

BOSTON, MASSACHUSETTS

PERMIT SET

Schedule of Drawings JANUARY 29, 2020

Pauli & Uribe Architects LLC

ST TODO TITLE SHEET PLOT PLAN BY WATERMAN ASSOCIATES, CANTON, MA EC1 - EXISTING - FLOOR PLANS EC10! EXISTING - FLOOR PLAN EC102: EXISTING - FLOOR PLAN EC103: EXISTING - FLOOR PLAN EC104: EXISTING - FLOOR PLAN EC105: EXISTING - EXPERIENCE ELEVATIONS EC3 - EXISTING - EXTERIOR ELEVATIONS EC3 - EXISTING - EXTERIOR ELEVATIONS EC4 - EXISTING - EXTERIOR ELEVATIONS EC4 - EXISTING - EXPERIENCE ELEVATIONS EC4 - EXISTING - BUILDING SECTIONS A 4 B EC4-02: EXISTING BUILDING SECTIONS A 4 B EC4-02: EXISTING BUILDING SECTIONS A 4 B EC4-02: EXISTING BUILDING SECTION C A1 - PROPOSED - FLOOR PLAN A102: PROPOSED FROM - LOOR PLAN A103: PROPOSED FROM - LOOR PLAN A104: PROPOSED FROM - LOOR PLAN A105: PROPOSED FOURTH FLOOR PLAN A106: PROPOSED FOURTH FLOOR PLAN A107: PROPOSED FROM - LOOR PLAN A3 - PROPOSED FROM - LOOR PLAN A3 - PROPOSED BUILDING SECTIONS A3 - PROPOSED BUILDING SECTIONS A3 - PROPOSED BUILDING SECTIONS A4-0P PROPOSED BUILDING SECTIONS A4-0P PROPOSED BUILDING SECTIONS A4-0P PROPOSED BUILDING SECTIONS A5 - PROPOSED BUILDING SECTIONS A5-0P PROPOSED FIRST FLOOR INTERIOR ELEVATIONS A5-0P PROPOSED BUILDING SECTIONS A5-0P PROPOSED BUILDING SECTIONS A5-0P PROPOSED BUILDING SECTIONS A5-0P PROPOSED FIRST FLOOR INTERIOR ELEVATIONS A6-0P PROPOSED FIRST FLOOR INTERIOR ELEVATIONS A6-0P PROPOSED FIRST FLOOR INTERIOR ELEVATIONS A6-0P PROPOSED FIRST FLOOR ELECTRICAL PLAN A6-0P PROPOSED FIRST FLOOR ELE	C la ±	Title
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PROJECT SUMMARY:

LOT FALLS UNDER TWO DISTRICTS: L-2-65 AND H-2-65. UNDER ARTICLE 12, TRANSITION ZONING, THE L USE CAN MOVE 30 FT INTO THE H DISTRICT. THIS PUTS THE ENTIRE MAIN 5- LEVEL STRUCTURE IN THE L DISTRICT AND LEAVES THE REAR PORTION OF THE 2-STORY ELL IN THE H DISTRICT.

LOT AREA: 1,120 SF - GROSS FLOOR AREA: 3,822 SF - F.A.R: 3.41 EXISTING RESTAURANT ON FIRST AND SECOND LEVEL WITH THREE RESIDENTIAL UNITS AND OFFICES ABOVE

LOT AREA: 1,120 SF - GROSS FLOOR AREA: 3,822 SF - F.A.R: 3.41 (NO CHANGE) 1ST LEVEL: CONTINUED RESTAURANT/CAFÉ USE WITH KITCHEN IN THE ELL 2ND TO 4TH LEVEL: BOOKSTORE INCLUDING CHILDREN'S BOOKS 5TH LEVEL: BOOKSTORE OFFICES

AN ELEVATOR AND ACCESSIBLE RAMP ARE PROPOSED AS REQUESTED BY THE ARCHITECTURAL ACCESS BOARD. THERE ARE NO PROPOSED ADDITIONS TO THE EXTERIOR OR TO THE EXISTING FLOOR AREA. WE RECEIVED BHAC APPROVAL (1.24.20) FOR ALL PROPOSED EXTERIOR REPAIRS AND CHANGES.

GENERAL REQUIREMENTS:

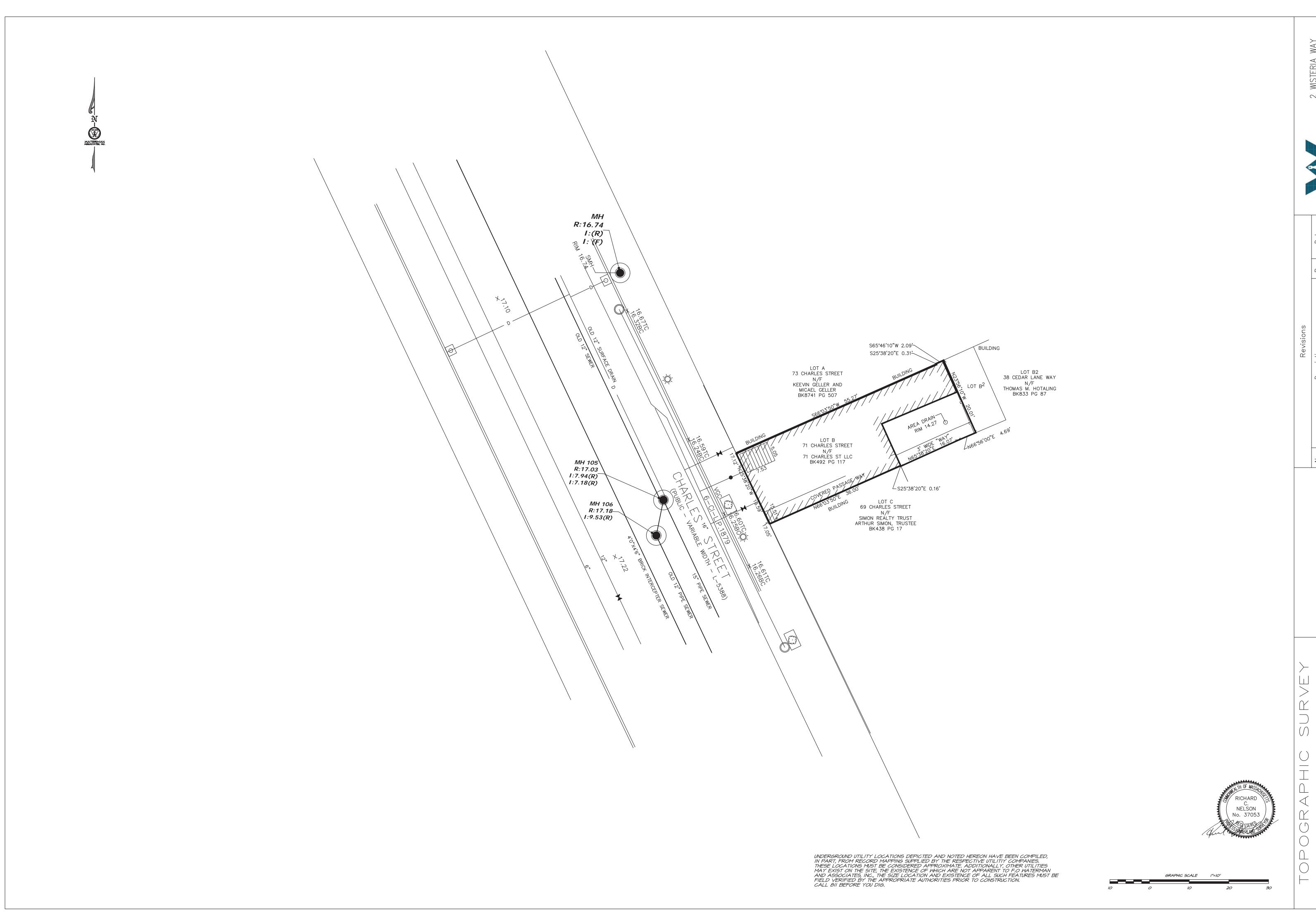
- 1. ALL DIMENSIONS ARE TO WALL FINISH UNLESS INDICATED OTHERWISE.
- 2. ALL EXTERIOR WALL FRAMING SHALL BE 2x6 CONSTRUCTION AND ALL INTERIOR WALL FRAMING SHALL BE 2x4 CONSTRUCTION UNLESS OTHERWISE NOTED.
- 3. ALL WORK SHALL COMPLY WITH INTERNATIONAL BUILDING CODE 2015 AND 780 CMR MASSACHUSETTS STATE BUILDING CODE MASSACHUSETTS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 2015 AND ALL LOCAL CODES, REGULATIONS AND BY-LAWS.
- 4. ALL WORK SHALL COMPLY WITH 780 CMR APPENDIX AA STRETCH ENERGY CODE SECTION AA104 EXISTING BUILDINGS. ALL NEW HVAC DUCTING MUST BE SEALED.
- 5. ALL WORKMANSHIP AND BUILDING MATERIALS SHALL MEET OR EXCEED RECOGNIZED INDUSTRY STANDARDS FOR EACH APPLICABLE TRADE.
- 6. REFER TO OTHER DRAWINGS AS PART OF THIS SET FOR MORE DETAILED REQUIREMENTS REGARDING BUILDING MATERIALS, FOUNDATIONS AND STRUCTURAL DESIGN CRITERIA.
- 7. BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLER DETECTION AND FIRE & SMOKE ALARM SYSTEM IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2015 AS APPLICABLE TO NEW CONSTRUCTION.

ZONING MAP:

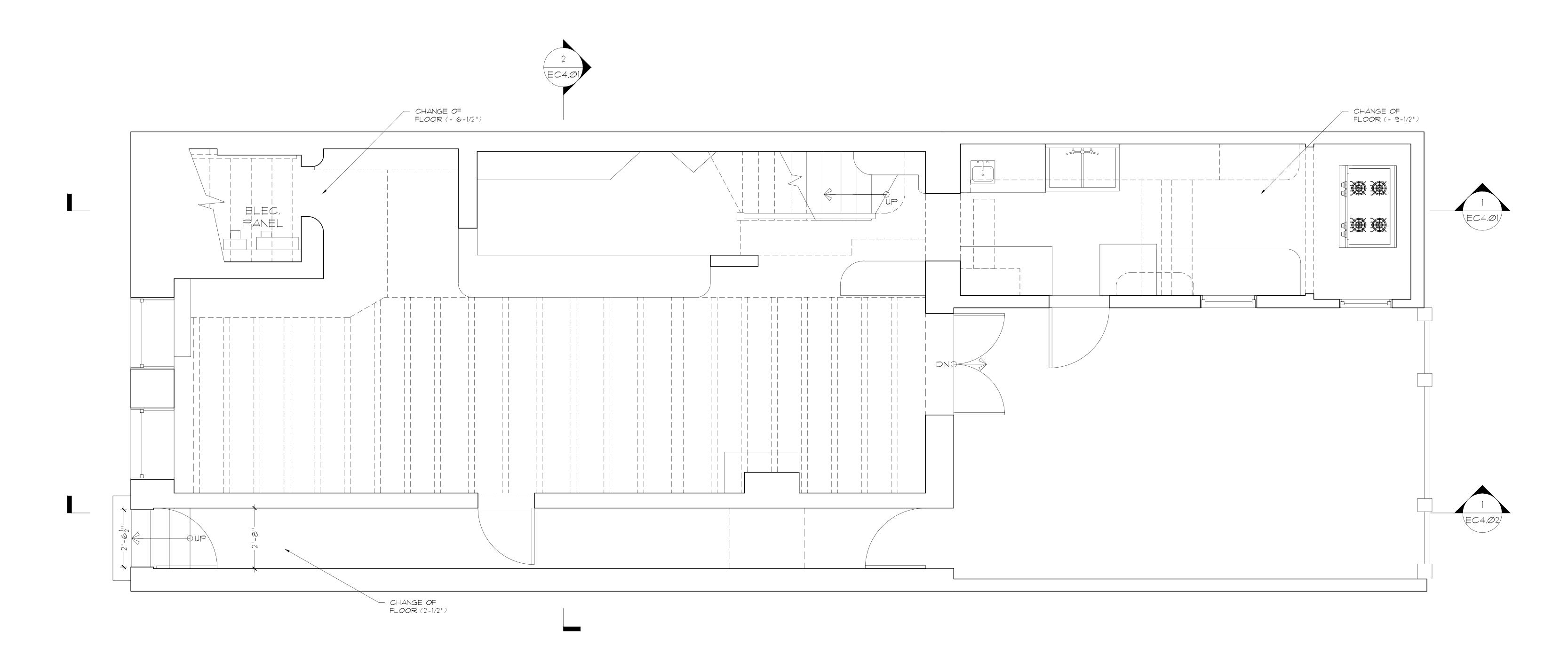




RENDERING FOR SCHEMATIC DESIGN REFERENCE ONLY



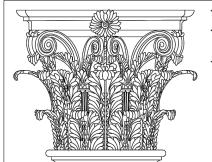
OGRAPHIC SURV 71 CHARLES STREET SUFFOLK, COUNTY BOSTON, MASSACHUSETTS



EXISTING FIRST FLOOR PLAN

FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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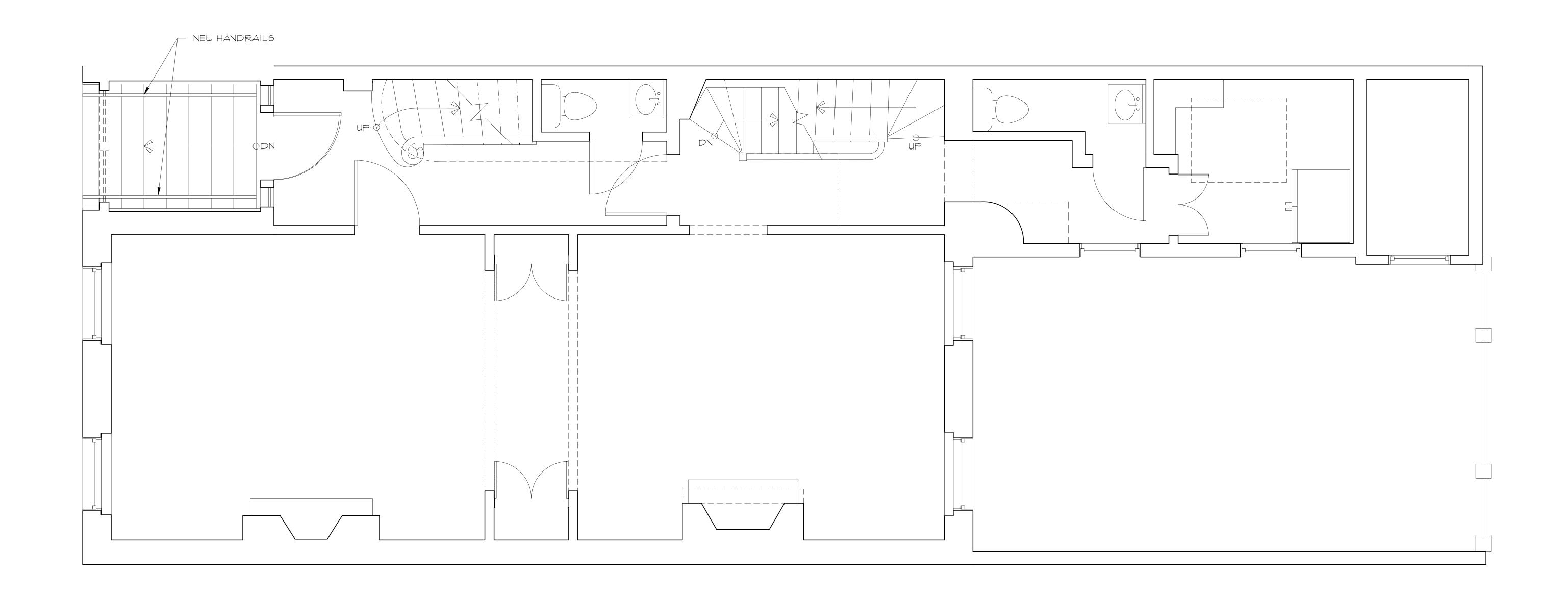
SHEET TITLE:
EXISTING CONDITIONS FIRST FLOOR PLAN
FIRST FLOOR PLAN

DATE: JANUARY 29, 2020

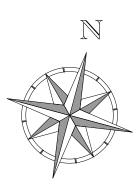
SCALE: AS NOTED

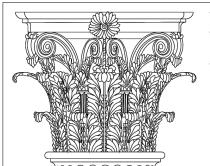
DRAWN: JGUR & RJP

CHECKED: JGUR & MZP



EXISTING SECOND FLOOR PLAN
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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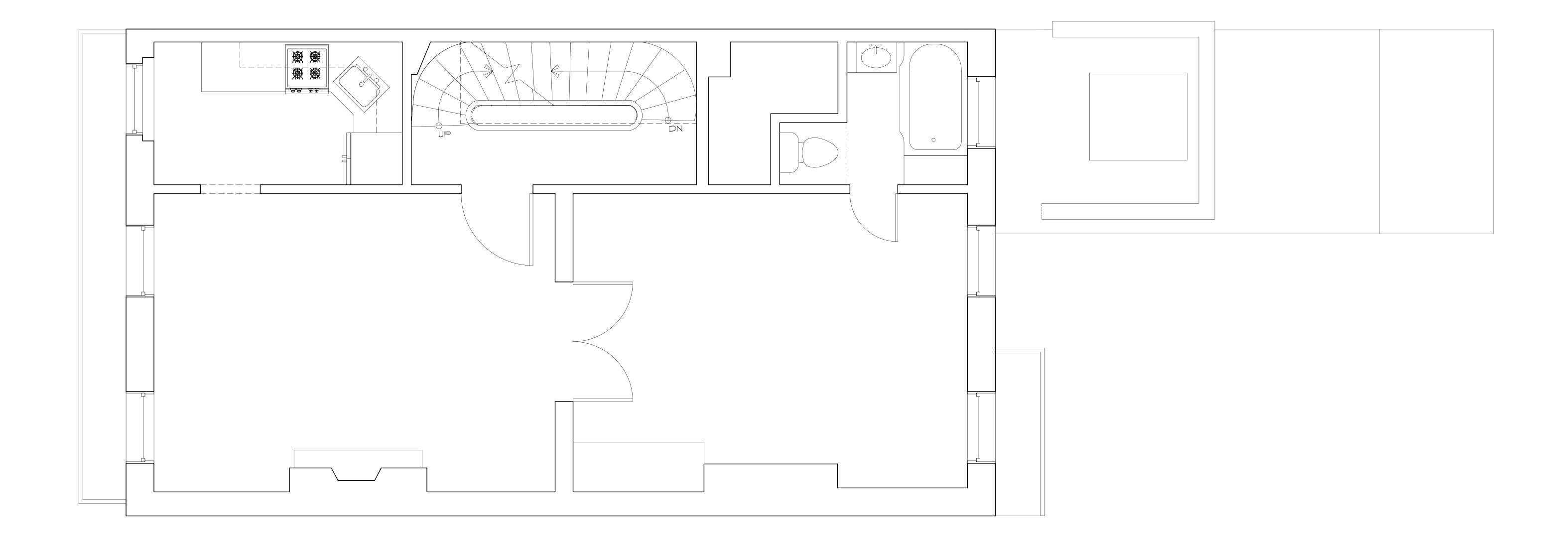


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	SECOND FLOOR PLA	

DATE: JANUARY 29, 2020 SCALE: DRAWN: JGUR # MZP CHECKED:

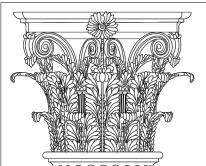
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AS NOTED JGUR # RJP



