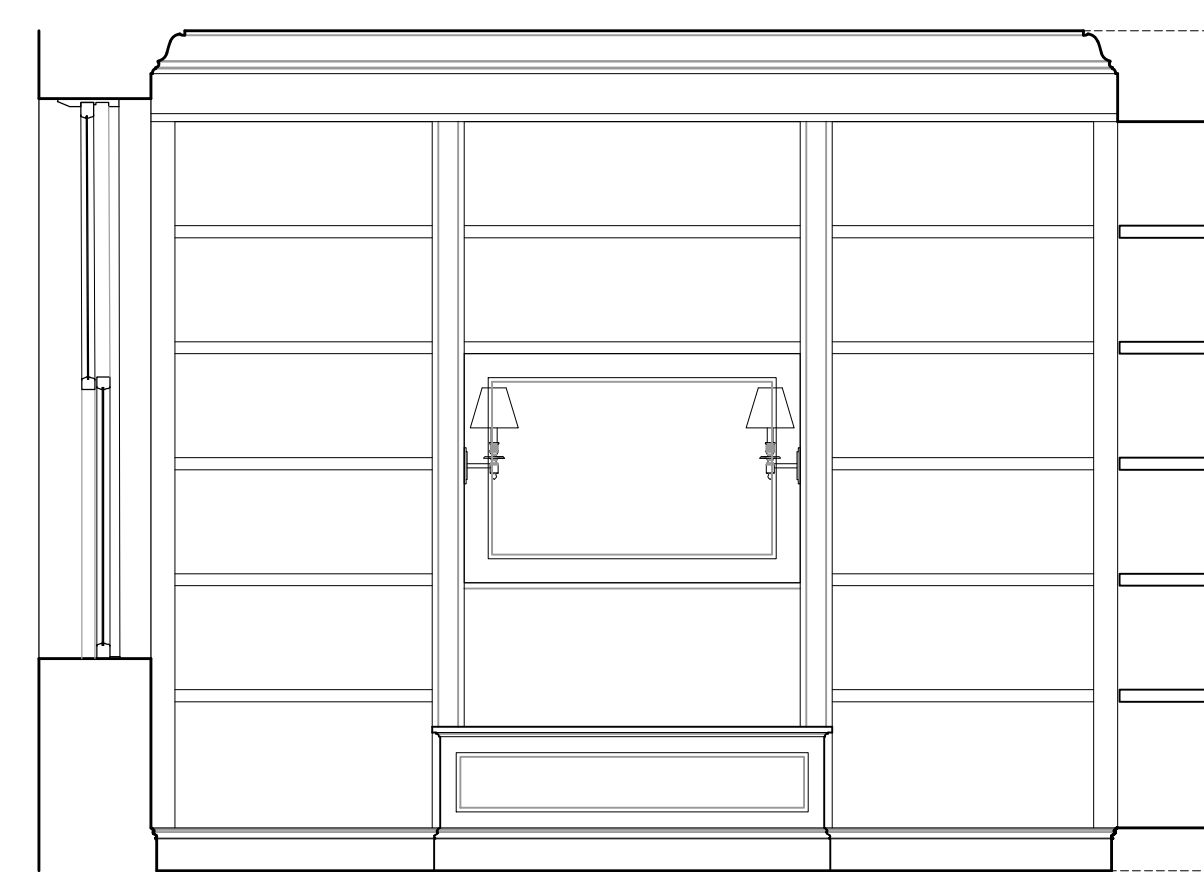
② FOURTH FLOOR - NORTH
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



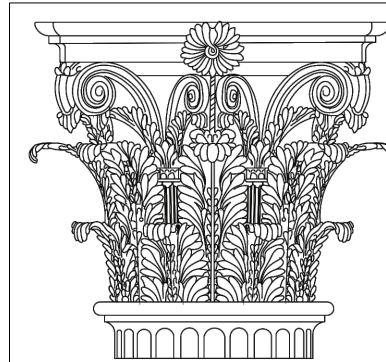
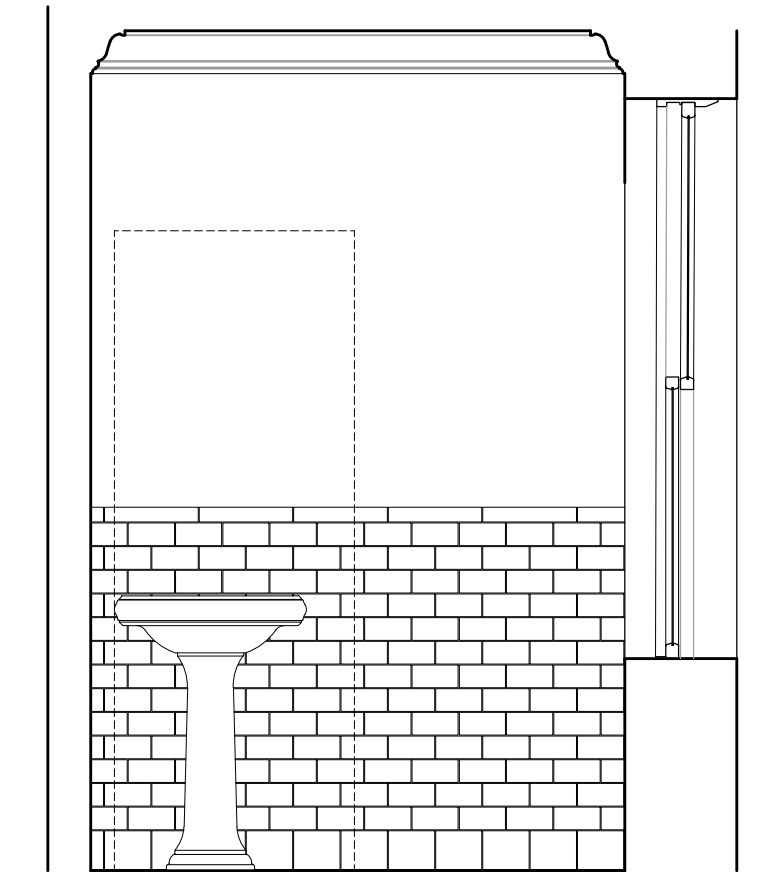
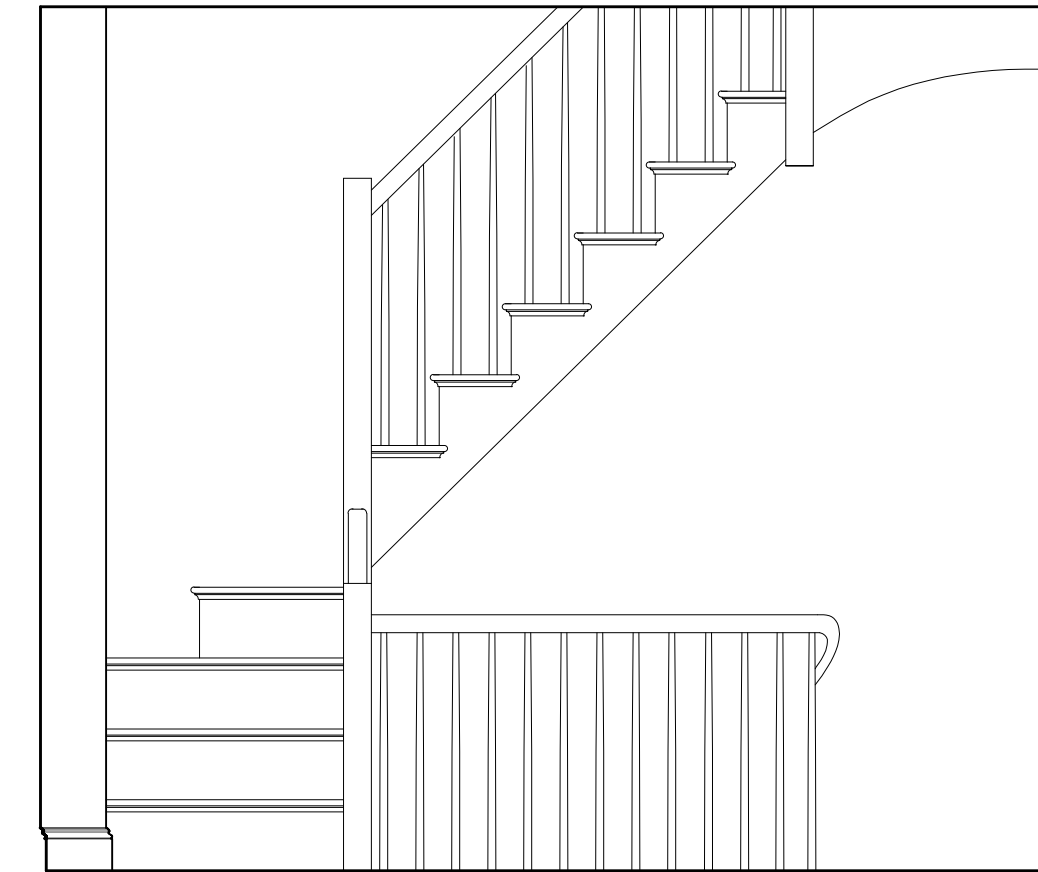
③ FOURTH FLOOR - EAST
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