EXISTING THIRD FLOOR PLAN
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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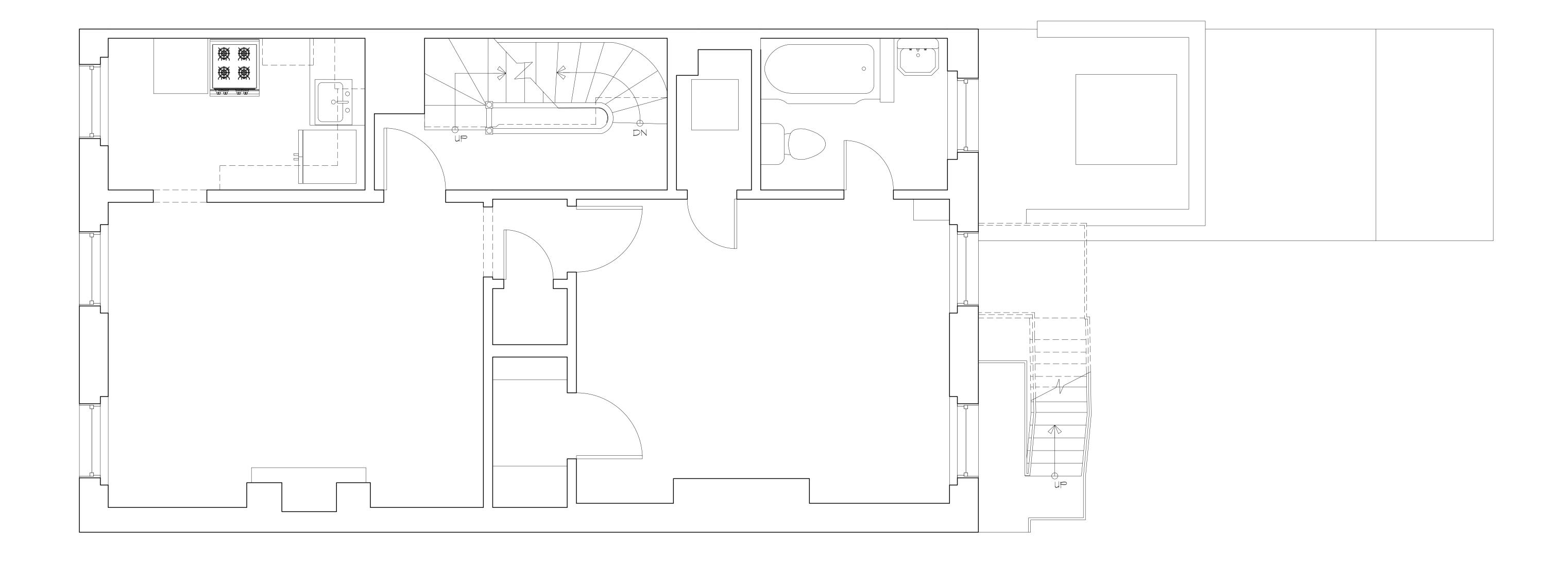


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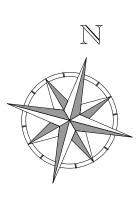
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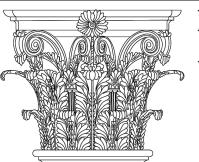
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TO SERVE THE SCALE: DRAWN: JGUR # RJP JGUR # MZP CHECKED:



EXISTING FOURTH FLOOR PLAN
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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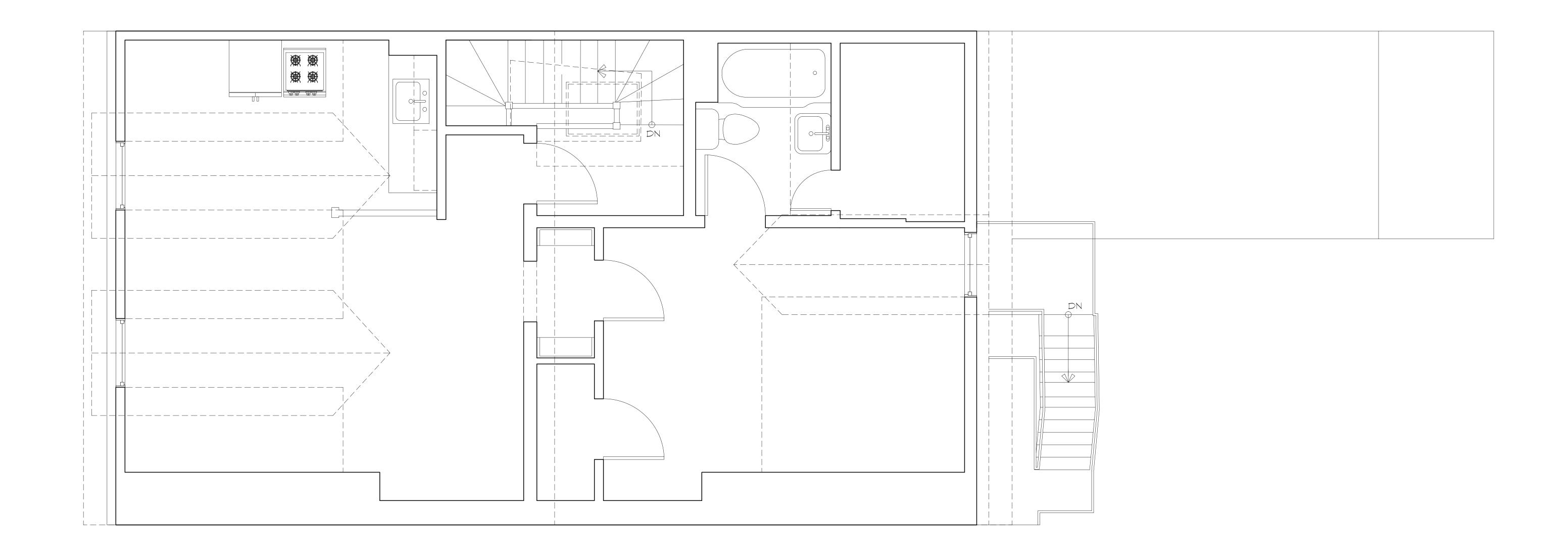


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EXISTING CONDITIONS FOURTH FLOOR PLAN

DATE: JANUARY 29, 2020
SCALE: AS NOTED DRAWN:

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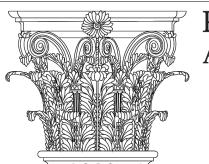
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EXISTING FIFTH FLOOR PLAN
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"



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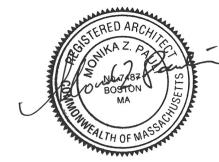
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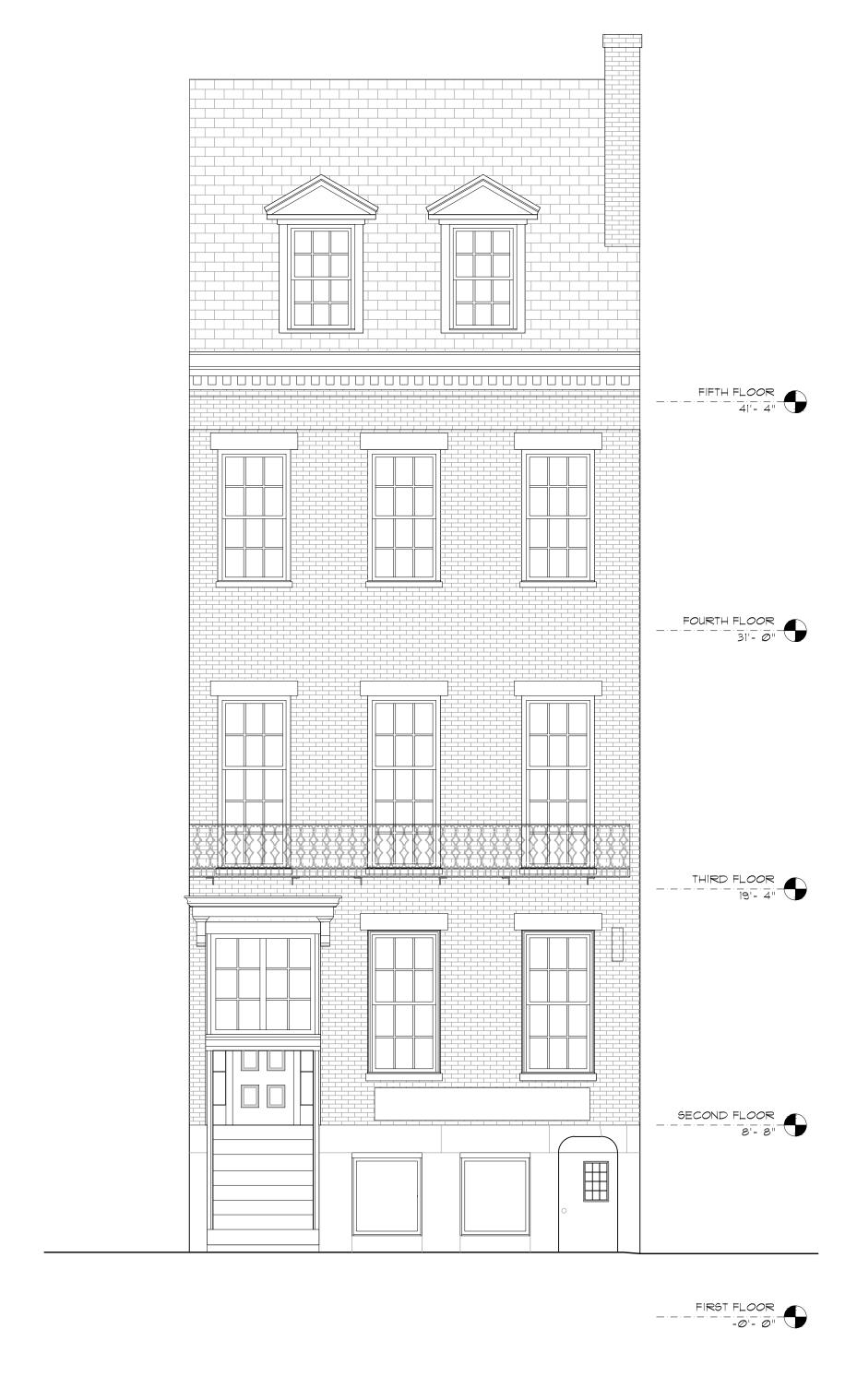
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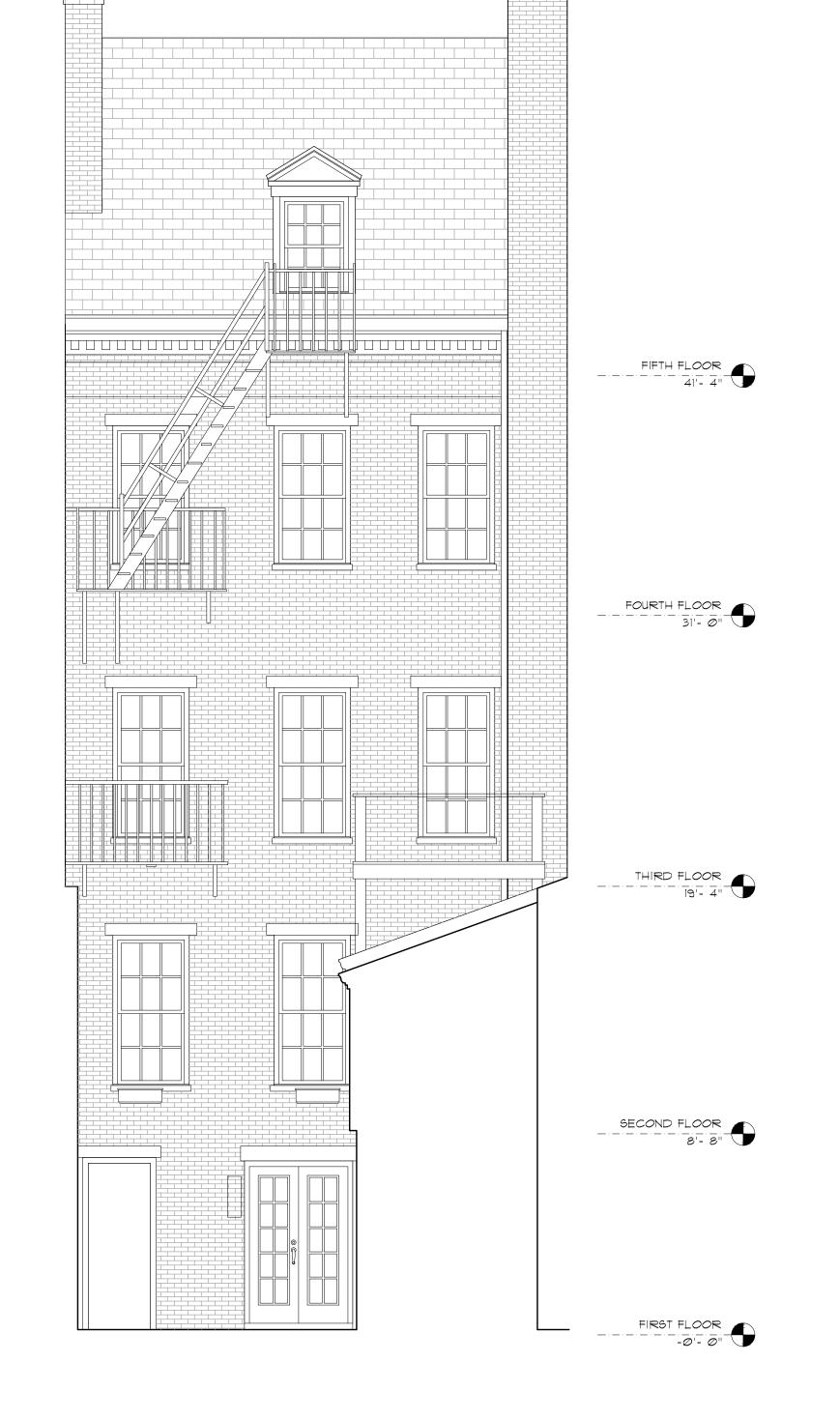


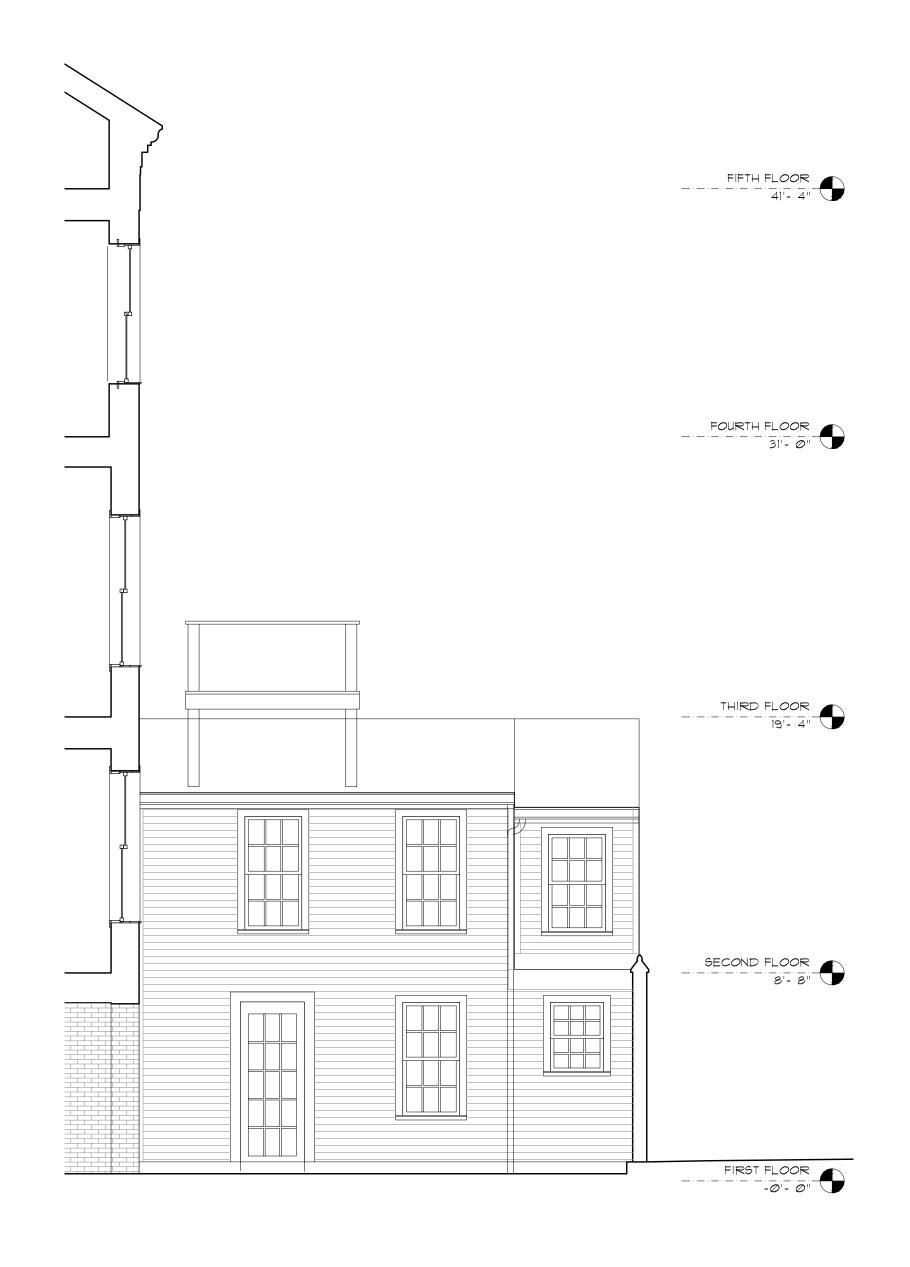
SHEET TITLE: EXISTING CONDITIONS FIFTH FLOOR PLAN

SCALE: DRAWN:

DATE: JANUARY 29, 2020 EC1. AS NOTED JGUR & RJP JGUR # MZP CHECKED:







FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

PEAR ELEVATION

FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

REAR-SIDE ELEVATION
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



71 CHARLES STREET

BOSTON, MA 02114



	G CONDITIONS & REAR	SHEET NO.
DATE:	JANUARY 29, 2020	
SCALE:	AS NOTED	

SCALE: AS NOTED

DRAWN: JGUR & RJP

CHECKED: JGUR & MZP







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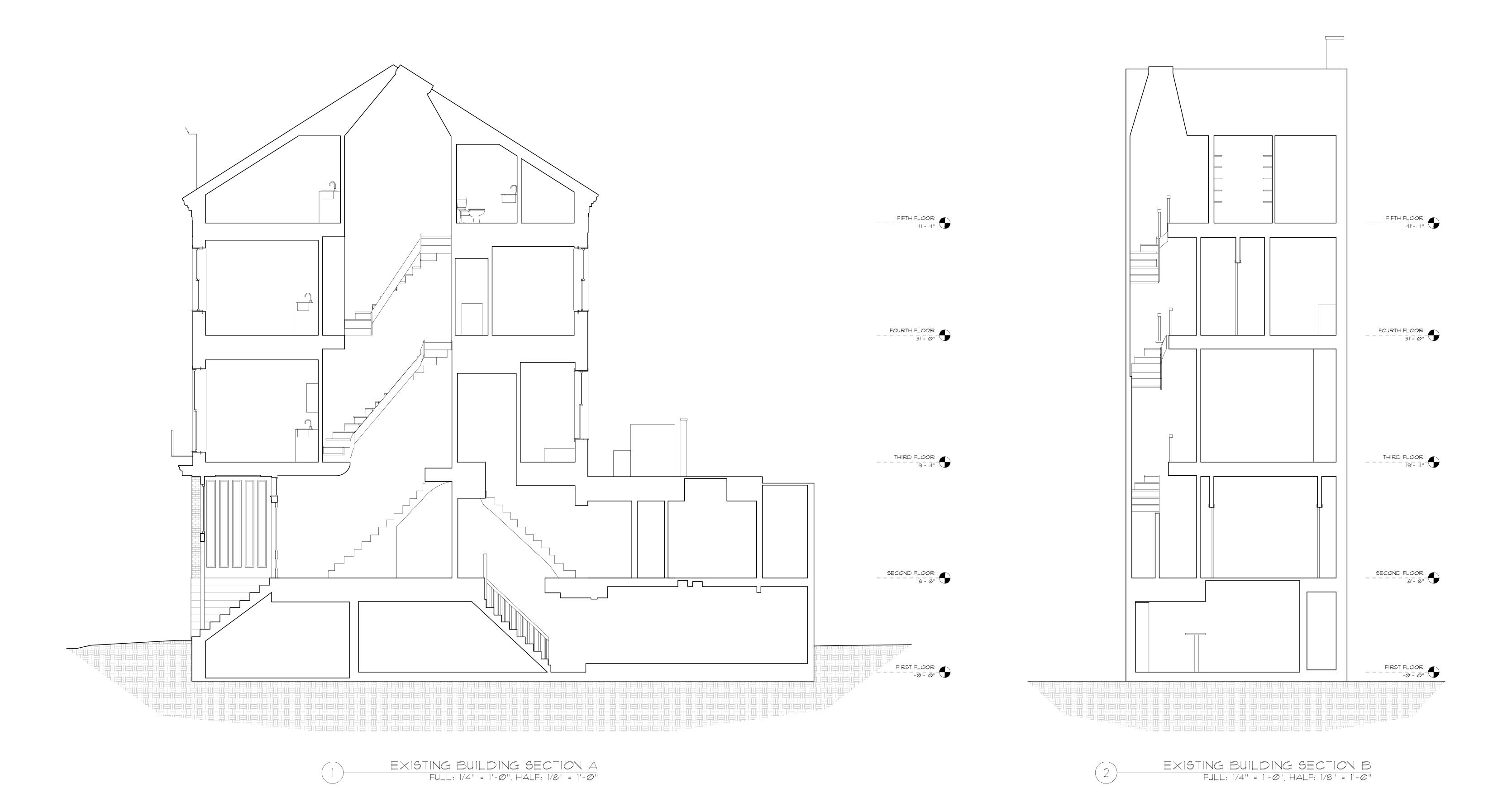


SHEET TITLE:
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ENLARGED FRONT

DRAWN: JGUR & RJP JGUR # MZP CHECKED:

DATE: JANUARY 29, 2020

AS NOTED = 3.02





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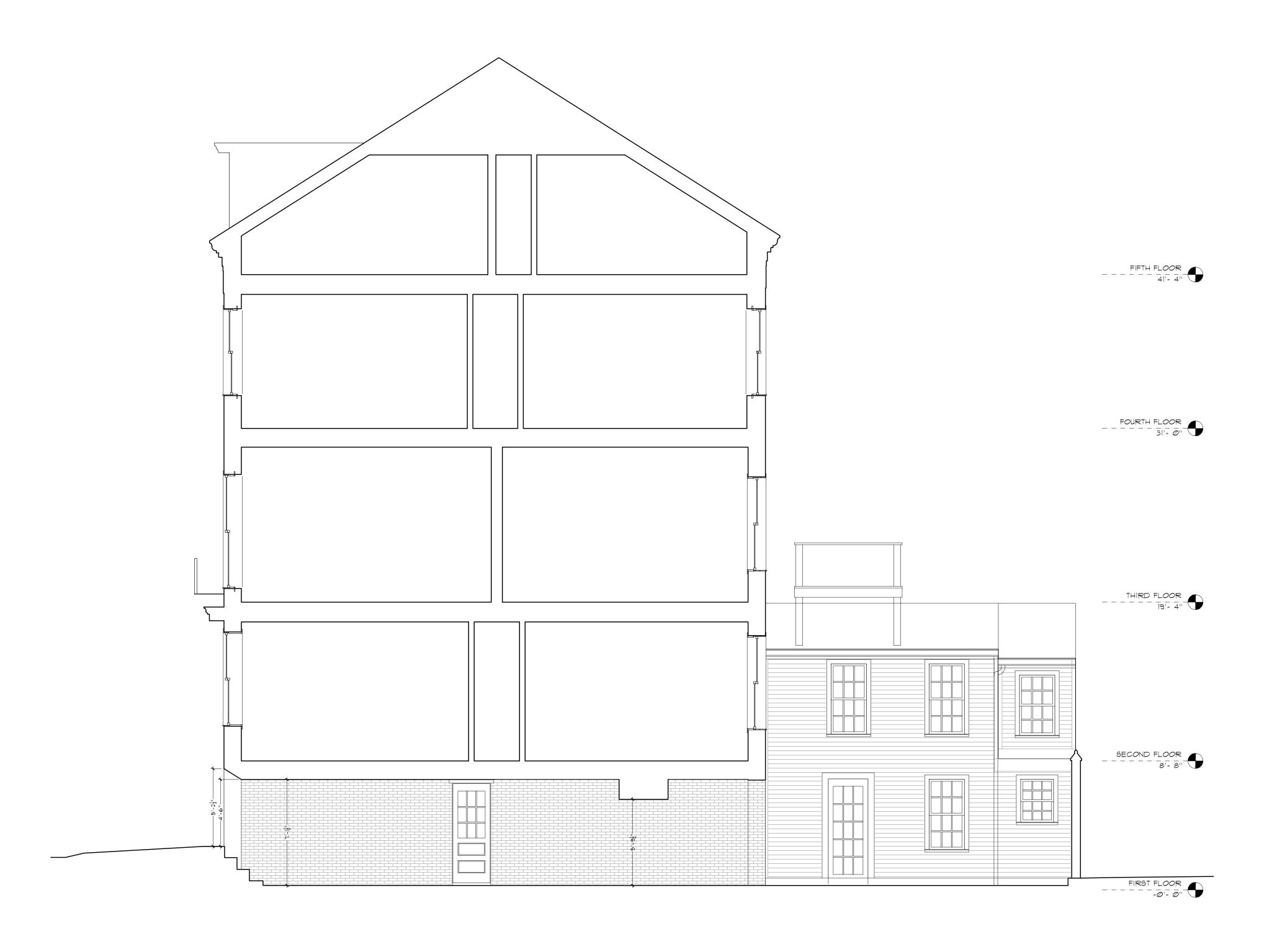


SHEET TITLE: EXISTING CONDITIONS BUILDING SECTIONS

SHEET NO.

DATE: JANUARY 29, 2020

AS NOTED SCALE: AS NOTED DRAWN: JGUR # RJP JGUR # MZP CHECKED:



EXISTING BUILDING SECTION C
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



71 CHARLES STREET

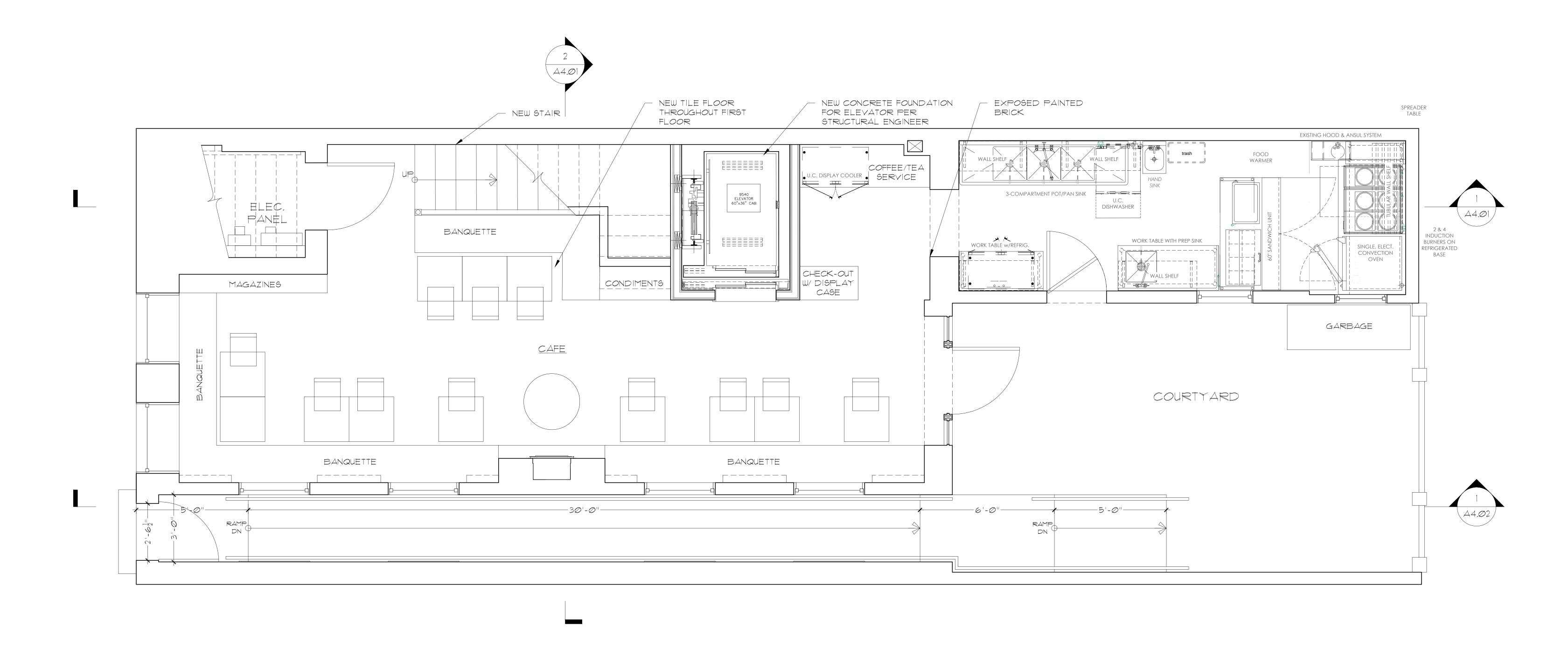
BOSTON, MA Ø2114



SHEET TITLE: EXISTING CONDITIONS BUILDING SECTIONS

DRAWN:

DATE: JANUARY 29, 2020
SCALE: AS NOTED JGUR # RJP JGUR # MZP CHECKED:



FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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	SHEET TITLE:
/ /	PROPOSED FIRST FLOOR PLAN
	DATE: JANUARY 2

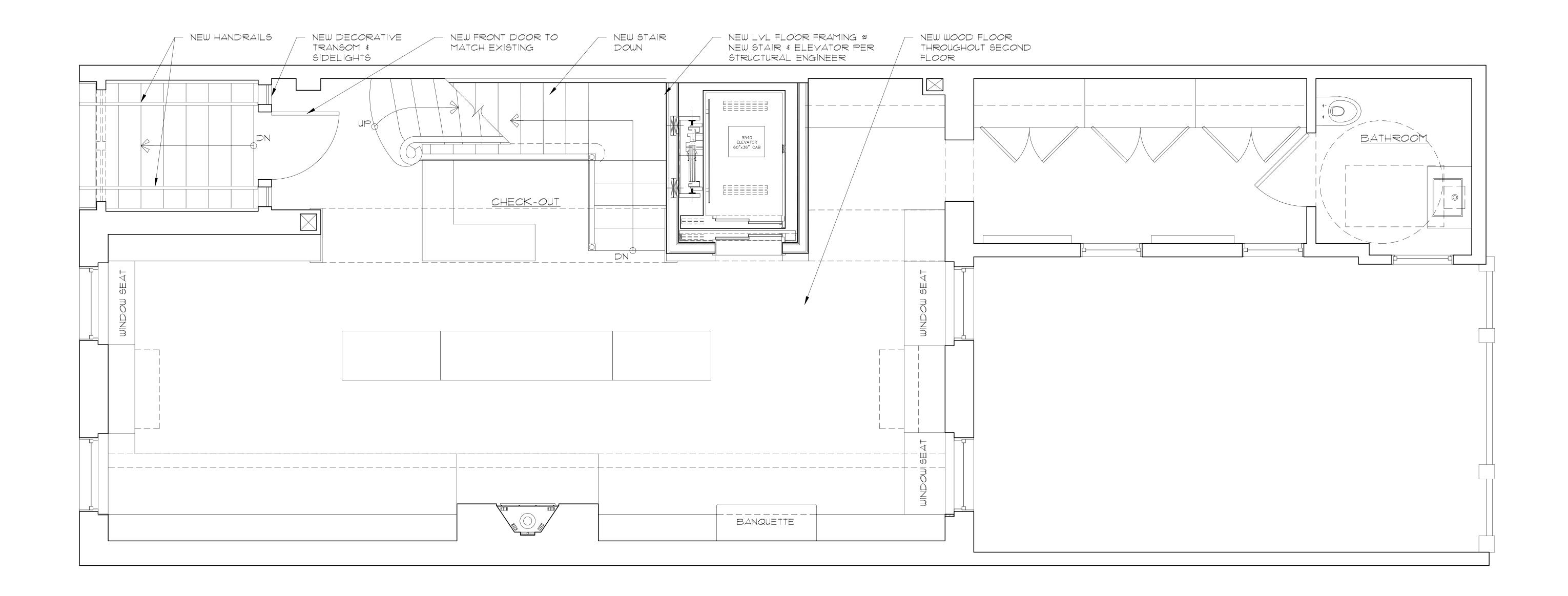
DATE: JANUARY 29, 2020

SCALE: AS NOTED

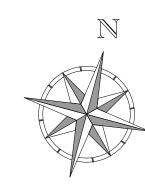
DRAWN: JGUR & RJP

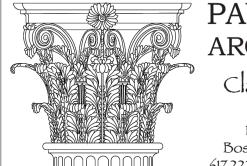
CHECKED: JGUR & MZP





SECOND FLOOR PLAN FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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	SHEET TITLE:
_	PROPOSED SECOND FLOOR I
	DATE: JANUARY
	SCALE:

TLE: SHEET NO.
SED
SED
SELOOR PLAN

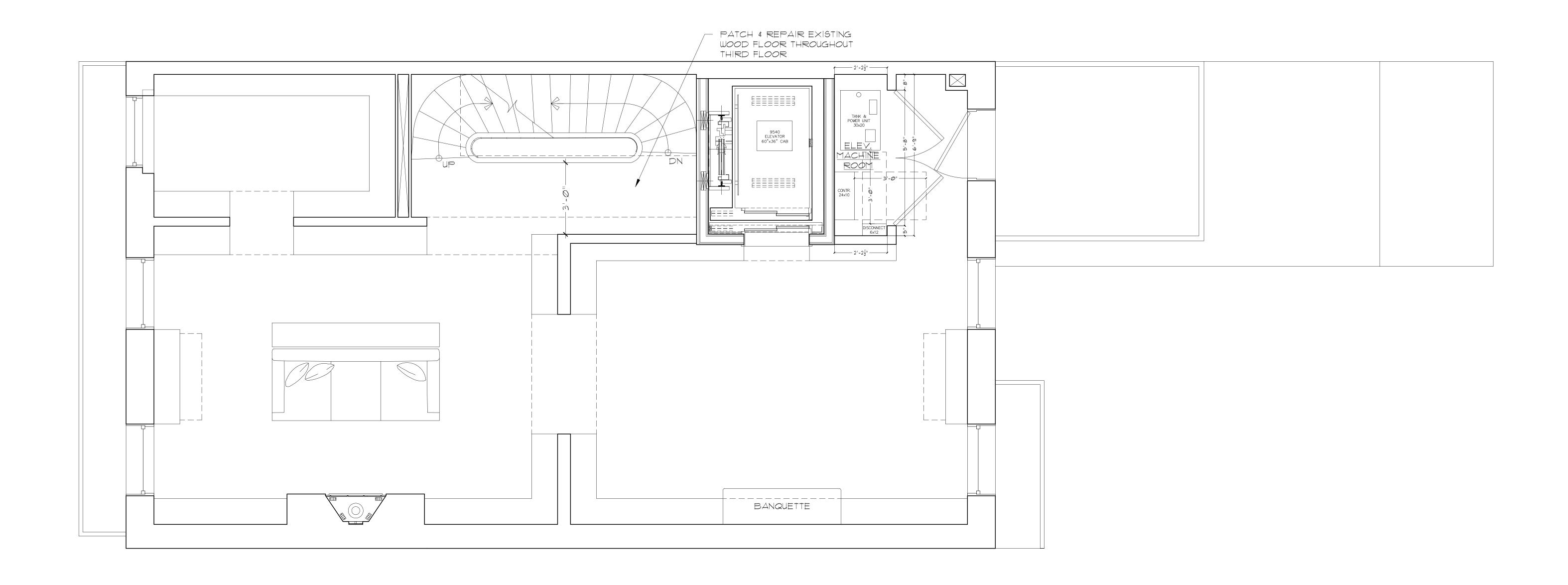
DATE: JANUARY 29, 2020

SCALE: AS NOTED

DRAWN: JGUR & RJP

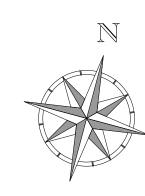
CHECKED: JGUR & MZP

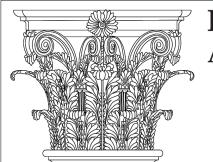
41.02



THIRD FLOOR PLAN

FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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SHEET TITLE:
PROPOSED THIRD FLOOR F
DATE: JANUAF
CCALE

SHEET NO.

THIRD FLOOR PLAN

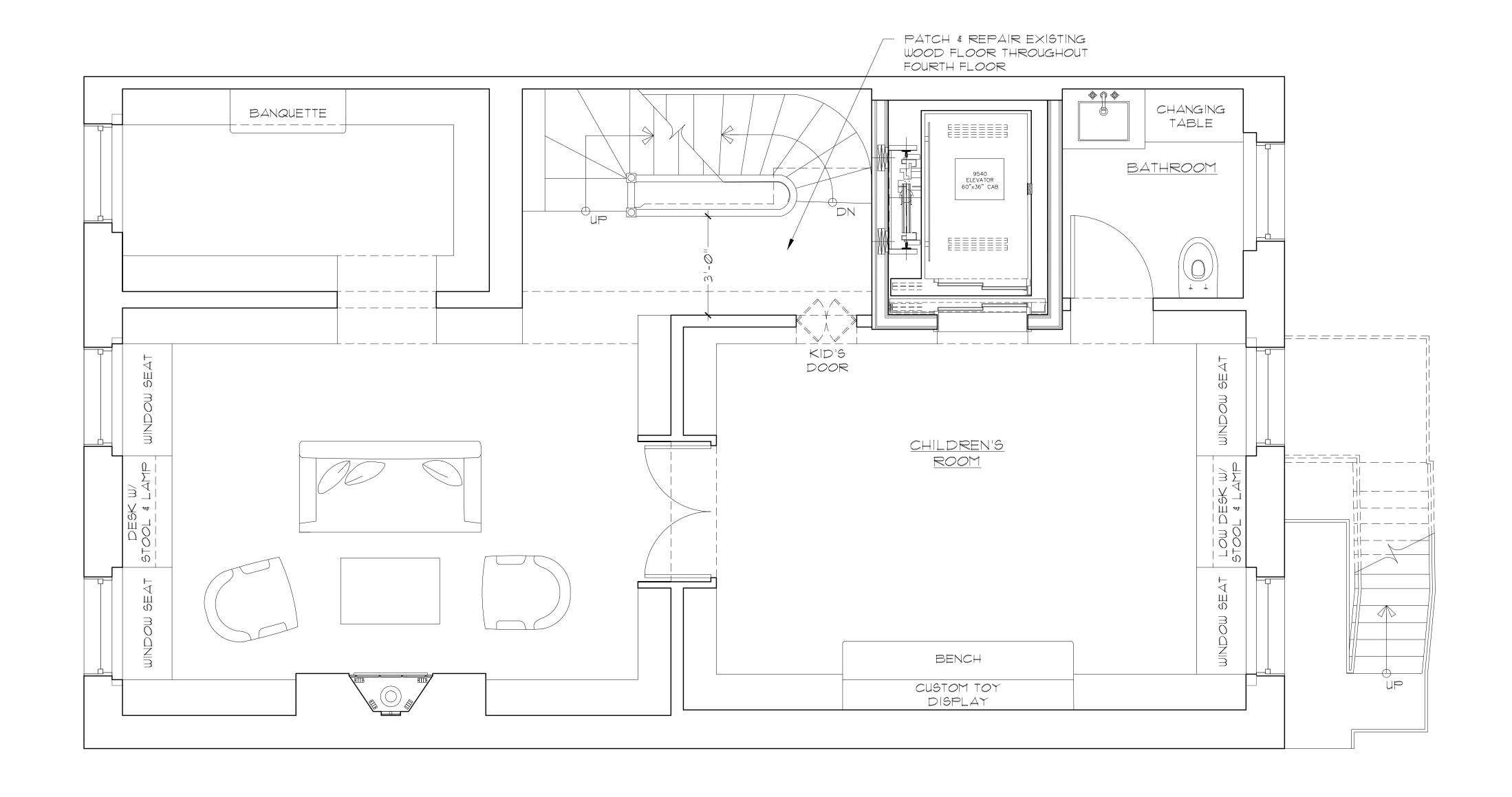
DATE: JANUARY 29, 2020

SCALE: AS NOTED

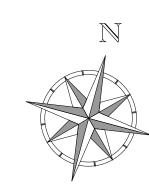
DRAWN: JGUR & RJP

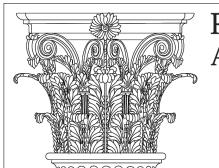
CHECKED: JGUR & MZP

A1.03



FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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	SHEET TITLE:
Leke -	PROPOSED FOURTH FLOO
and I	FOURTH FLOO
ETTS	DATE: JANUA
	SCALE:
	DD AWN.