④ FOURTH FLOOR - SOUTH
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

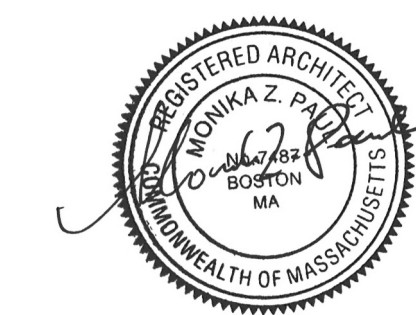


2b FOURTH FLOOR - NORTH
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



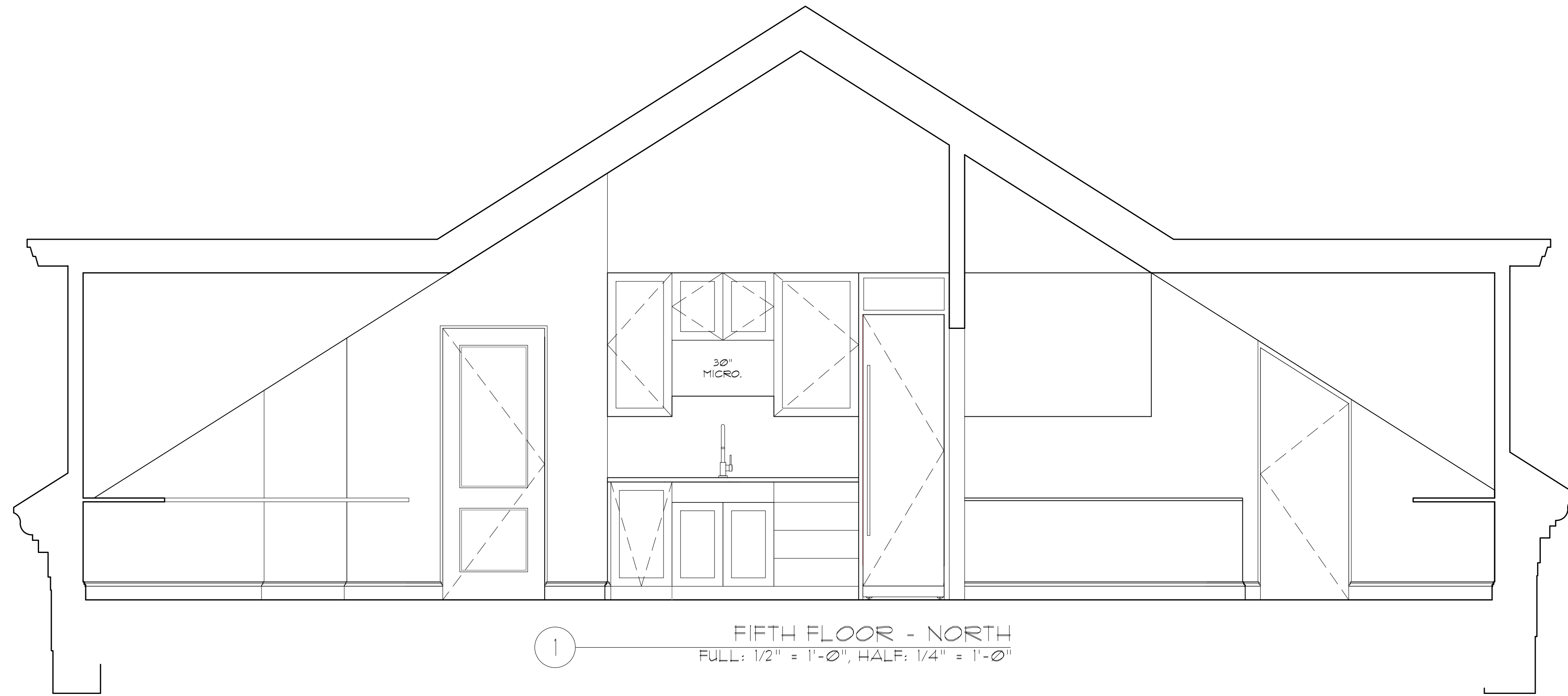
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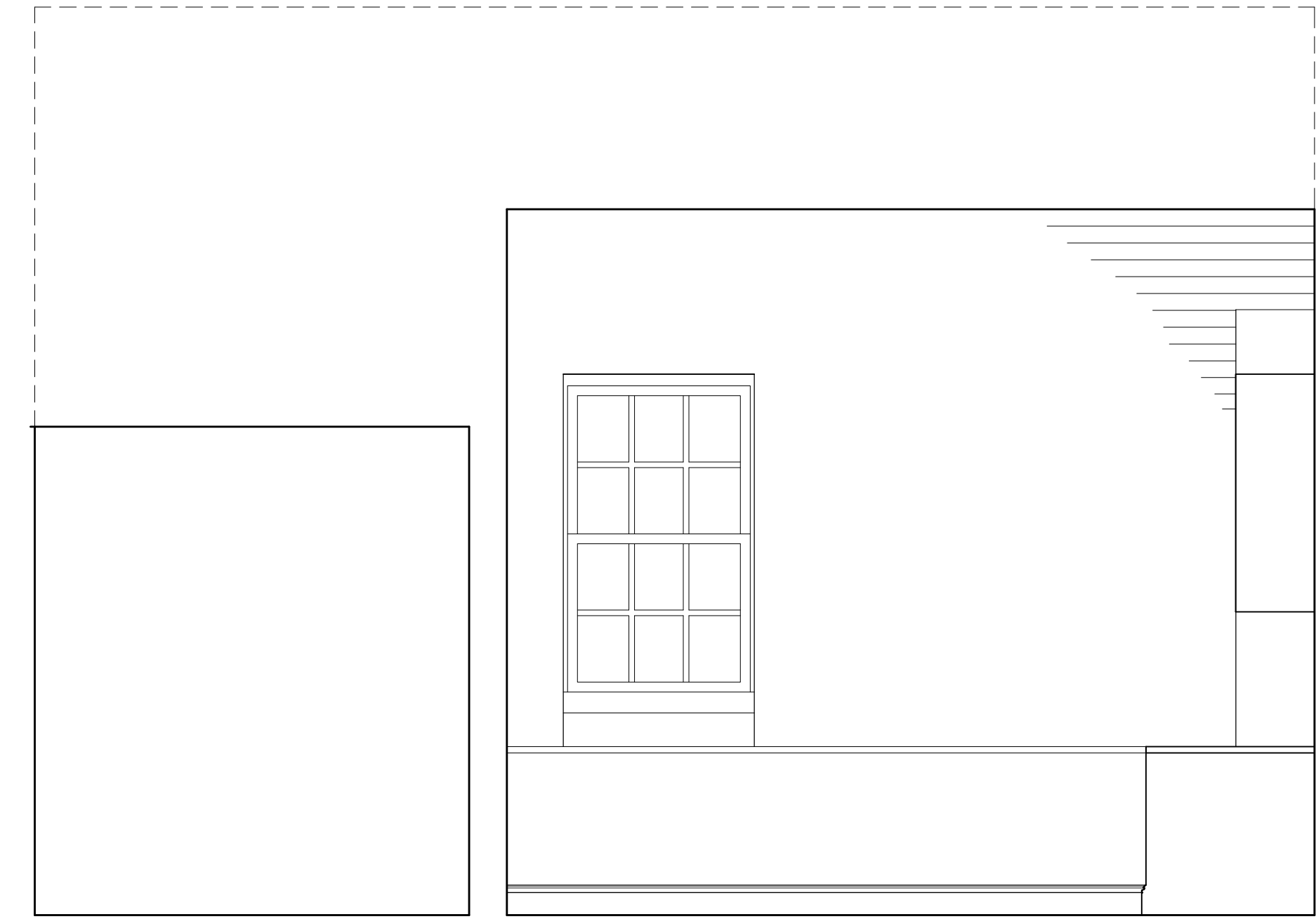


SHEET TITLE:
PROPOSED
THIRD FLOOR
INTERIOR ELEVATIONS
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

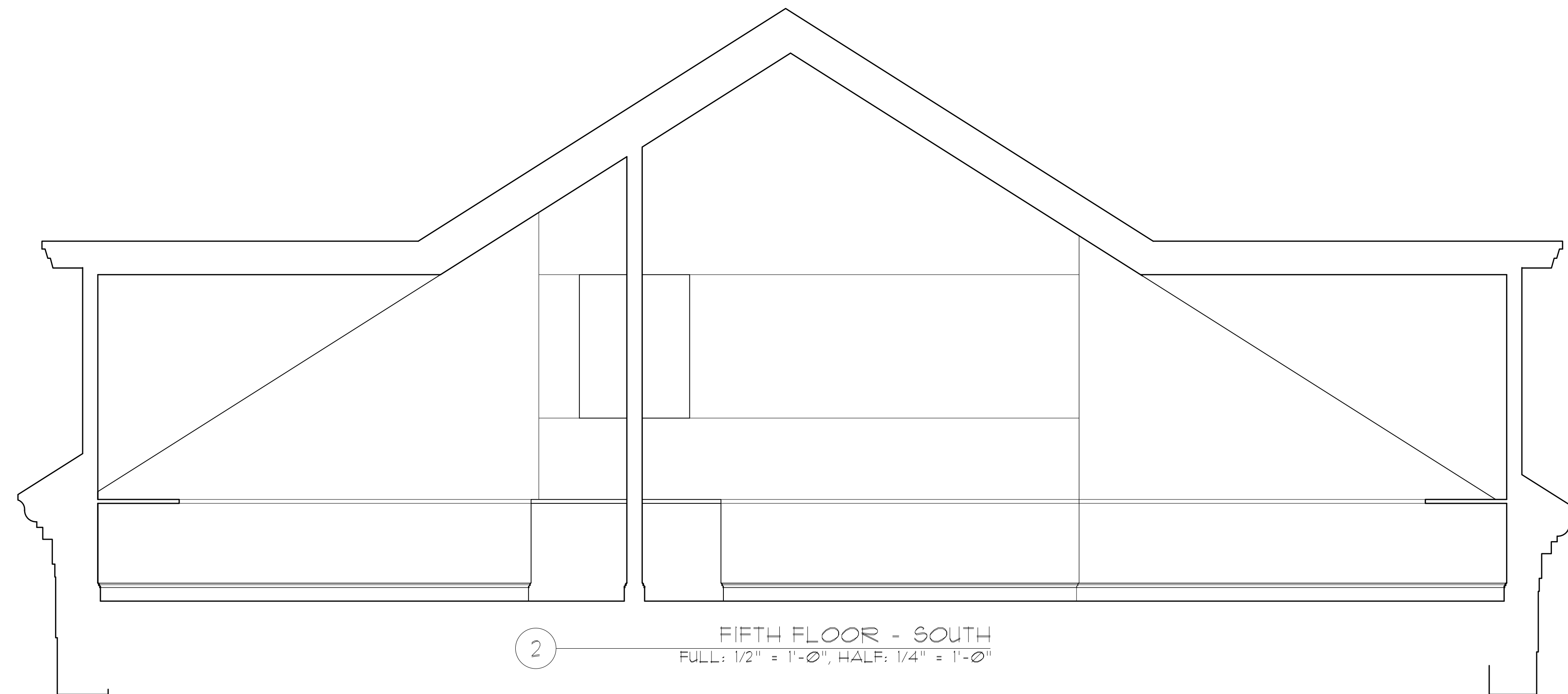
SHEET NO.
A5.04



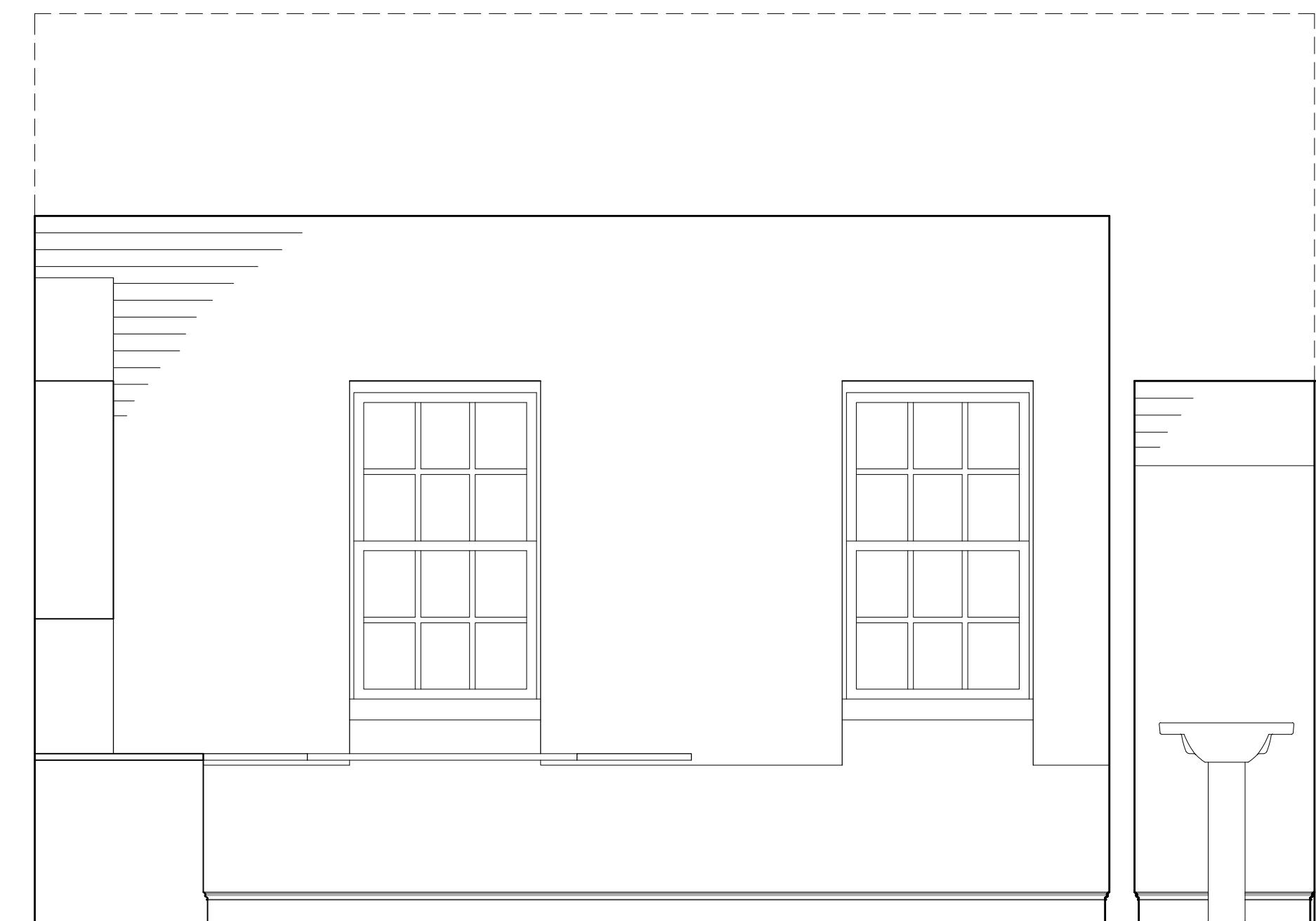
① FIFTH FLOOR - NORTH
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



③ FIFTH FLOOR - EAST