CHECKED:

TTITLE: SHEET NO.
POSED
TH FLOOR PLAN

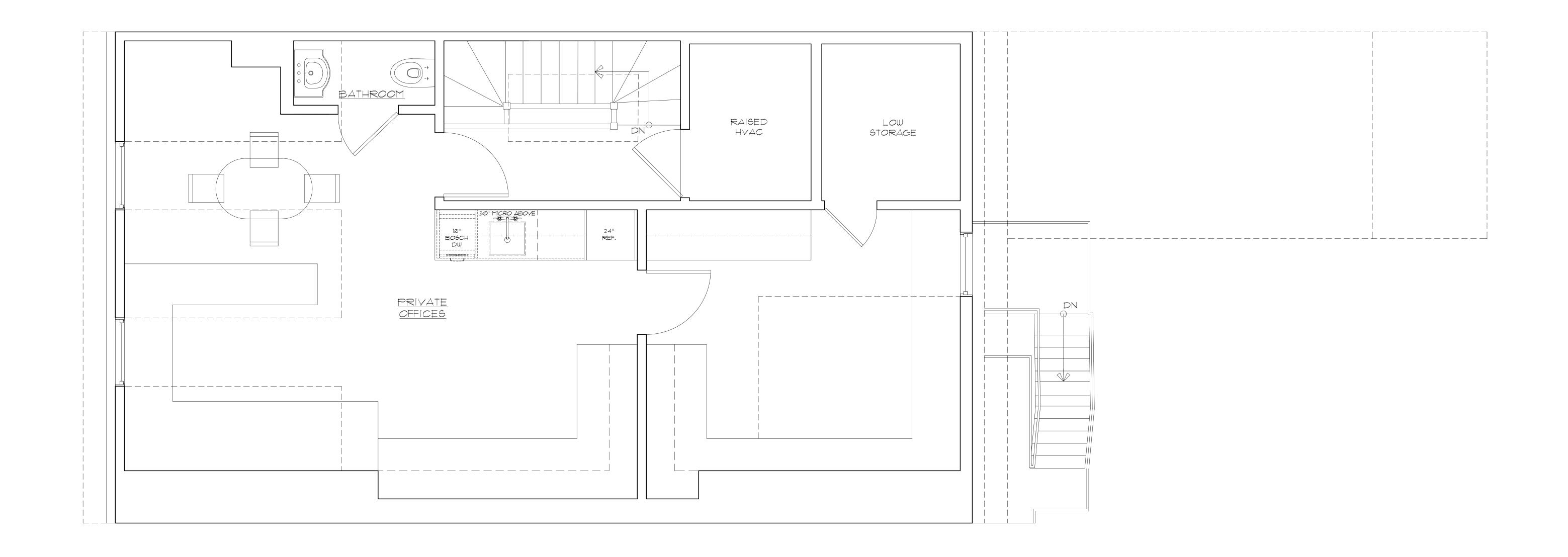
JGUR # MZP

DATE: JANUARY 29, 2020

SCALE: AS NOTED

DRAWN: JGUR & RJP

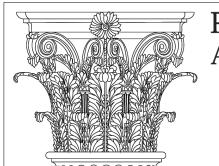
A1.04



FIFTH FLOOR PLAN

FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"





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	SHEET TITLE:
<u></u>	PROPOSED FIFTH FLOOR PLAN
	DATE: JANUARY 29

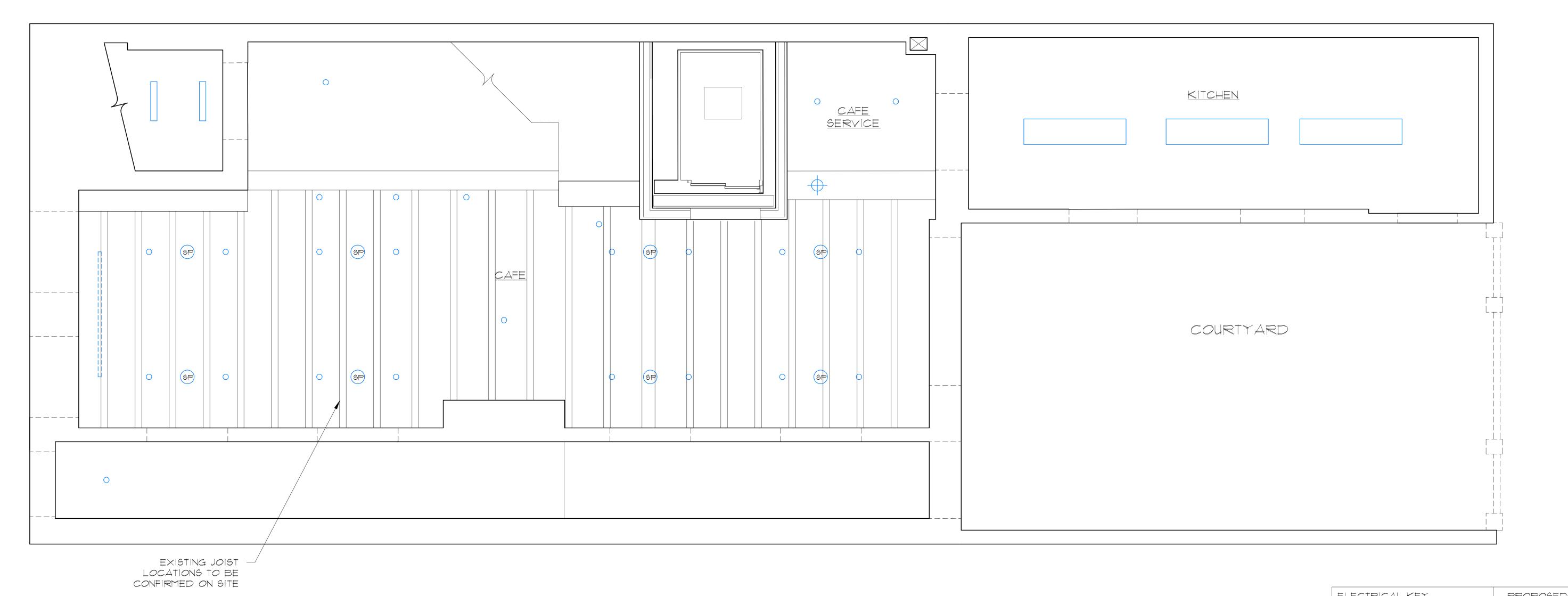
DATE: JANUARY 29, 2020

SCALE: AS NOTED

DRAWN: JGUR & RJP

CHECKED: JGUR & MZP

41.05



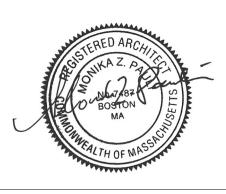
FIRST FLOOR RCP
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

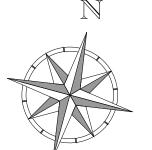
ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	0
SURFACE MOUNT / PENDANT	
CLOSET/UTILITY LIGHT	
CEILING EXHAUST FAN	F
SMOKE DETECTOR	6
HEAT DETECTOR	H
ROLL DOWN SCREEN	
SPEAKER	SP



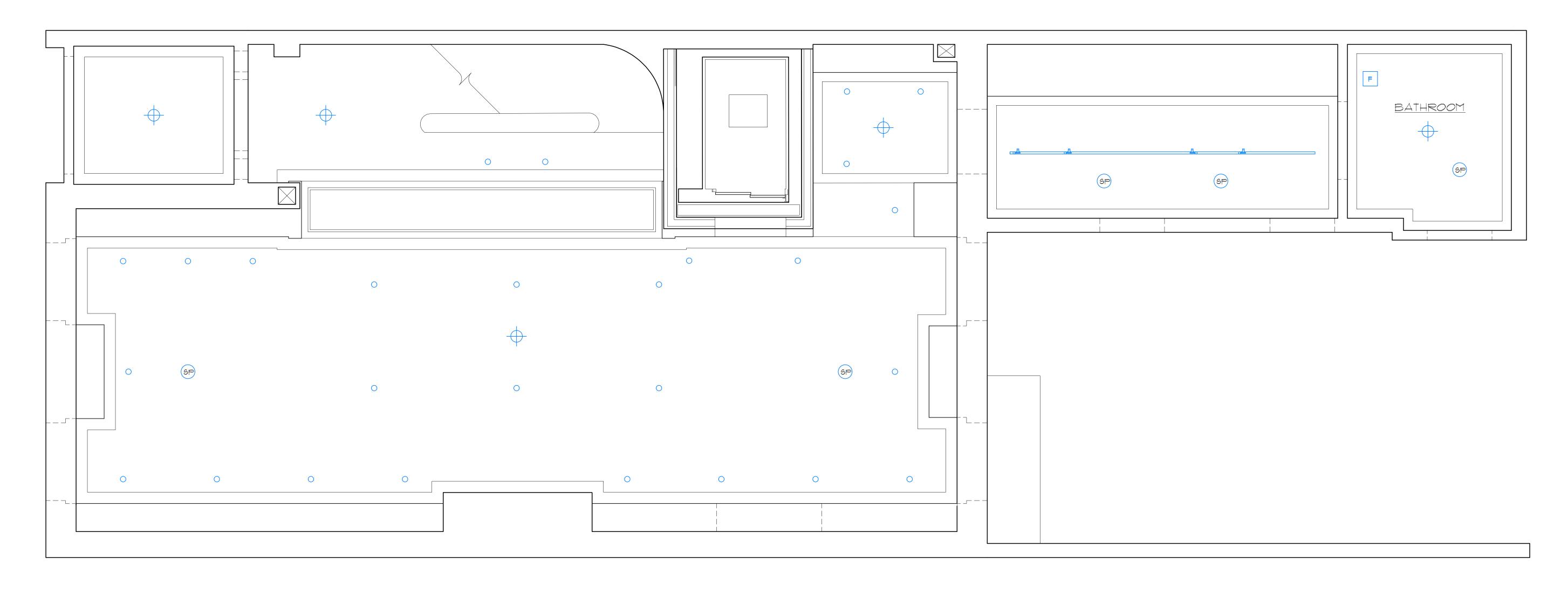
71 CHARLES STREET

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SHEET TITLE:
PROPOSED
FIRST FLOOR
REFLECTED CEILING PLAN SHEET NO. DATE: JANUARY 29, 2020 SCALE: AS NOTED DRAWN: JGUR # RJP JGUR # MZP CHECKED:



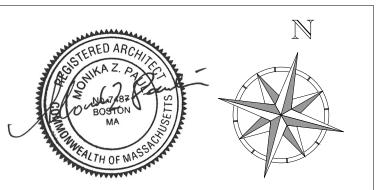
SECOND FLOOR RCP FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	0
SURFACE MOUNT / PENDANT	—
CLOSET/UTILITY LIGHT	
CEILING EXHAUST FAN	F
SMOKE DETECTOR	6
HEAT DETECTOR	H
ROLL DOWN SCREEN	
SPEAKER	SP

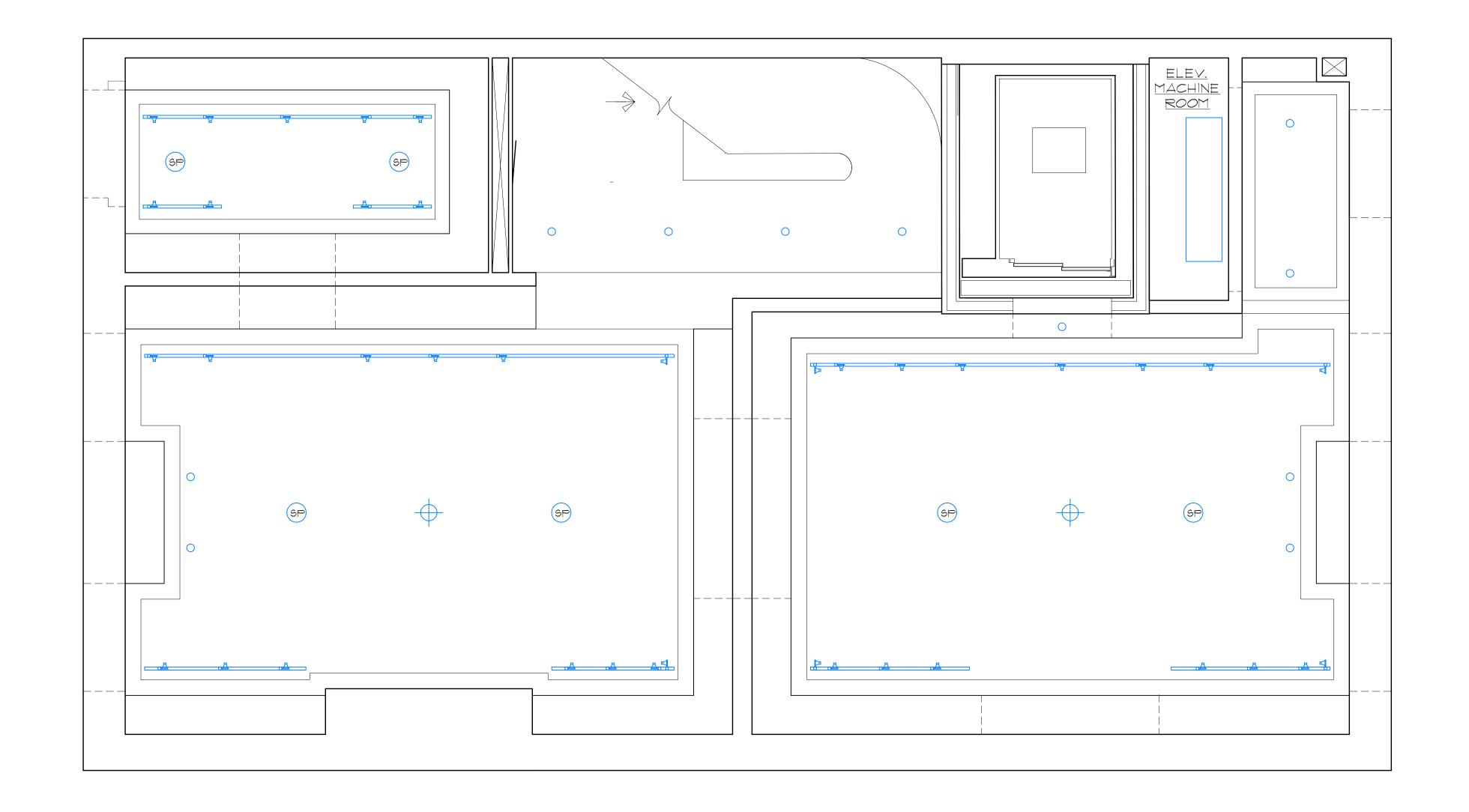


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SHEET TITLE: PROPOSED		SHEET NO.
SECOND FLO	OOR	
REFLECTED	CEILING PLAN	
DATE: JANI	JARY 29, 2020	10
SCALE:	AS NOTED	$\neq \leq \rangle$
DRAWN:	JGUR # RJP	
CHECKED:	JGUR & MZP	



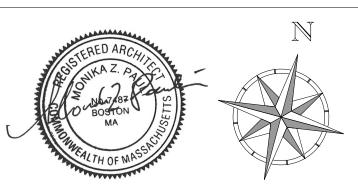
THIRD FLOOR RCP
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	0
SURFACE MOUNT / PENDANT	—
CLOSET/UTILITY LIGHT	
CEILING EXHAUST FAN	F
SMOKE DETECTOR	5
HEAT DETECTOR	H
ROLL DOWN SCREEN	=======
SPEAKER	SP



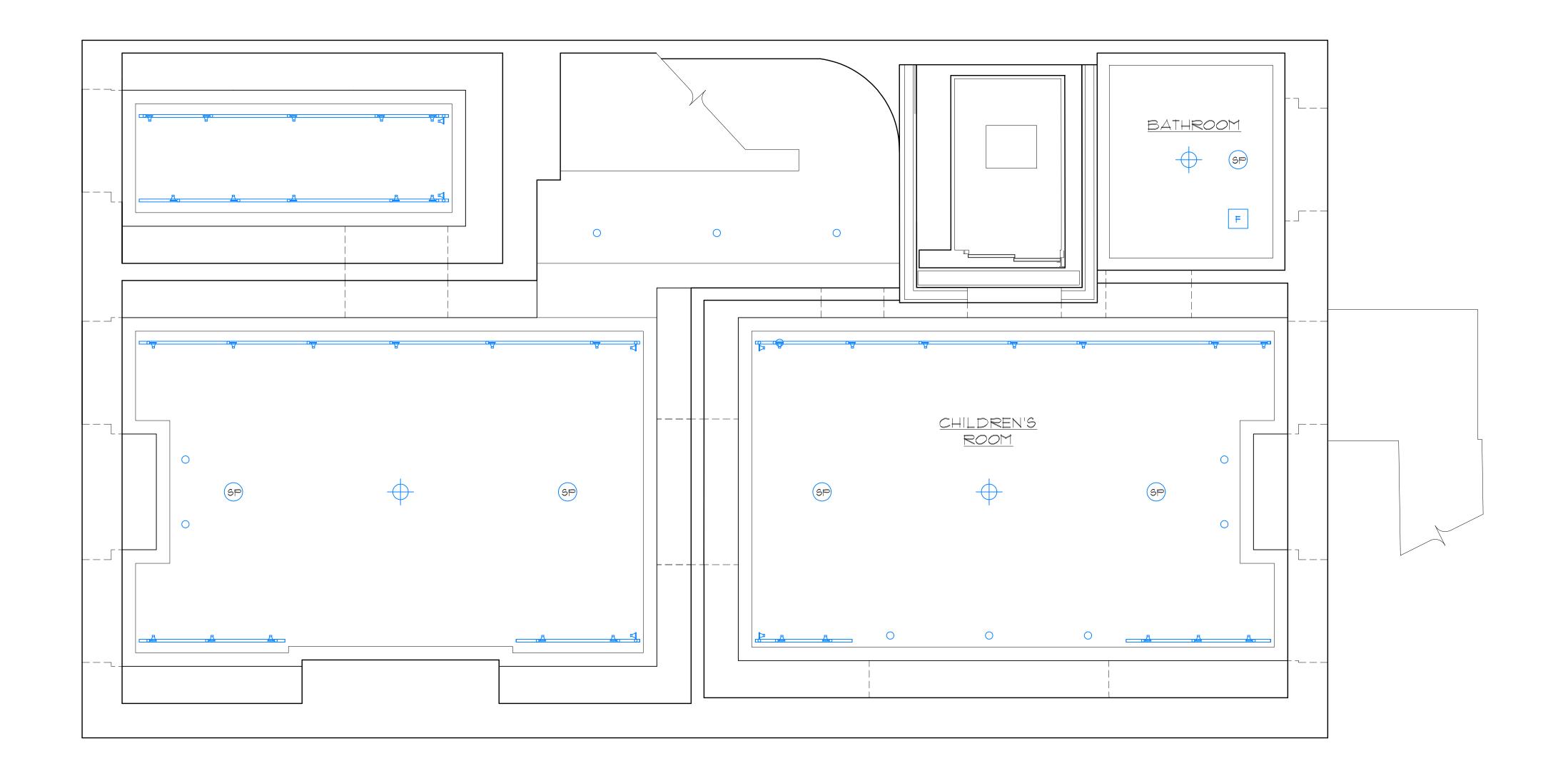
71 CHARLES STREET

BOSTON, MA 02114



SHEET TITLE PROPOSED)
THIRD FLOC)R
REFLECTED	CEILING PLAN
DATE: JAN	IUARY 29, 2020
SCALE:	AS NOTED
DRAWN:	JGUR # RJP
CHECKED:	JGUR & MZP