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



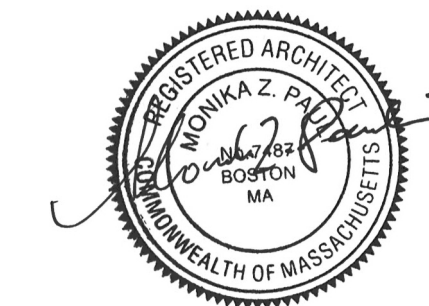
② FIFTH FLOOR - SOUTH
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



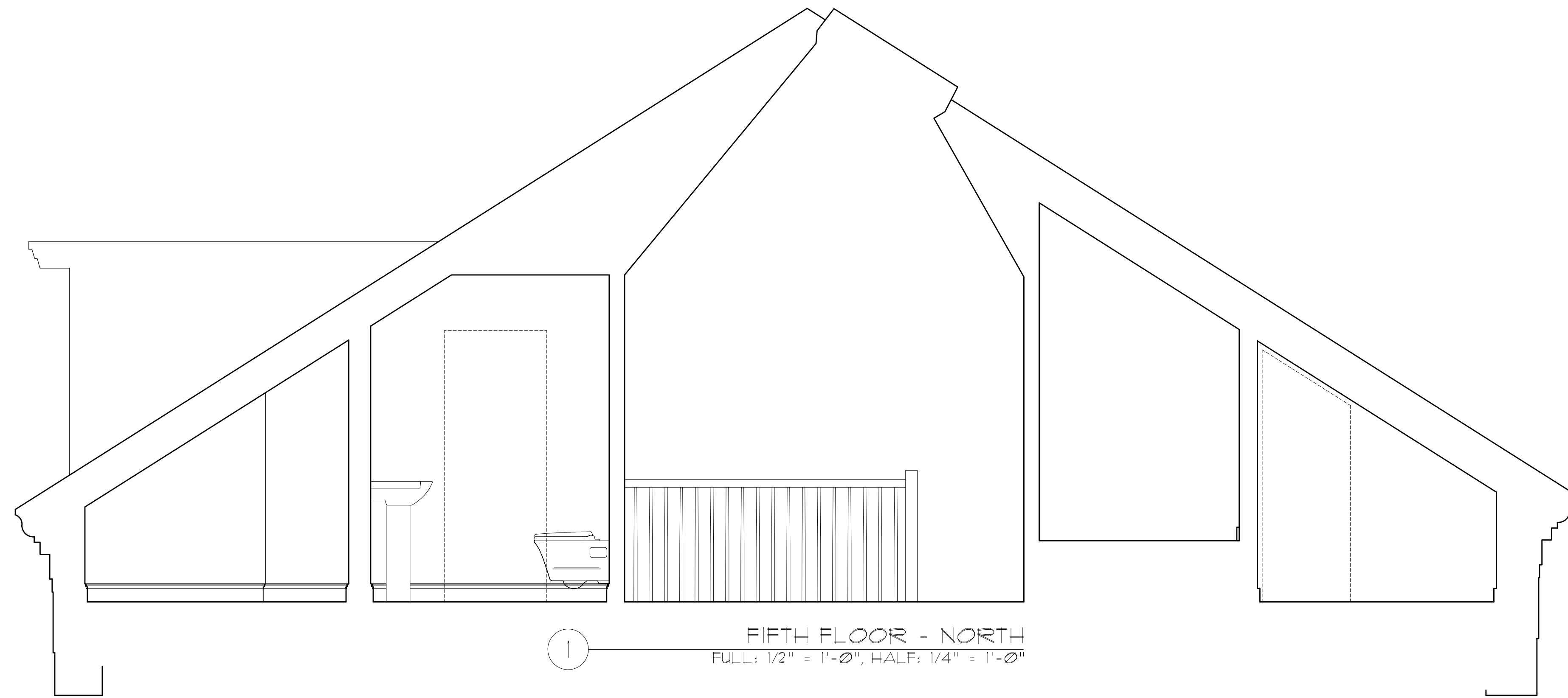
④ FIFTH FLOOR - WEST
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

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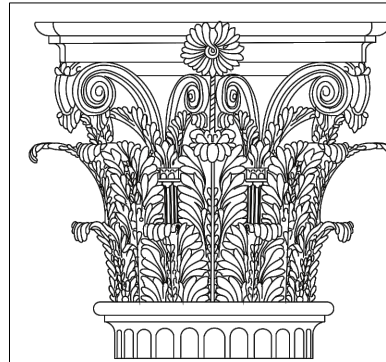
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SHEET TITLE: PROPOSED FIFTH FLOOR INTERIOR ELEVATIONS	SHEET NO. A5.05a
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	

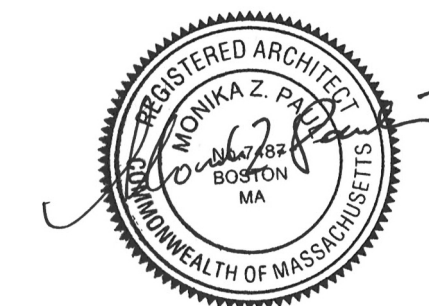


① FIFTH FLOOR - NORTH
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



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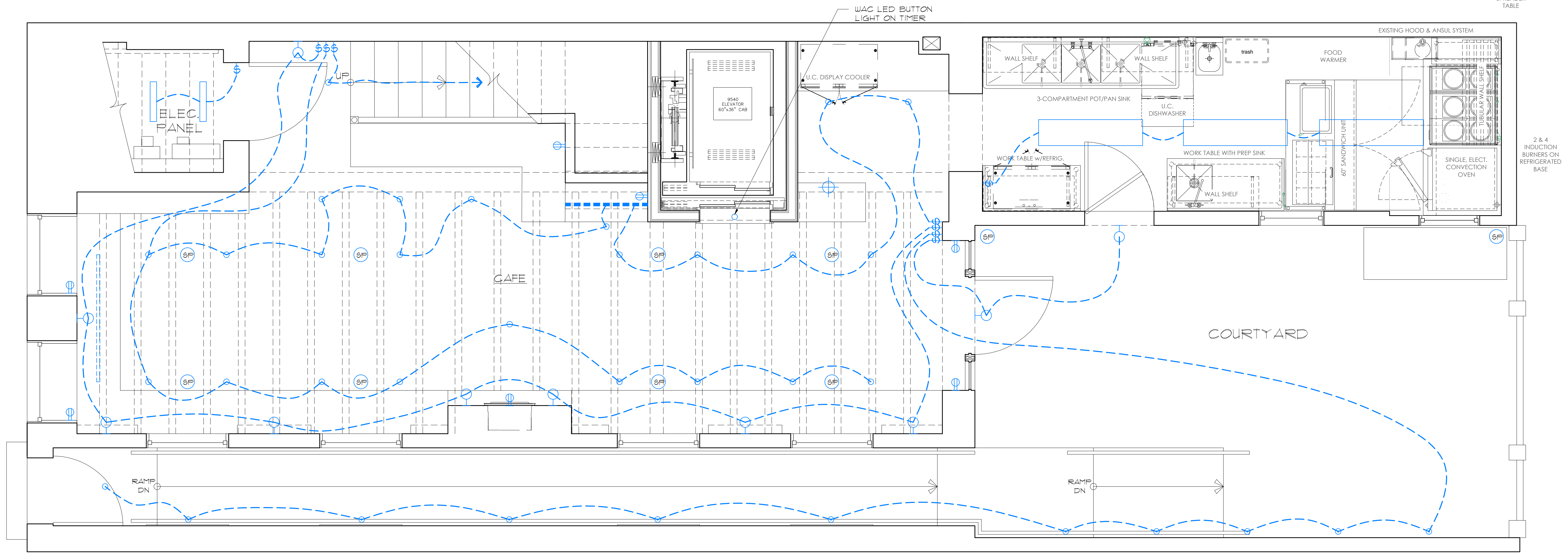
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SHEET TITLE:
 PROPOSED
 FIFTH FLOOR
 INTERIOR ELEVATIONS
DATE: JANUARY 29, 2020
SCALE: AS NOTED
DRAWN: JGUR & RJP
CHECKED: JGUR & MZP

SHEET NO.
 A5.05b

SPREADER TABLE



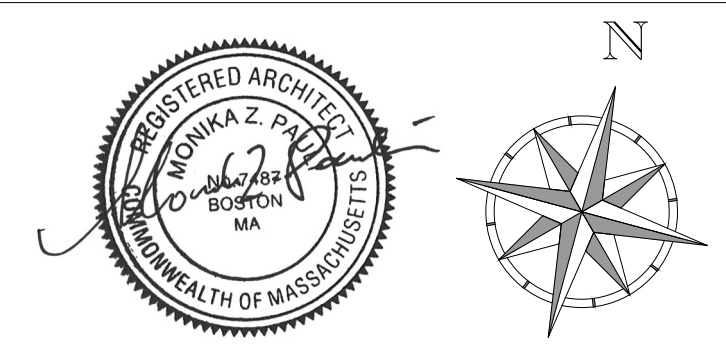
- NOTES:
- WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR
 - WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON
 - G.C. TO PROVIDE CEILING LIGHTING MOCK-UPS TO CONFIRM EXACT LOCATIONS