SHEET NO. A2.03



FOURTH FLOOR RCP

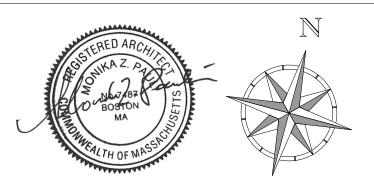
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	0
SURFACE MOUNT / PENDANT	—
CLOSET/UTILITY LIGHT	
CEILING EXHAUST FAN	F
SMOKE DETECTOR	5
HEAT DETECTOR	H
ROLL DOWN SCREEN	
SPEAKER	SP

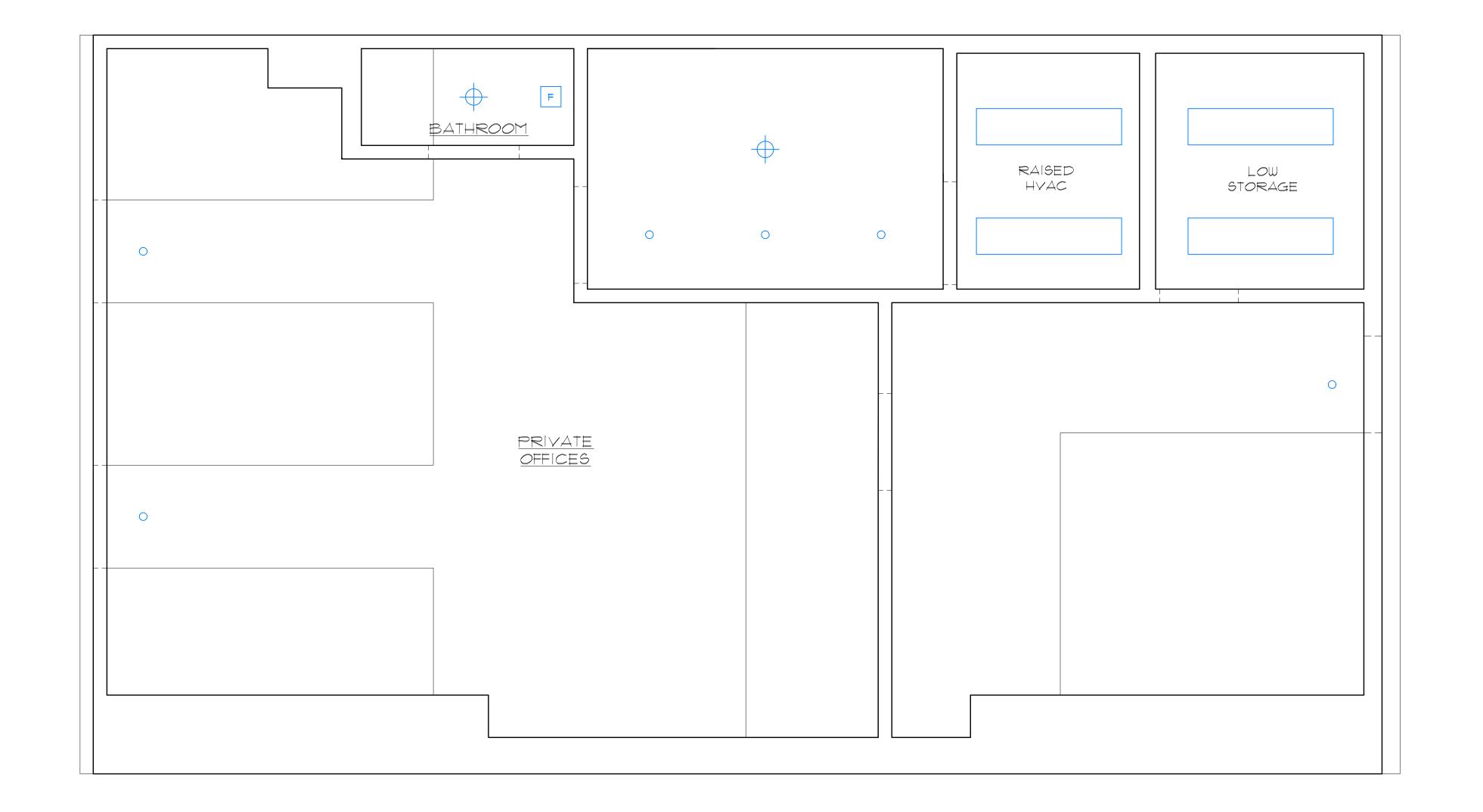


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SHEET TITLE: PROPOSED		SHEET NO.
FOURTH FL	.00R	
REFLECTED CEILING PLAN		
DATE: JANUARY 29, 2020		
SCALE:	AS NOTED	#4.
DRAWN:	JGUR & RJP	
CHECKED:	JGUR # MZP	



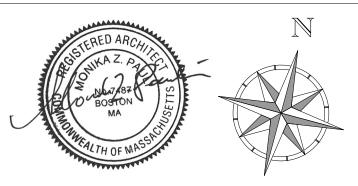
FIFTH FLOOR RCP
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
RECESSED LIGHT	0
SURFACE MOUNT / PENDANT	—
CLOSET/UTILITY LIGHT	
CEILING EXHAUST FAN	F
SMOKE DETECTOR	5
HEAT DETECTOR	H
ROLL DOWN SCREEN	=======
SPEAKER	SP



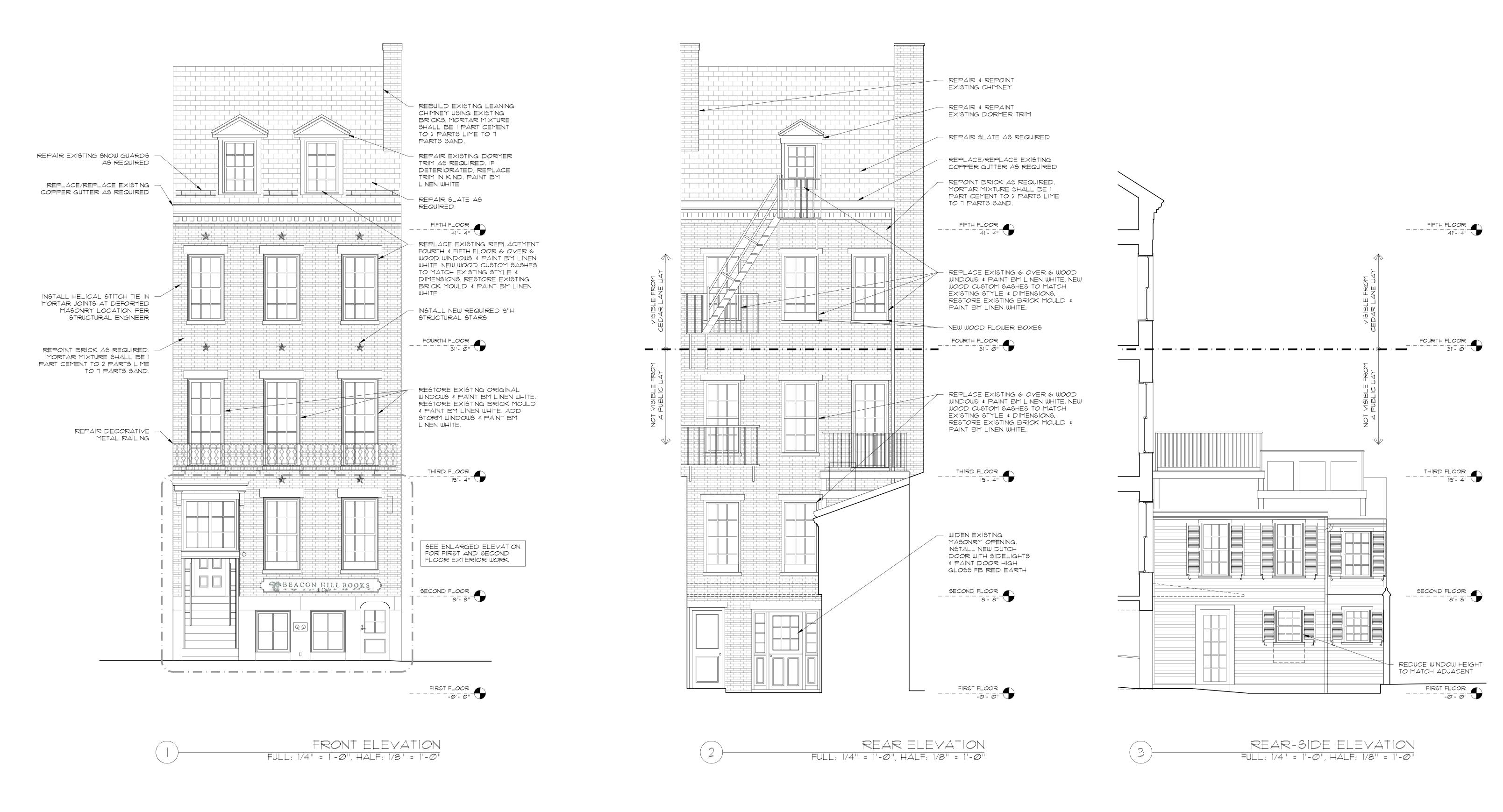
71 CHARLES STREET

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N	SHEET TIT
1	FIFTH FLC
	REFLECT
	DATE: J
	SCALE:
	DRAWN:

TITLE:
OSED
FLOOR
STED CEILING PLAN
JANUARY 29, 2020 SHEET NO. AS NOTED JGUR # RJP JGUR \$ MZP CHECKED:





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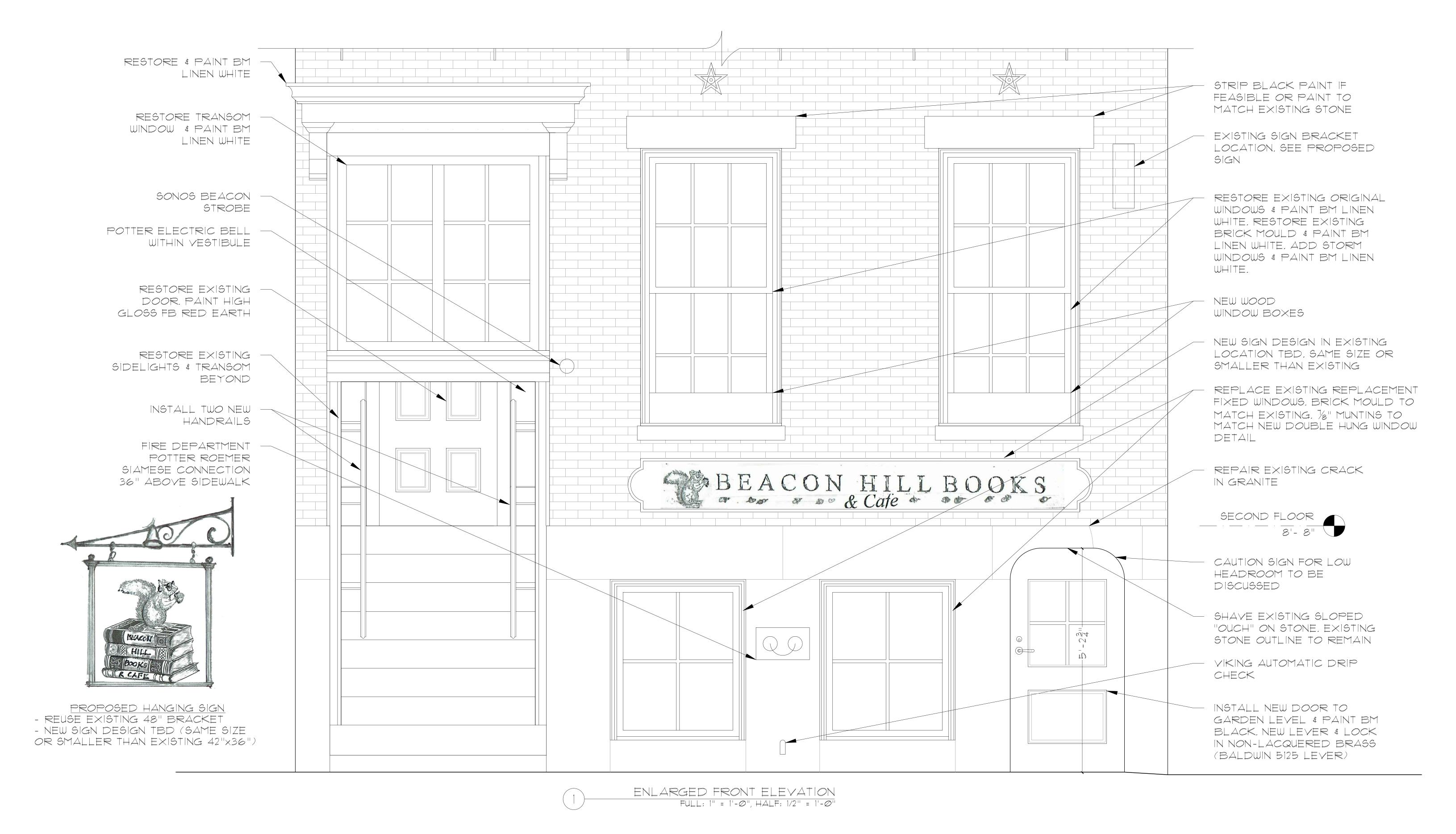
SHEET TITLE: PROPOSED	SHEET NO.
FRONT & REAR ELEVATIONS	
DATE: JANUARY 29, 202	20 /2 /
CCALE.	

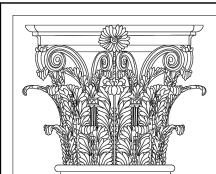
SCALE: AS NOTED

DRAWN: JGUR & RJP

CHECKED: JGUR & MZP

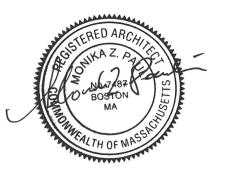
43,01





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SHEET TITLE: PROPOSED ENLARGED FRONT ELEVATION

SCALE:

CHECKED:

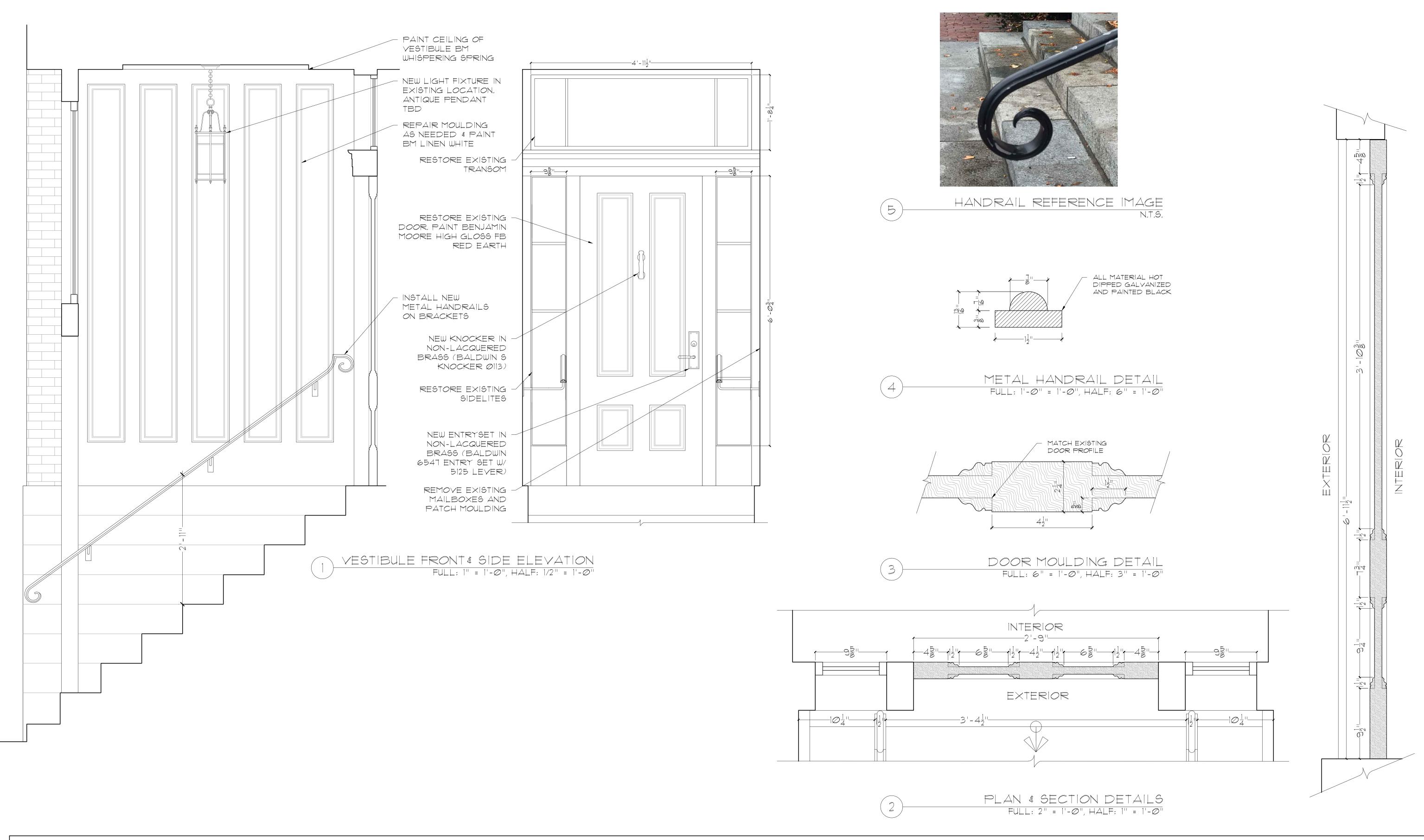
DATE: JANUARY 29, 2020 AS NOTED DRAWN: JGUR & RJP

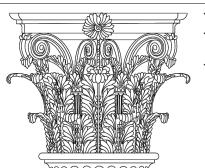
JGUR # MZP

A3.02

SHEET NO.