1 FIRST FLOOR ELECTRICAL PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

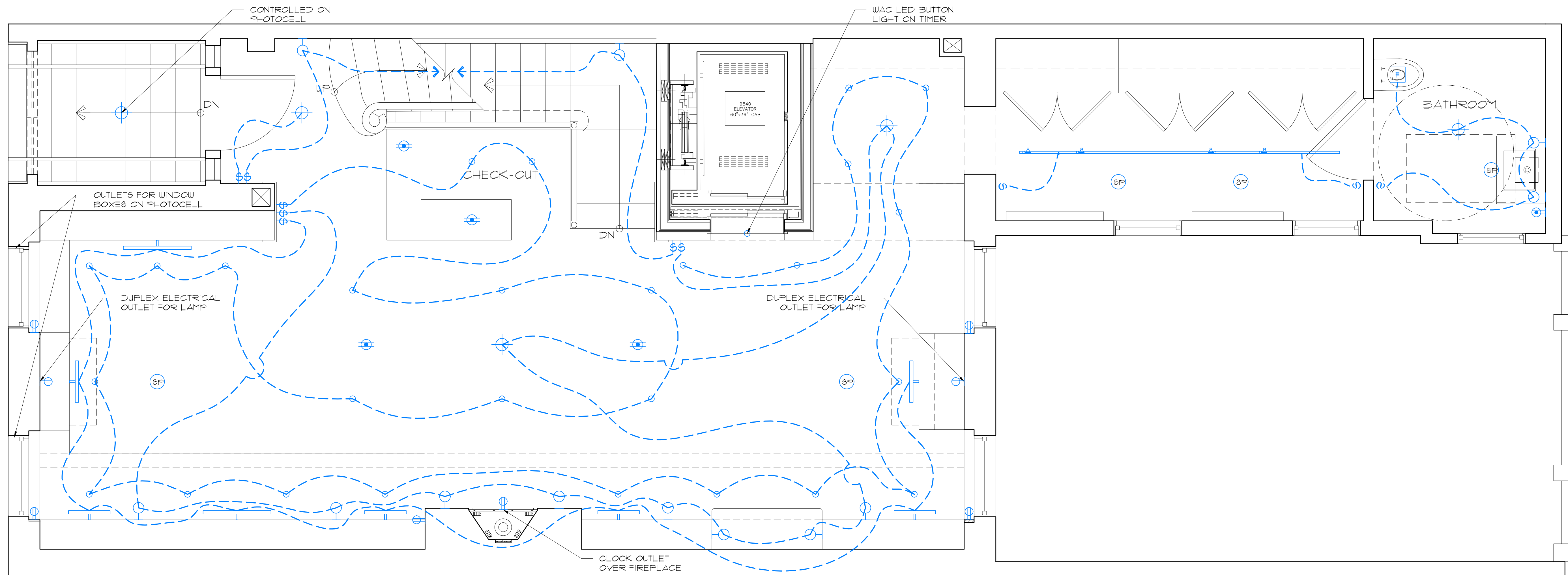
ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. AFF.	⊕
LIGHTING KEYPAD	⊕ K
RECESSED LIGHT	○
GROUND LIGHT	○
SURFACE MOUNT / PENDANT	⊕
WALL SCONCE	⊕
UNDER CABINET / COVE LIGHT	— — — — —
CLOSET/UTILITY LIGHT	⊕
PICTURE LIGHT	⊕
DUPLEX RECEPTACLE OUTLET	⊕
DUPLEX RECEPTACLE OUTLET GFI	⊕
FLOOR ELECTRICAL OUTLET	⊕
CEILING EXHAUST FAN	F
SMOKE DETECTOR	S
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TV
TELEPHONE / DATA OUTLET	⚡
ROLL DOWN SCREEN	— — — — —
SPEAKER	SP

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SHEET TITLE: PROPOSED FIRST FLOOR ELECTRICAL PLAN	SHEET NO. A8.01
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



- NOTES:
- WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR
 - WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON
 - ON 2ND FLOOR:
SCONCES & PENDANTS SWITCHED TOGETHER
PICTURE LIGHTS SWITCHED TOGETHER
RECESSED LIGHTS SWITCHED TOGETHER

1 SECOND FLOOR ELECTRICAL PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. AFF.	⊕
LIGHTING KEYPAD	⊕
RECESSED LIGHT	⊙
GROUND LIGHT	⊙
SURFACE MOUNT / PENDANT	⊕
WALL SCONCE	⊕
UNDER CABINET / COVE LIGHT	— — — — —
CLOSET/UTILITY LIGHT	⊕
PICTURE LIGHT	⊕
DUPLEX RECEPTACLE OUTLET	⊕
DUPLEX RECEPTACLE OUTLET GFI	⊕
FLOOR ELECTRICAL OUTLET	⊕
CEILING EXHAUST FAN	F
SMOKE DETECTOR	S
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TV
TELEPHONE / DATA OUTLET	▽
ROLL DOWN SCREEN	— — — — —
SPEAKER	SP

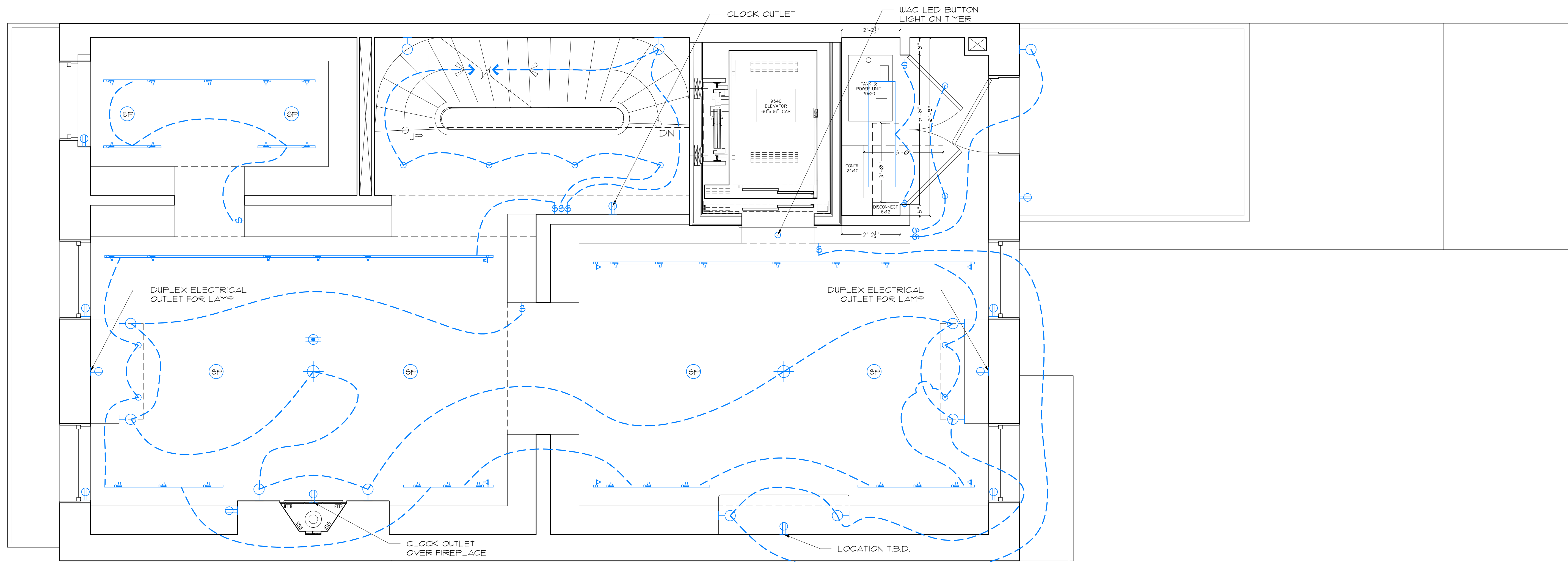
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REGISTERED ARCHITECT
 MONIKA Z. P.A.
 BOSTON, MA
 COMMONWEALTH OF MASSACHUSETTS

SHEET TITLE: PROPOSED SECOND FLOOR ELECTRICAL PLAN	SHEET NO. A8.02
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



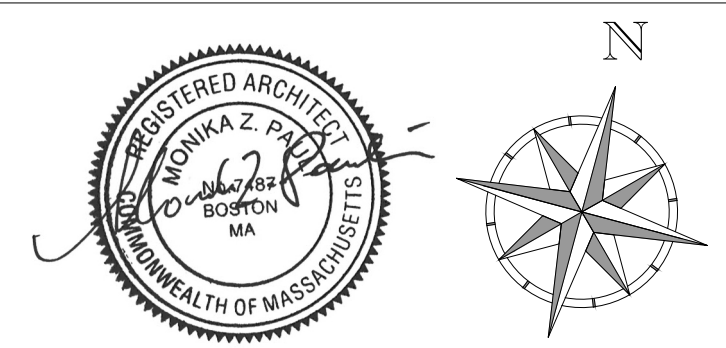
NOTES:
 - WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR
 - WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON

1 THIRD FLOOR ELECTRICAL PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

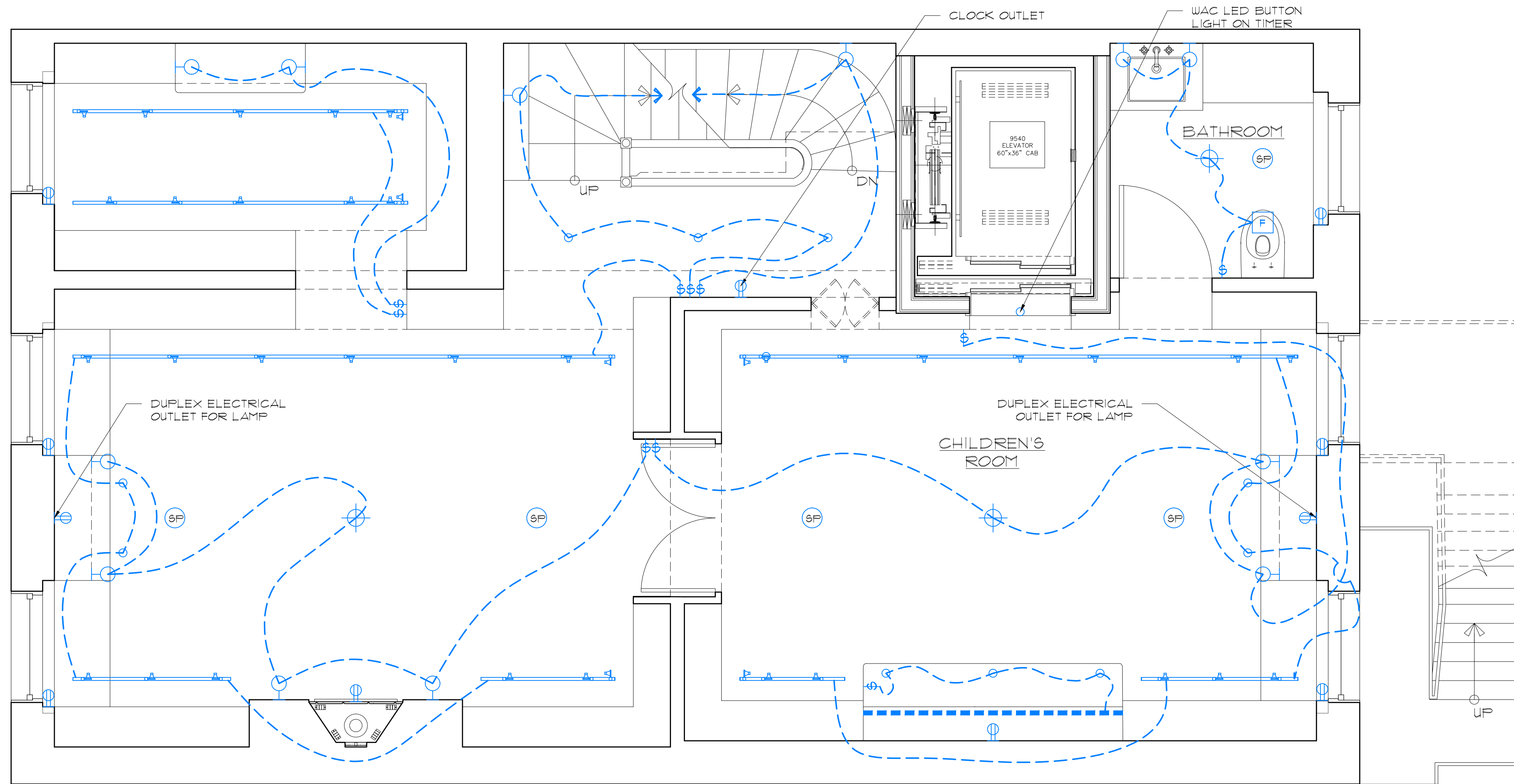
ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. AFF.	⊕
LIGHTING KEYPAD	⊕ K
RECESSED LIGHT	○
GROUND LIGHT	○
SURFACE MOUNT / PENDANT	⊕
WALL SCONCE	⊕
UNDER CABINET / COVE LIGHT	— — — — —
CLOSET/UTILITY LIGHT	⊕
PICTURE LIGHT	⊕
DUPLEX RECEPTACLE OUTLET	⊕
DUPLEX RECEPTACLE OUTLET GFI	⊕
FLOOR ELECTRICAL OUTLET	⊕
CEILING EXHAUST FAN	F
SMOKE DETECTOR	S
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TV
TELEPHONE / DATA OUTLET	⊕
ROLL DOWN SCREEN	— — — — —
SPEAKER	SF

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SHEET TITLE: PROPOSED THIRD FLOOR ELECTRICAL PLAN	SHEET NO. A8.03
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