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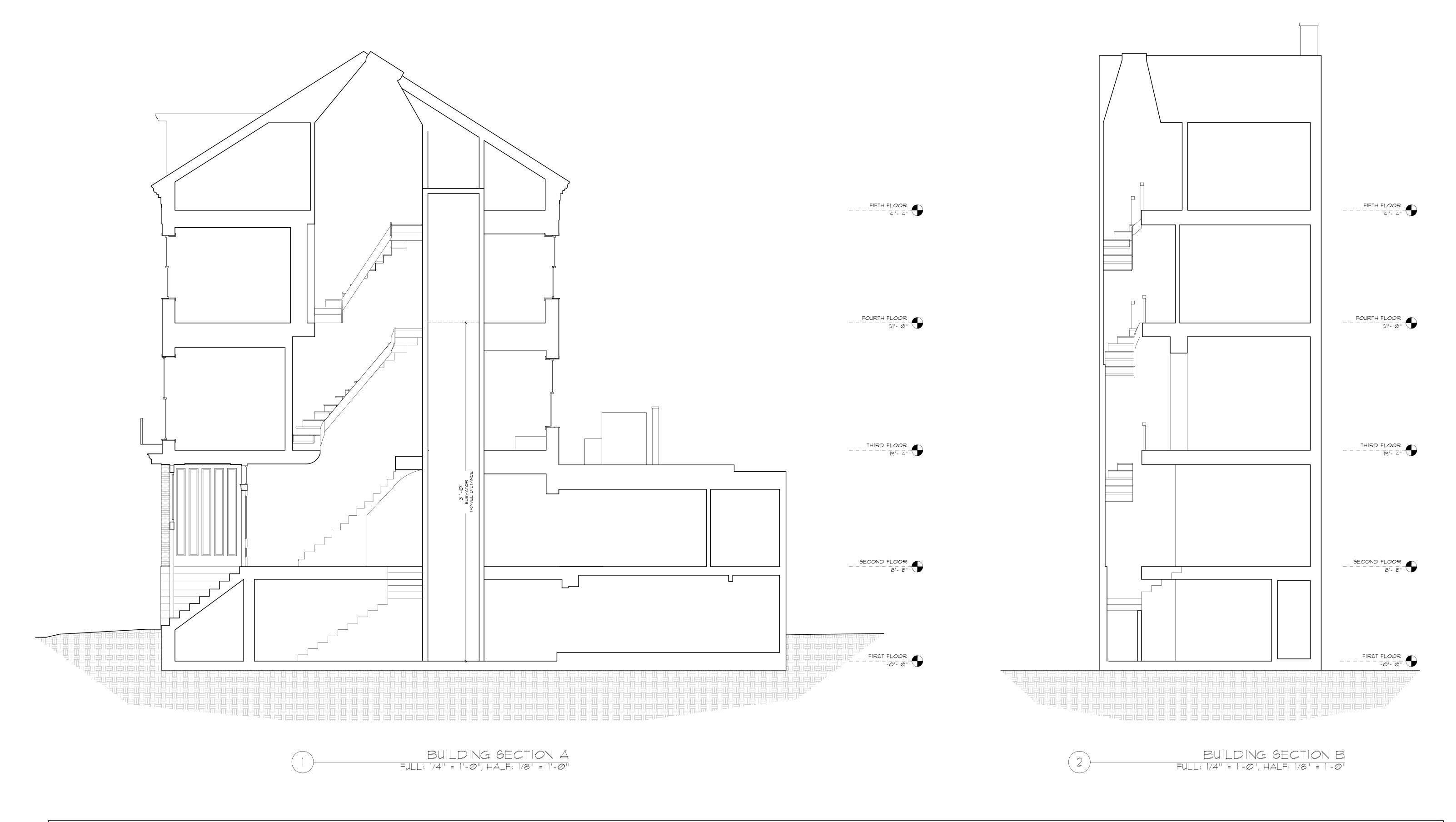


SHEET TITLE:
PROPOSED
VESTIBULE DETAILS

CHECKED:

DATE: JANUARY 29, 2020 SCALE: DRAWN:

AS NOTED JGUR & RJP JGUR # MZP





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SHEET TITLE: PROPOSED BUILDING SECTIONS SCALE:

CHECKED:

SHEET NO.

DATE: JANUARY 29, 2020 AS NOTED DRAWN: JGUR # RJP JGUR # MZP



1

PROPOSED BUILDING SECTION C
FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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SHEET TITLE:

PROPOSED

BUILDING SECTIONS

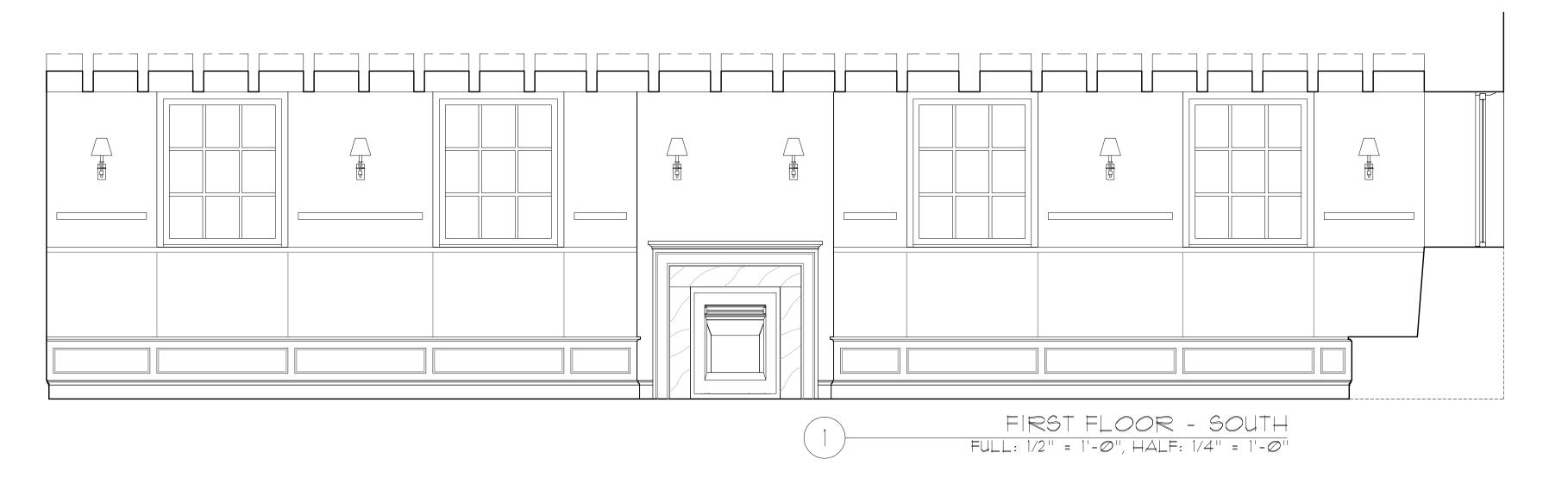
DATE: JANUARY 29, 2020

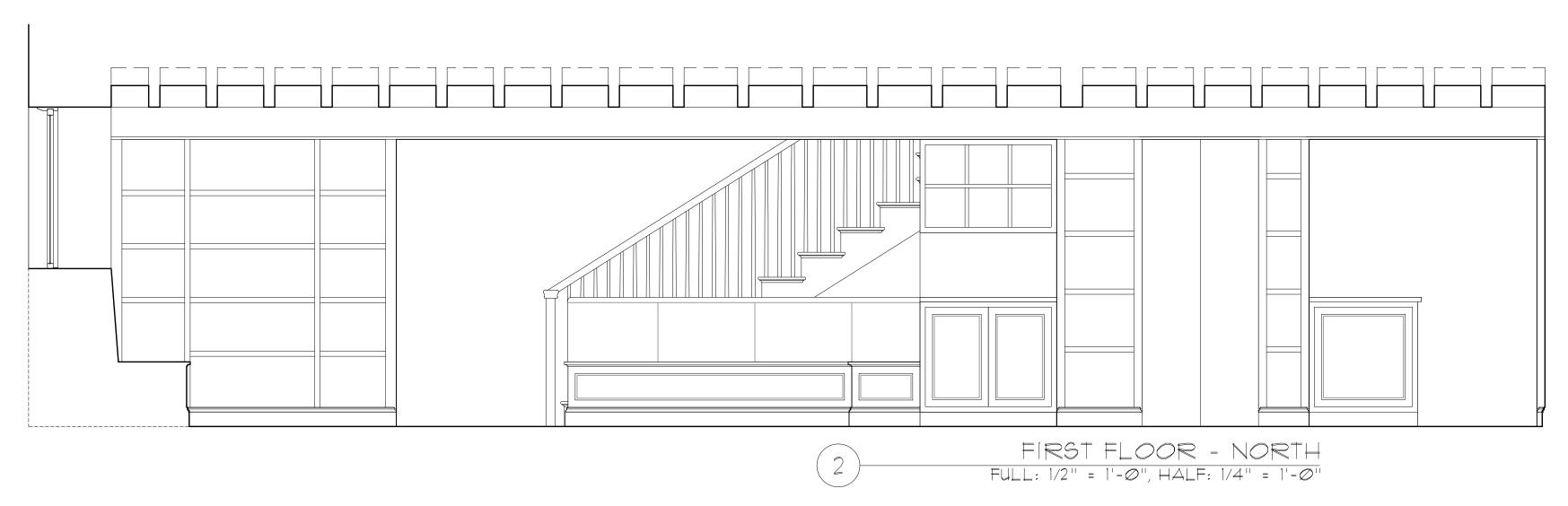
SCALE: AS NOTED

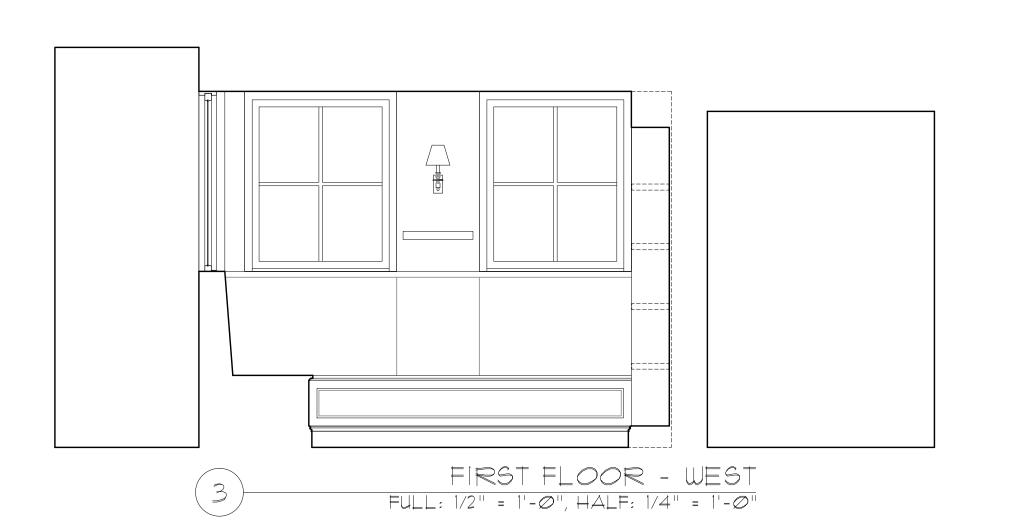
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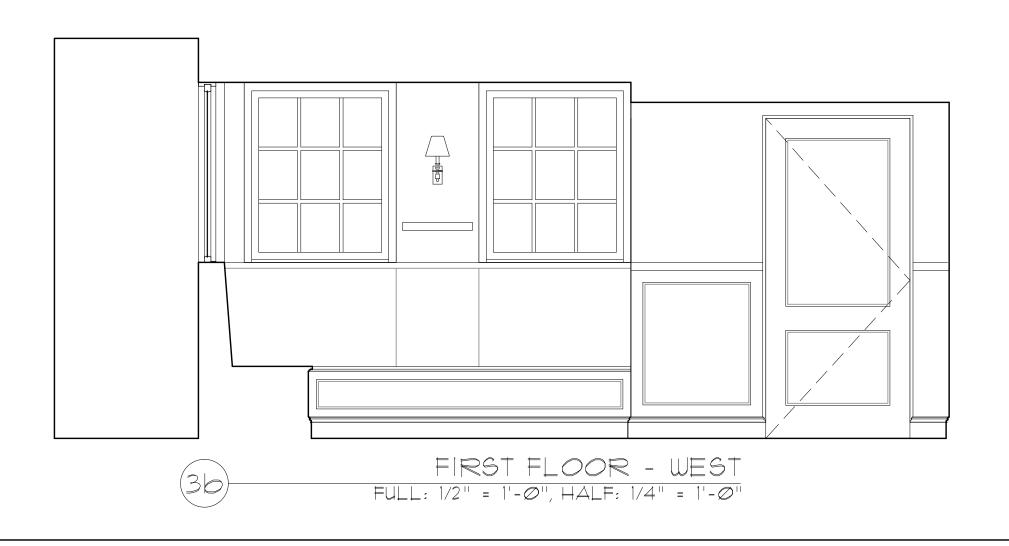
CHECKED: JGUR & MZP

4.02





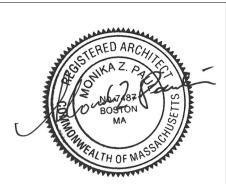






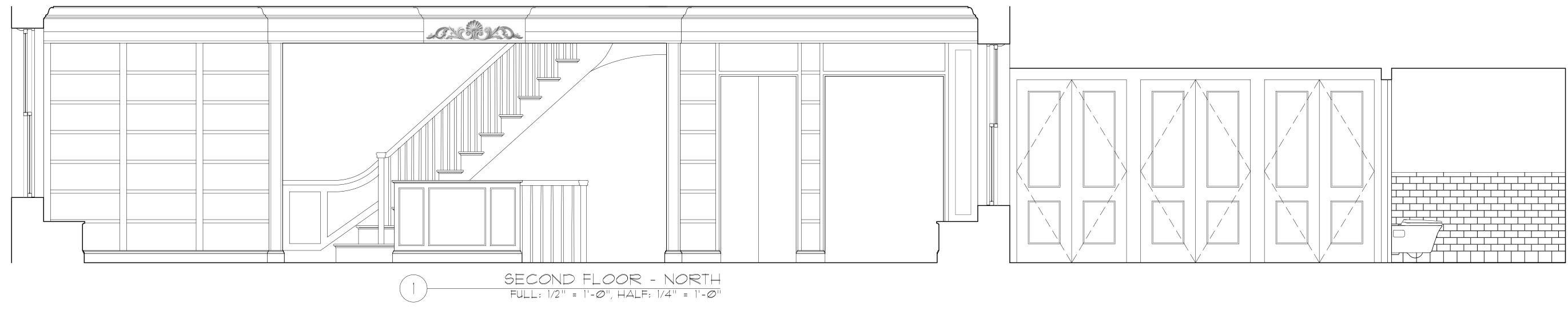


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SHEET TI PROPO FIRST FL	SED
	R ELEVATIONS
DATE:	JANUARY 29, 202
SCALE:	AS NOTE
DRAWN:	JGUR # RJ

A5.01 JGUR # RJP JGUR # MZP CHECKED:











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	SHEET TITLE:
	PROPOSED
	SECOND FLOOR
6	INTERIOR ELEVATION
	DATE: JANUARY 29,
	SCALE: AS N
	DRAWN:

CHECKED:

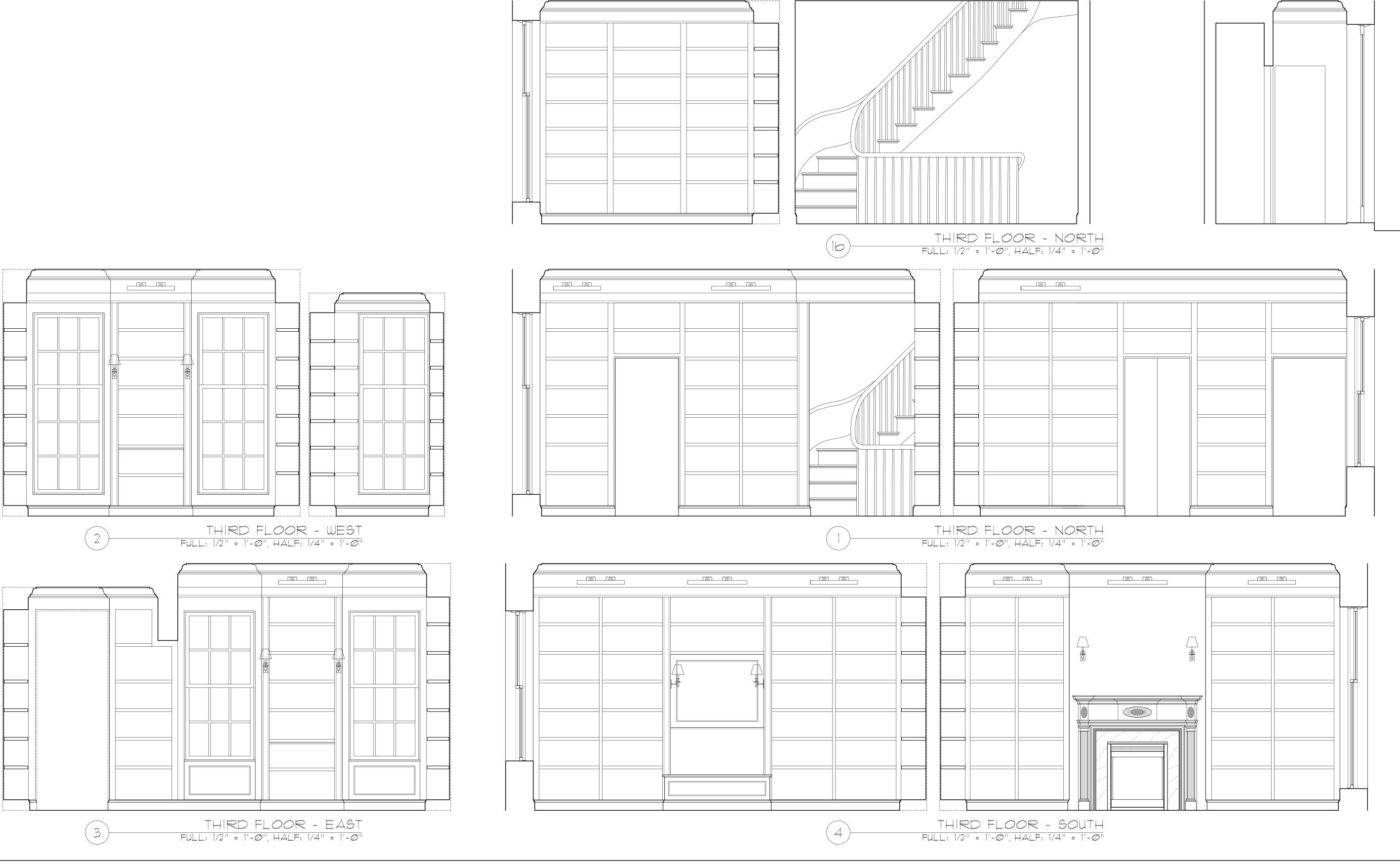
EVATIONS

ARY 29, 2020

AS NOTED

JGUR & RJP

JGUR # MZP





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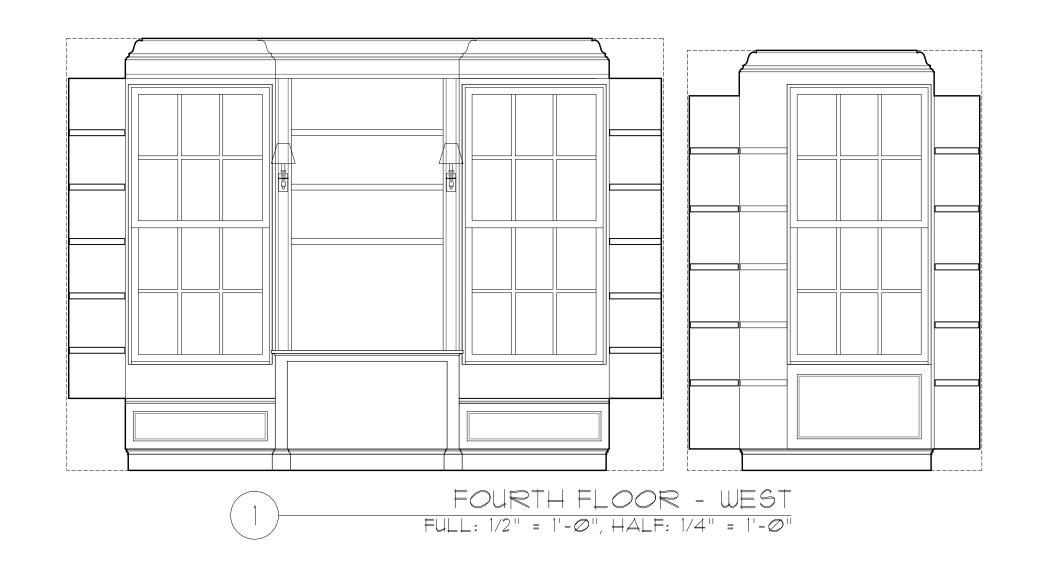


SHEET TITLE: PROPOSED THIRD FLOOR INTERIOR ELEVATIONS DATE: JANUARY 29, 2020 SCALE: DRAWN:

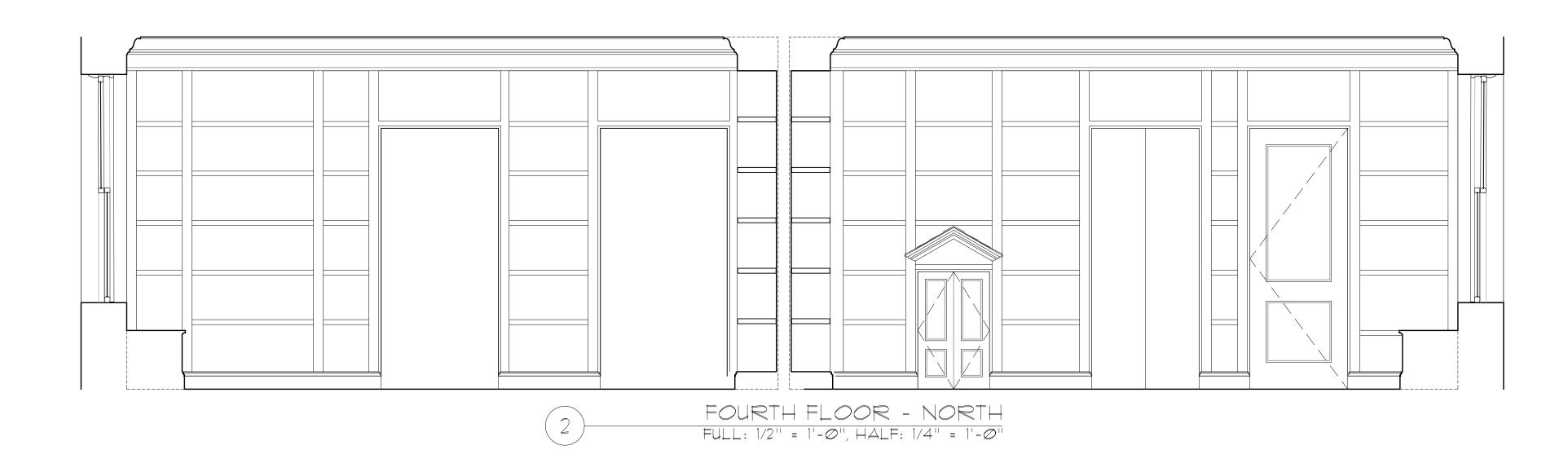
A5.03

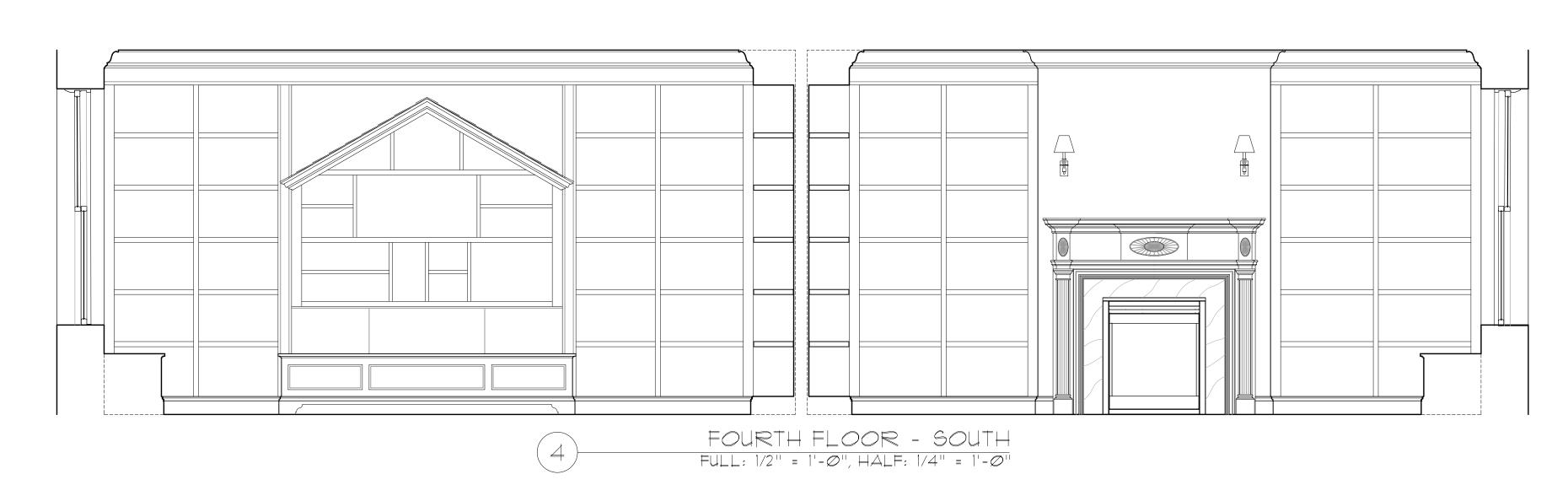
SHEET NO.

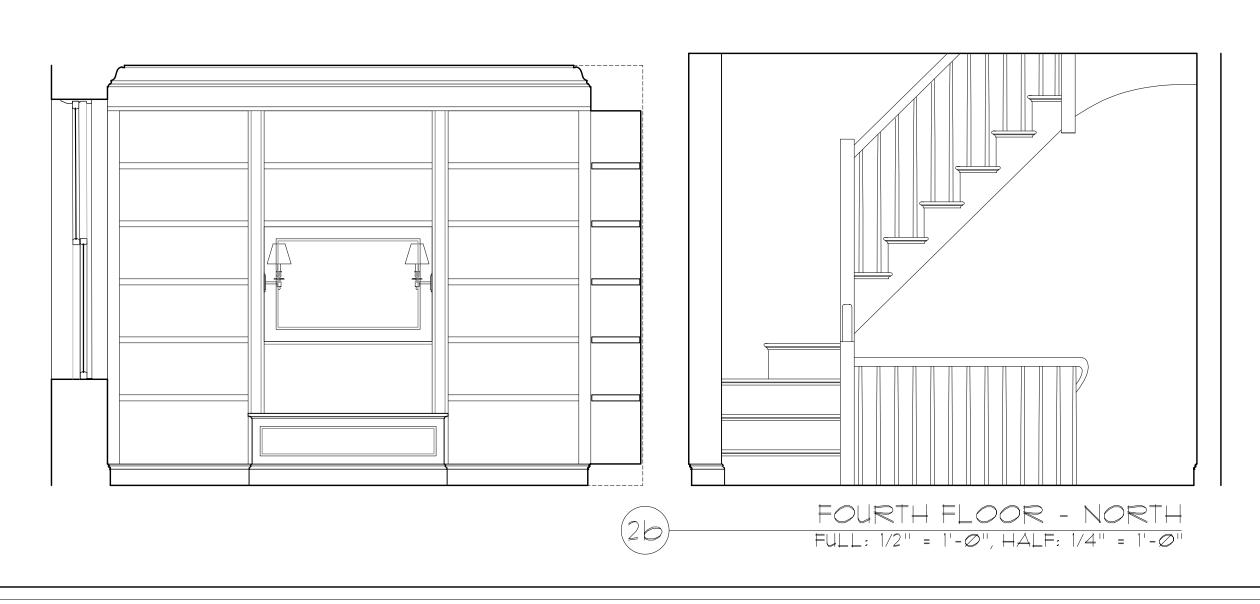
AS NOTED JGUR # RJP JGUR # MZP CHECKED:

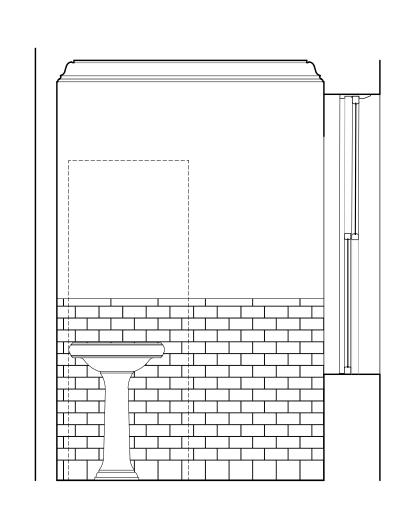


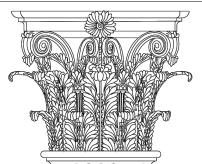












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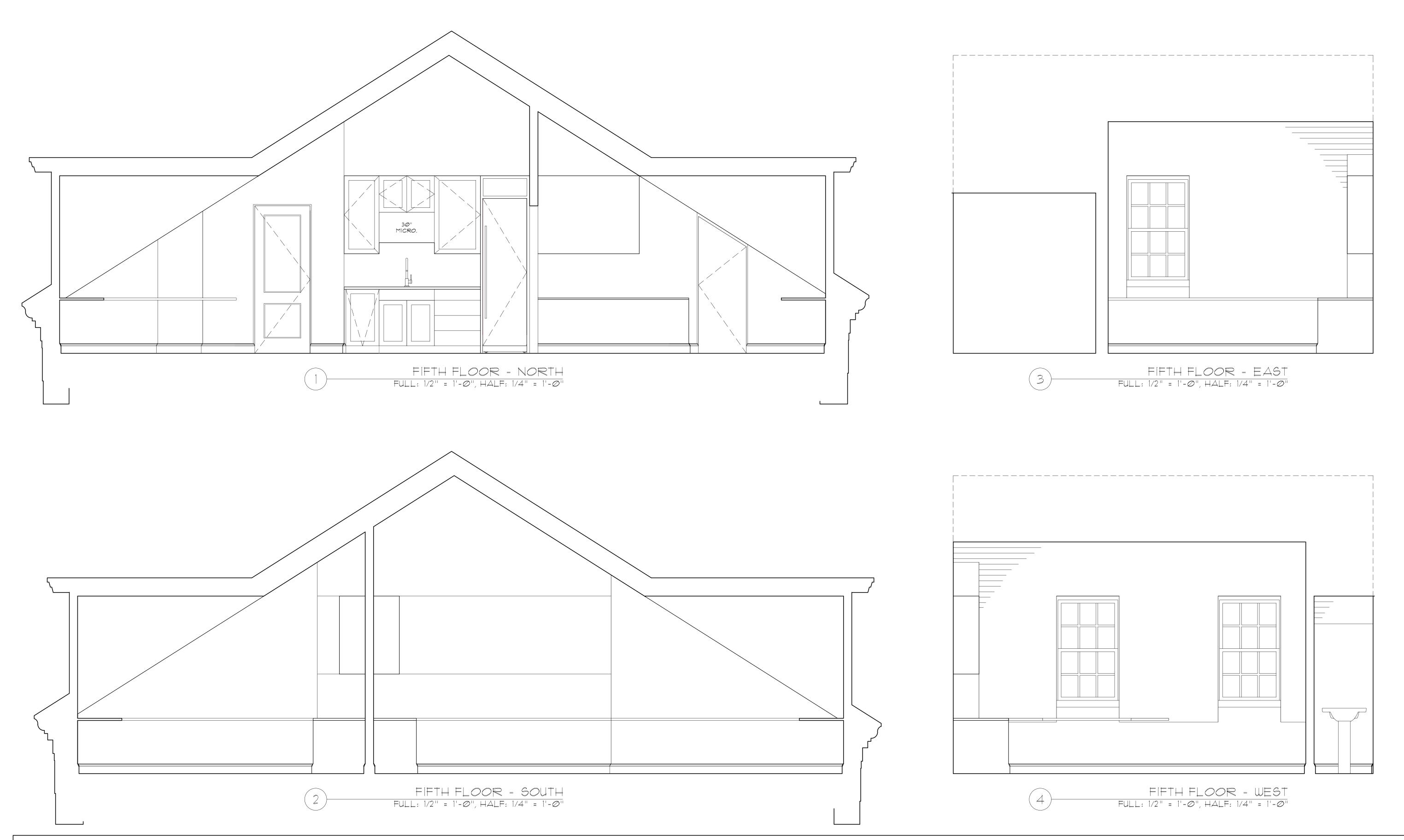
BOSTON, MA 02114

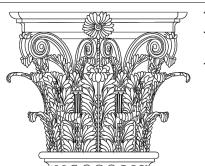


SCALE:

SHEET TITLE:
PROPOSED
THIRD FLOOR
INTERIOR ELEVATIONS DATE: JANUARY 29, 2020 AS NOTED

DRAWN: JGUR # RJP JGUR # MZP CHECKED:





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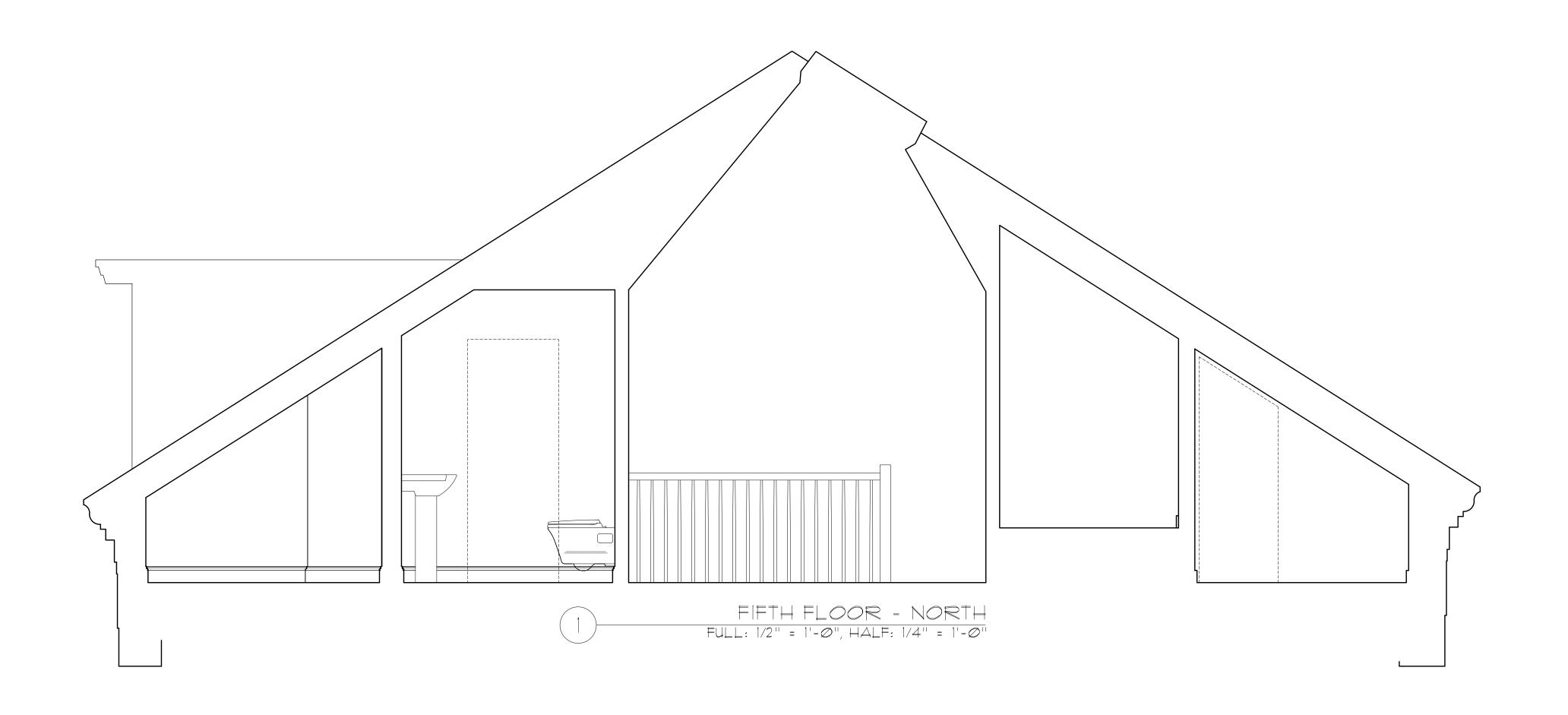
BOSTON, MA Ø2114

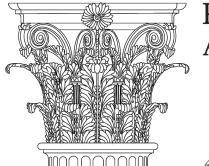


SHEET TITLE:
PROPOSED
FIFTH FLOOR
INTERIOR ELEVATIONS SCALE:

DATE: JANUARY 29, 2020 AS NOTED

DRAWN: JGUR # RJP JGUR # MZP CHECKED:





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SHEET TITLE:
PROPOSED
FIFTH FLOOR
INTERIOR ELEVATIONS

DATE: JANUARY 29, 2020

AS NOTED

AS NOTED DRAWN:

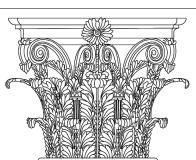
JGUR # RJP JGUR # MZP CHECKED:

- WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR
- WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON
- G.C. TO PROVIDE CEILING LIGHTING MOCK-UPS TO CONFIRM EXACT LOCATIONS

FIRST FLOOR ELECTRICAL PLAN

FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. A.F.F.	\$
LIGHTING KEYPAD	K
RECESSED LIGHT	0
GROUND LIGHT	•
SURFACE MOUNT / PENDANT	
WALL SCONCE	\bigcirc \dashv
UNDER CABINET / COVE LIGHT	
CLOSET/UTILITY LIGHT	
PICTURE LIGHT	
DUPLEX RECEPTACLE OUTLET	\Rightarrow
DUPLEX RECEPTACLE OUTLET GFI	
FLOOR ELECTRICAL OUTLET	•
CEILING EXHAUST FAN	F
SMOKE DETECTOR	(5)
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TY
TELEPHONE / DATA OUTLET	V
ROLL DOWN SCREEN	
SPEAKER	SP

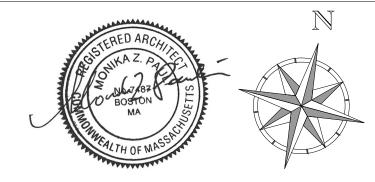


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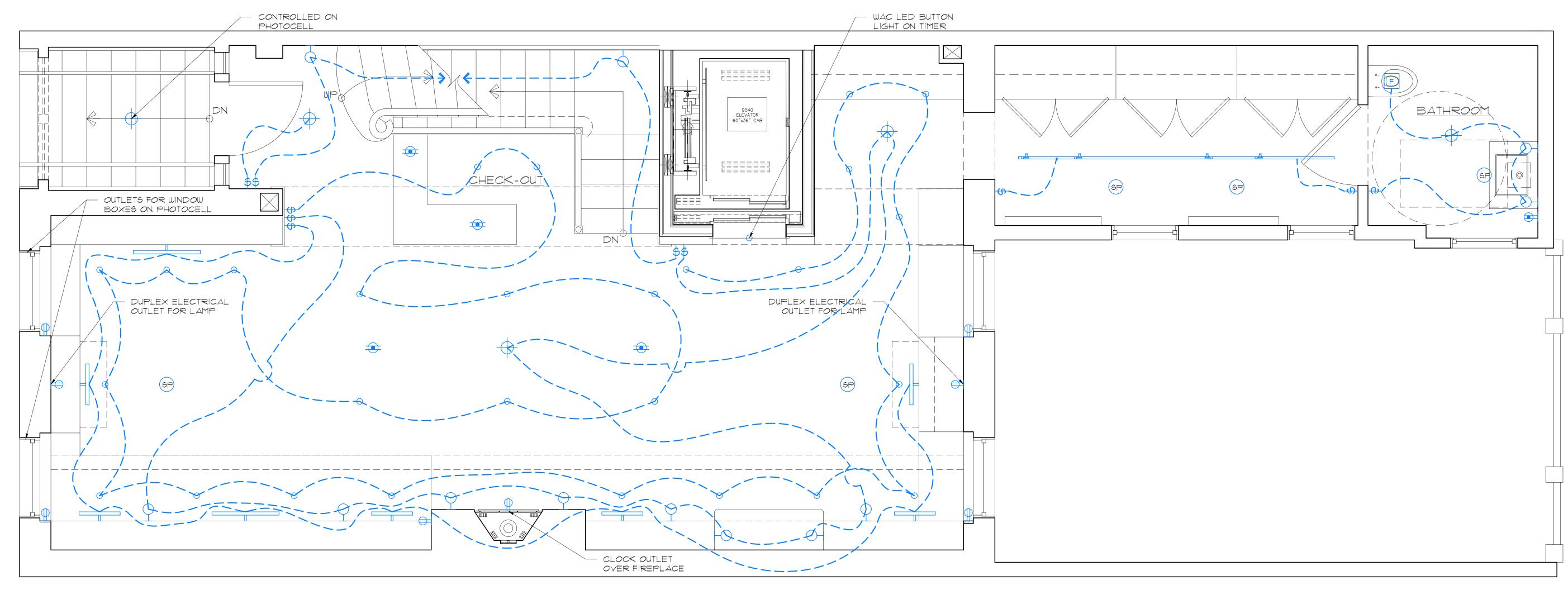
BOSTON, MA 02114



	SHEET TITLE: PROPOSED
	FIRST FLOOR ELECTRICAL PLAN
	DATE: JANUARY 29
•	SCALE: AS 1
	DRAWN:

SHEET NO. 29, 2020 NOTED JGUR # RJP | DRAWN: JGUR # MZP CHECKED:





- WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR

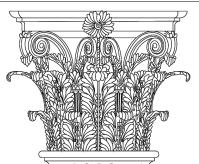
- WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON

- ON 2ND FLOOR: SCONCES & PENDANTS SWITCHED TOGETHER PICTURE LIGHTS SWITCHED TOGETHER RECESSED LIGHTS SWITCHED TOGETHER

SECOND FLOOR ELECTRICAL PLAN

FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. A.F.F.	\$
LIGHTING KEYPAD	K
RECESSED LIGHT	0
GROUND LIGHT	•
SURFACE MOUNT / PENDANT	+
WALL SCONCE	\bigcirc H
UNDER CABINET / COVE LIGHT	
CLOSET/UTILITY LIGHT	
PICTURE LIGHT	
DUPLEX RECEPTACLE OUTLET	\rightleftharpoons
DUPLEX RECEPTACLE OUTLET GFI	
FLOOR ELECTRICAL OUTLET	•
CEILING EXHAUST FAN	F
SMOKE DETECTOR	S
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TY
TELEPHONE / DATA OUTLET	V
ROLL DOWN SCREEN	
SPEAKER	SP

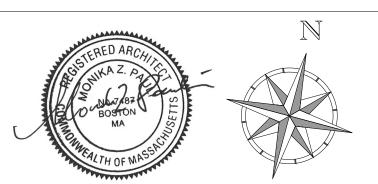


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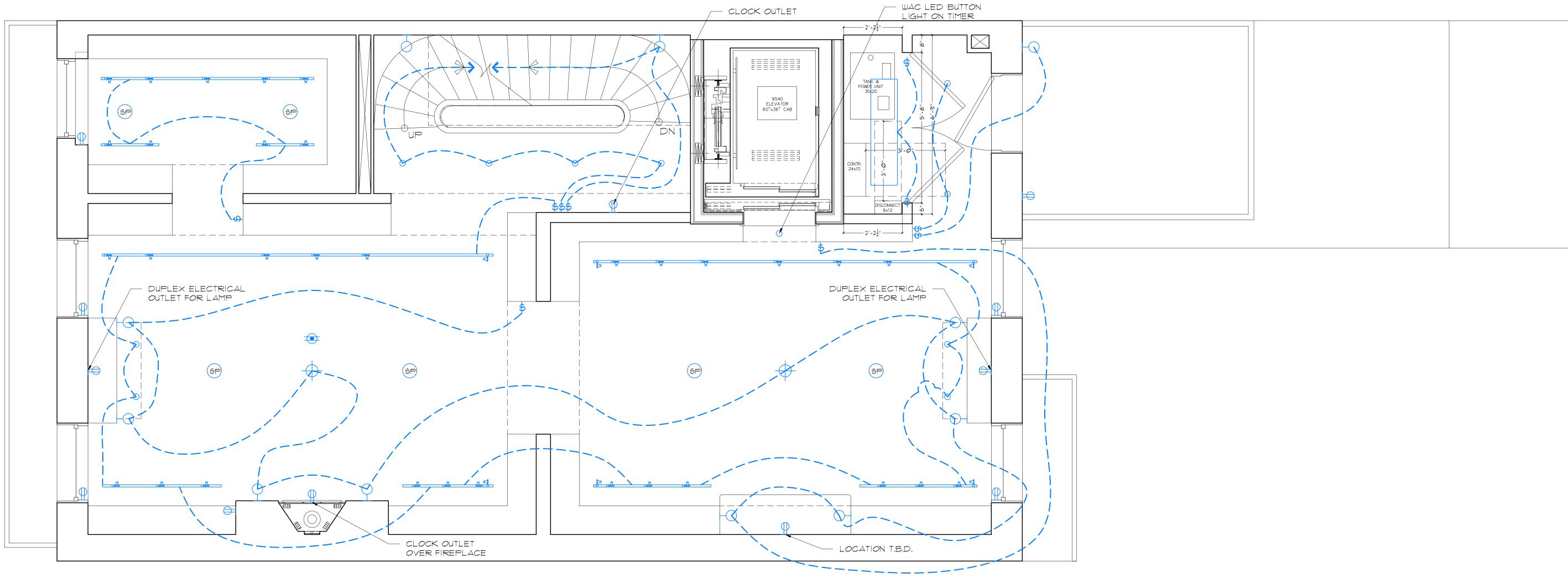
BOSTON, MA 02114



Ĭ	PROPOSE
	SECOND F
	ELECTRIC
	DATE: JA
	SCALE:
	DP AWN:

SHEET TITLE: SHEET NO. FLOOR Cal Plan ANUARY 29, 2020 AS NOTED

JGUR & RJP DRAWN: CHECKED: JGUR # MZP



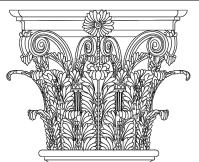
- WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR

- WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON

THIRD FLOOR ELECTRICAL PLAN

FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. A.F.F.	\$
LIGHTING KEYPAD	K
RECESSED LIGHT	0
GROUND LIGHT	•
SURFACE MOUNT / PENDANT	+
WALL SCONCE	\bigcirc H
UNDER CABINET / COVE LIGHT	
CLOSET/UTILITY LIGHT	
PICTURE LIGHT	
DUPLEX RECEPTACLE OUTLET	\rightleftharpoons
DUPLEX RECEPTACLE OUTLET GFI	
FLOOR ELECTRICAL OUTLET	•
CEILING EXHAUST FAN	F
SMOKE DETECTOR	5
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TY
TELEPHONE / DATA OUTLET	V
ROLL DOWN SCREEN	
SPEAKER	6P



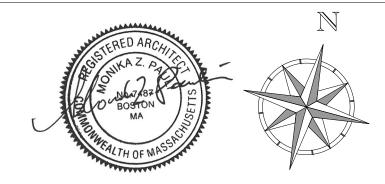
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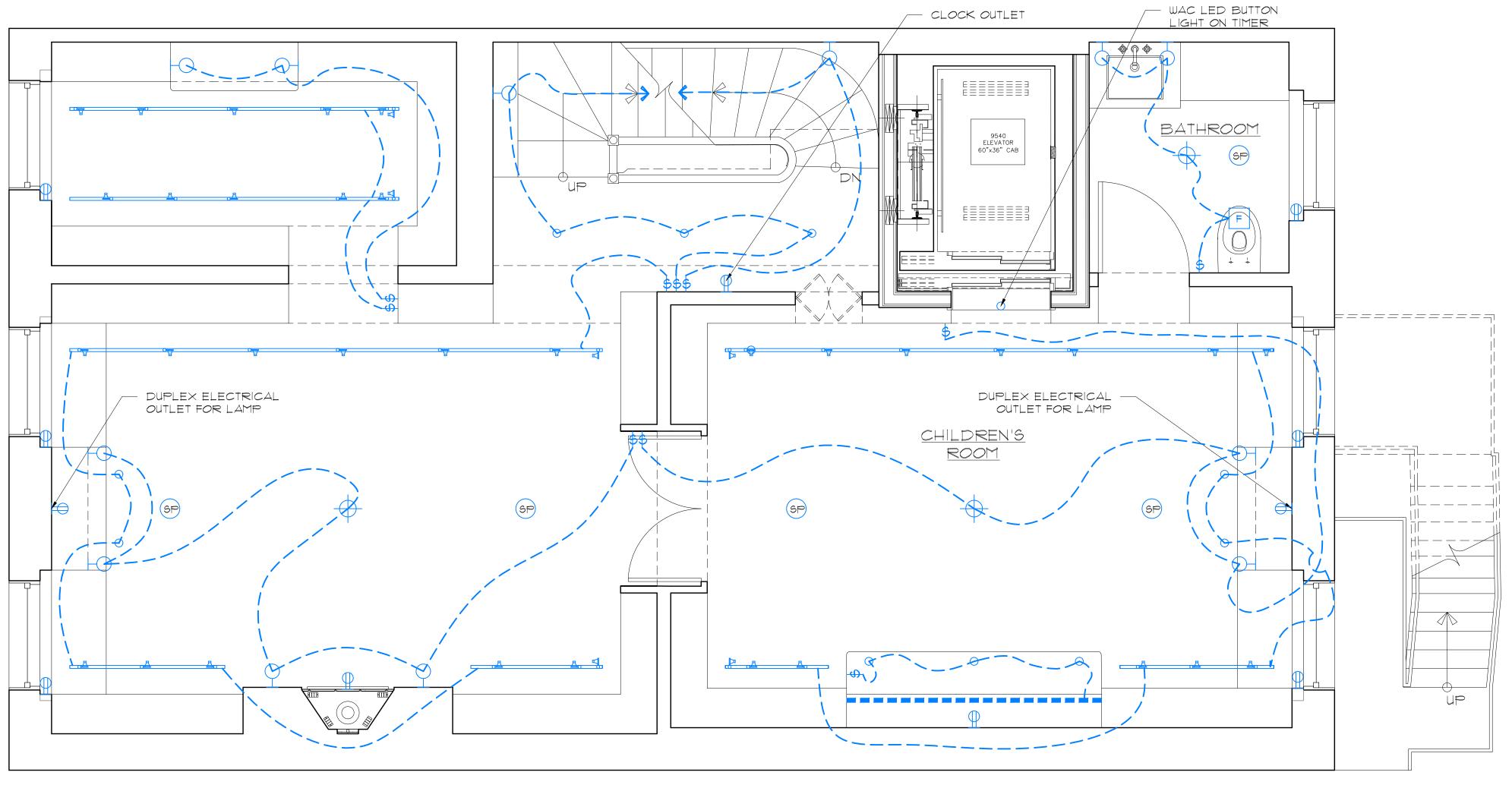
71 CHARLES STREET

BOSTON, MA Ø2114



SHEET TITLE:
PROPOSED
THIRD FLOOR
ELECTRICAL PLAN
DATE: JANUARY 29, 2
SCALE: AS NO
DRAWN: JGUR \$

SHEET NO. JGUR 4 MZP CHECKED:



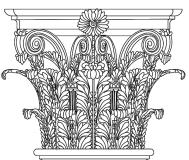
- WINDOW OUTLETS TOP HALF TO BE SWITCHED BY MASTER SWITCH ON TOP FLOOR

- WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON

FOURTH FLOOR ELECTRICAL PLAN

FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. A.F.F.	\$
LIGHTING KEYPAD	K
RECESSED LIGHT	O
GROUND LIGHT	•
SURFACE MOUNT / PENDANT	—
WALL SCONCE	\bigcirc H
UNDER CABINET / COVE LIGHT	
CLOSET/UTILITY LIGHT	
PICTURE LIGHT	
DUPLEX RECEPTACLE OUTLET	\rightleftharpoons
DUPLEX RECEPTACLE OUTLET GFI	
FLOOR ELECTRICAL OUTLET	•
CEILING EXHAUST FAN	F
SMOKE DETECTOR	(5)
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TV
TELEPHONE / DATA OUTLET	V
ROLL DOWN SCREEN	========
SPEAKER	(SP)



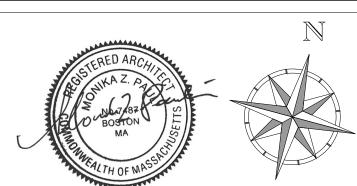
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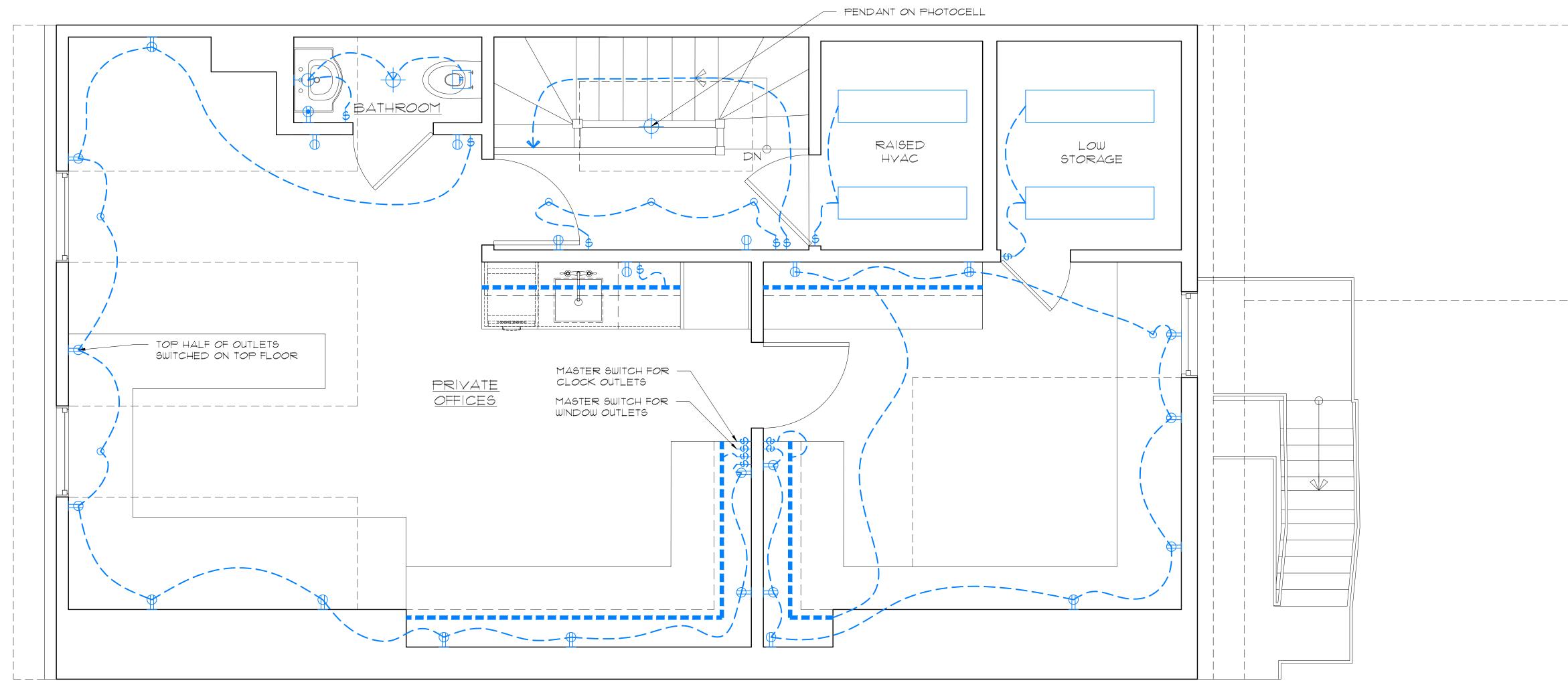
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SHEET TITLE:		SHEET NO
FOURTH FLO		
ELECTRICA		
DATE: JAN	UARY 29, 2020	12
SCALE:	AS NOTED	+0.
DRAWN:	JGUR # RJP	
CHECKED:	JGUR # MZP	



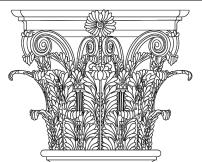
NOTES:

- TOP HALF OF OUTLETS TO BE SWITCHED

- WAC LED BUTTON LIGHTS AT ELEVATOR TO BE CONSTANTLY ON

FIFTH FLOOR ELECTRICAL PLAN
FULL: 1/2" = 1'-0", HALF: 1/4" = 1'-0"

ELECTRICAL KEY	PROPOSED
LIGHT SWITCH @ 48" O.C. A.F.F.	\$
LIGHTING KEYPAD	K
RECESSED LIGHT	O
GROUND LIGHT	⊙
SURFACE MOUNT / PENDANT	
WALL SCONCE	\bigcirc \dashv
UNDER CABINET / COVE LIGHT	
CLOSET/UTILITY LIGHT	
PICTURE LIGHT	
DUPLEX RECEPTACLE OUTLET	\rightleftharpoons
DUPLEX RECEPTACLE OUTLET GFI	
FLOOR ELECTRICAL OUTLET	•
CEILING EXHAUST FAN	F
SMOKE DETECTOR	(5)
HEAT DETECTOR	H
THERMOSTAT	T
TELEVISION OUTLET	TV
TELEPHONE / DATA OUTLET	V
ROLL DOWN SCREEN	
SPEAKER	SP



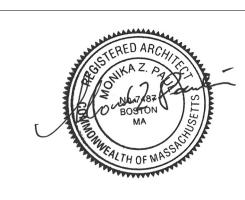
PAULI & URIBE ARCHITECTS LLC

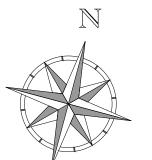
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SHEET TITLE:
PROPOSED
FIFTH FLOOR
ELECTRICAL PLAN

DATE: JANUARY 29, 2020

SCALE: AS NOTED

DRAWN: JGUR & RJP

CHECKED: JGUR & MZP

A8.05