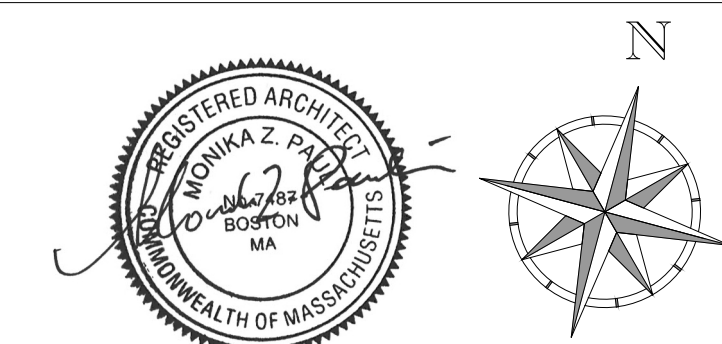
- NOTES:
- WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR
 - WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON

① FOURTH FLOOR ELECTRICAL PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

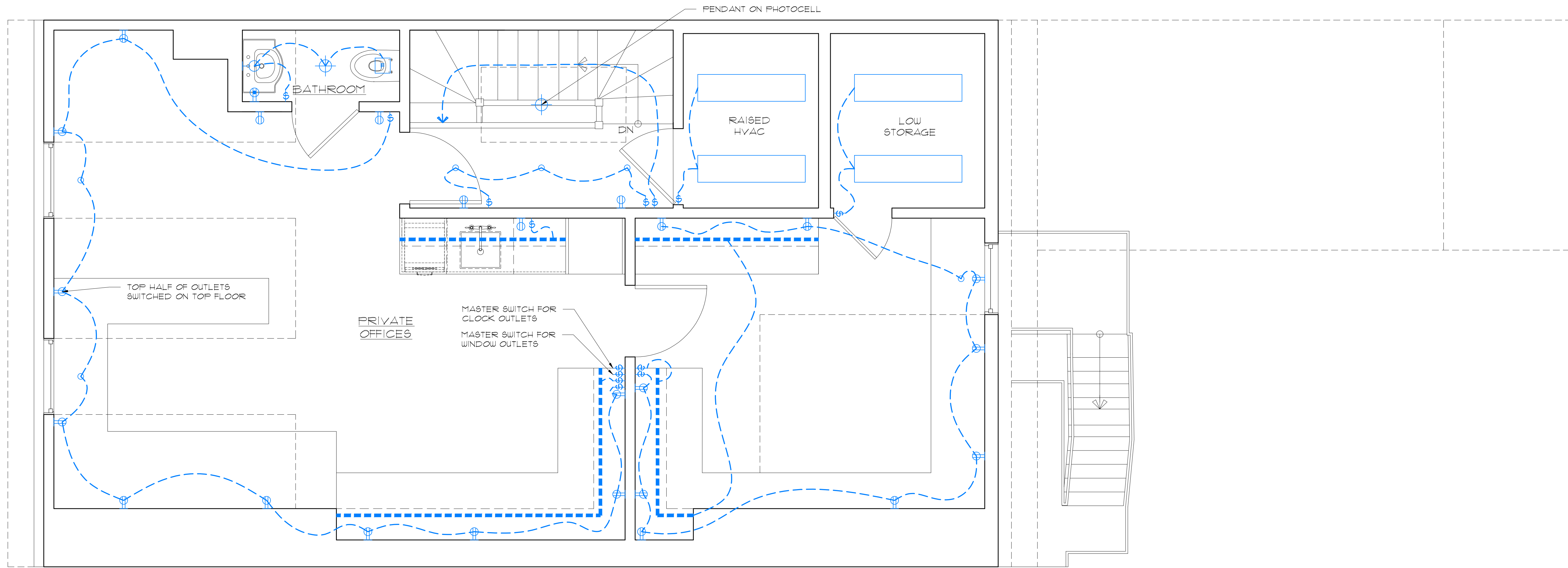
ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. AFF.	⊕
LIGHTING KEYPAD	Ⓚ
RECESSED LIGHT	○
GROUND LIGHT	⊙
SURFACE MOUNT / PENDANT	⊕
WALL SCONCE	Ⓞ
UNDER CABINET / COVE LIGHT	— — — — —
CLOSET/UTILITY LIGHT	Ⓚ
PICTURE LIGHT	Ⓚ
DUPLEX RECEPTACLE OUTLET	Ⓛ
DUPLEX RECEPTACLE OUTLET GFI	Ⓛ
FLOOR ELECTRICAL OUTLET	Ⓛ
CEILING EXHAUST FAN	F
SMOKE DETECTOR	S
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TV
TELEPHONE / DATA OUTLET	▽
ROLL DOWN SCREEN	— — — — —
SPEAKER	SP

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SHEET TITLE: PROPOSED FOURTH FLOOR ELECTRICAL PLAN	SHEET NO. A8.04
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	



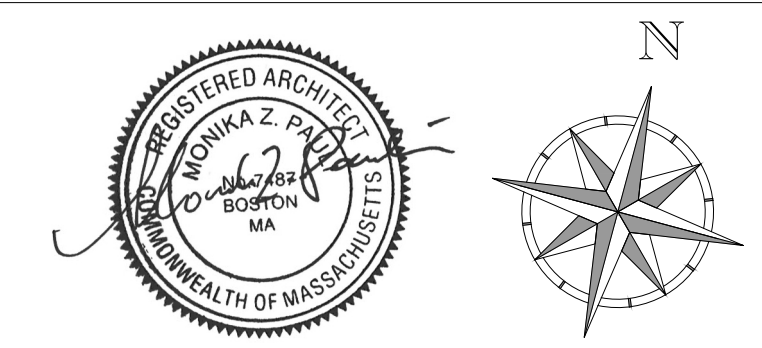
NOTES:
 - TOP HALF OF OUTLETS TO BE SWITCHED
 - WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON

1 FIFTH FLOOR ELECTRICAL PLAN
 FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. AFF.	Ⓢ
LIGHTING KEYPAD	Ⓚ
RECESSED LIGHT	○
GROUND LIGHT	○
SURFACE MOUNT / PENDANT	⊕
WALL SCONCE	Ⓜ
UNDER CABINET / COVE LIGHT	— — — — —
CLOSET/UTILITY LIGHT	Ⓛ
PICTURE LIGHT	Ⓛ
DUPLEX RECEPTACLE OUTLET	Ⓛ
DUPLEX RECEPTACLE OUTLET GFI	Ⓛ
FLOOR ELECTRICAL OUTLET	Ⓛ
CEILING EXHAUST FAN	Ⓛ
SMOKE DETECTOR	Ⓢ
HEAT DETECTOR	Ⓜ
THERMOSTAT	Ⓜ
TELEVISION OUTLET	Ⓛ
TELEPHONE / DATA OUTLET	Ⓛ
ROLL DOWN SCREEN	— — — — —
SPEAKER	Ⓢ

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SHEET TITLE: PROPOSED FIFTH FLOOR ELECTRICAL PLAN	SHEET NO. A8.05
DATE: JANUARY 29, 2020	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZP	