



APPLICATION
CERTIFICATE of APPROPRIATENESS-or-
DESIGN APPROVAL-or-EXEMPTION

Deliver or mail to:
Environment Department
Boston City Hall, Rm 709
Boston, MA 02201

For Office Use Only

APPLICATION # _____
RECEIVED _____
FEE _____
HEARING DATE _____

DO NOT RETURN THIS FORM BY FAX OR EMAIL

DO NOT STAMP THIS BOX

I. PROPERTY ADDRESS 4 Joy Street
NAME of BUSINESS/PROPERTY 3-5 Joy LLC

The names, telephone numbers, postal and e-mail addresses requested below will be used for all subsequent communications relating to this application. Environment Department personnel cannot be responsible for illegible, incomplete or inaccurate contact information provided by applicants.

II. APPLICANT Grassi Design Group

CONTACT NAME Guy Grassi RELATIONSHIP TO PROPERTY Architect
MAILING ADDRESS 46 Waltham St Suite 3a Boston, MA ZIP 02118
PHONE 617-956-9992 EMAIL guy.grassi@grassides.com

PROPERTY OWNER 3-5 Joy LLC CONTACT NAME Rob Gatnik
MAILING ADDRESS 60 Adams St. 3rd Floor, Milton, MA ZIP 02186
PHONE 617-308-4889 EMAIL rgatnik@comcast.net

ARCHITECT Grassi Design Group CONTACT NAME Guy Grassi
MAILING ADDRESS 46 Waltham St Suite 3a Boston, MA ZIP 02118
PHONE 617-956-9992 EMAIL guy.grassi@grassides.com

CONTRACTOR Not Yet Selected CONTACT NAME _____
MAILING ADDRESS _____ ZIP _____
PHONE _____ EMAIL _____

III. DESCRIPTION OF PROPOSED WORK

A BRIEF OUTLINE OF THE PROPOSED WORK *MUST* BE GIVEN IN THE SPACE PROVIDED BELOW, OR THE APPLICATION WILL *NOT* BE ACCEPTED. This description provides the basis for the official notice and subsequent decision, and it must clearly represent the entirety of the project. Additional pages may be attached, if necessary, to provide more detailed information.

Front

1. Restore/repair/spot point existing spalled stone and brick.
2. Repaint existing window sash/frame/brick mold/trim and install new 1/2 screens.
3. Restore/repaint entry/trim/door/frame/sidelights. Remove modern entry hood cap and install copper drip edge/flashing.
4. Demolish entry ramp/stair/landing.
5. New intercom and door hardware at entry doors.
6. Replace light fixture at entry.
7. Restore front yard landscape, install new plantings, repair and paint railings, replace concrete sidewalk with brick pavers.
8. Reset slate roofing due to leaking, replace broken slates, replace copper roofing, and install new copper flashing.
9. Replace inappropriate modern dormer windows with new 6/6 wood windows and 1/2 screens.
10. Install new fire dept. beacon and sprinkler connection.

Description of Proposed Work
4 Joy Street, Boston, MA
Continued

Rear

1. Remove two story addition at rear, and construct new rear addition with decks/railings.
2. Replace modern window sash and frames @ rear façade with new 6/6 wood windows and ½ screens.
3. Restore/repair/spot point existing spalled stone and brick.
4. Replace leaking asphalt shingle roofing @ rear façade with new fiberglass shingles and copper flashing.
5. Construct new dormer at rear attic level and remove skylight.
6. Install new trim at rear dormer, and replace modern dormer trim and windows with more appropriate trim and 6/6 wood windows and ½ screens.
7. Install new copper gutters, downspouts, vents.
8. Widen 3rd floor masonry opening at rear – install new 6/6 wood windows and ½ screens.
9. Remove existing rooftop vents/piping – install new.

REQUIRED DOCUMENTATION: Please include all required documentation with this application; review instructions carefully for details.

ESTIMATED COST OF PROPOSED WORK: \$250,000 (Ext.work visible) _____

IV. DULY AUTHORIZED SIGNATURES (both required)

The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury.

APPLICANT _____ OWNER* _____

*(If building is a condominium or cooperative, the chairman must sign.)

PRINT _____ PRINT _____

Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

UNSIGNED OR PARTIALLY SIGNED FORMS WILL BE REJECTED

THIS APPLICATION IS NOT COMPLETE WITHOUT SIGNATURES, FEES AND REQUIRED DOCUMENTATION.

The checklist below is for reference only: Please refer to the detailed application instructions for deadlines, fee schedule and required documentation specific to your proposal.

- COMPLETED APPLICATION FORM
- APPLICATION FEE (Check or money order made payable to City of Boston; see fee schedule in Instructions)
- DESCRIPTION OF WORK (A brief description must be included on the front page; additional pages of detailed information may be attached. **Applications that only note “see attached” will not be accepted.**)
- PHOTOS OF EXISTING CONDITIONS
- DRAWINGS AND SPECIFICATIONS AS REQUIRED (See “documentation requirements” in instructions)

For more information, visit the website at: www.cityofboston.gov/landmarks

Or contact the Environment Department at (617-635-3850) or at Boston City Hall, Room 709, Boston, MA 02201

February 10, 2017

Lissa Schwab
Preservation Planner for the City of Boston
Environment Department, Room 709
City Hall Square, Boston Ma. 02201

Re: # 4 Joy Street, Boston Ma.

Dear Lissa;

I am sending you this letter to confirm that the drawings of the proposed project we have submitted to the Beacon Hill Architectural Commission has been designed to fully comply with all provisions and requirements of the Boston Zoning Code, in my professional opinion, as the Architect of Record.

Furthermore, we will not be seeking any zoning code variances for this project, to accomplish the renovations and additions to convert the currently non conforming institutional/office building into a fully conforming 3 dwelling unit building.

I have attached, to the revised application, a zoning computation form, as well as a drawing showing the existing and proposed gross floor areas of the building, and their calculations in determining the total gross floor areas used in the zoning computation form.

Sincerely;

Guy N. Grassi
Grassi Design Group Inc.

4 JOY STREET

Zoning Computation Form

02.10.2017

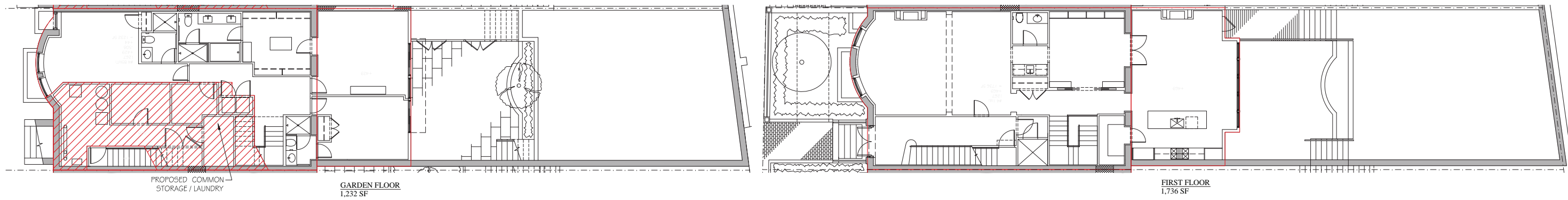
Zoning District: H2-65
 Existing Use: Offices
 Proposed Use: 3 Dwellings

	Use	Min. lot size	Lot area per D.U.	Min. lot width	F.A.R.	Max bldg. ht.		Open space per D.U.	Min. front yard	Min.rear yard	Min.side yard	Min. parapet setback	% of rear yard for acc.use
						feet	stories						
Required by Code	Allowed	None	None	None	2.0 7,370	65' Above grade plane	-	150 SF/D.U.	Modal	10 + L/120	0'	H+L/6	25%
Existing	Offices	3685 S.F.	N/A	27.36'	2.19 8074	58.5'	5+ Basement	N/A	13.5'	0'	0'	0'	0%
Proposed	3 D.U.	3685 S.F.	N/A	27.36'	2.16 7967	58.5'	5+ Basement	200 SF/D.U. (Min.)	13.5'	54'	0'	0'	0%

NOTE: SEE ATTACHED SHEET FOR FLOOR AREA CALCULATIONS

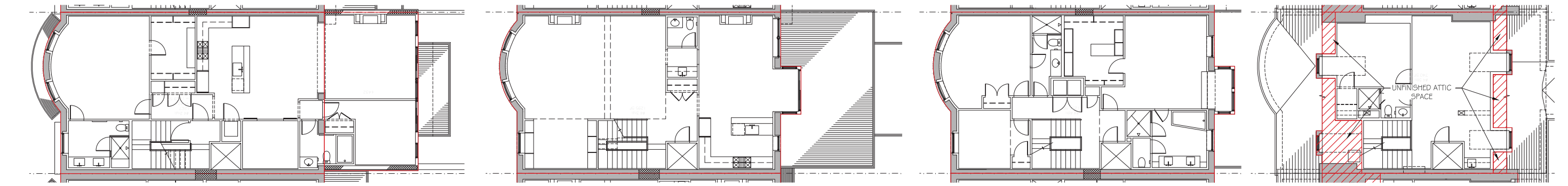
	Required by code	Existing	Proposed
Parking:	* 0.7/ D.U. 2.1	0	0 (0 Required if <2)
Loading:	0	0	0

* 0 SPACES REQUIRED BY CODE IF CODE REQUIREMENT IS 2 OR LESS AS PER 23-6(b), AFTER ROUNDING PER SECTION 38A



GARDEN FLOOR
1,232 SF

FIRST FLOOR
1,736 SF



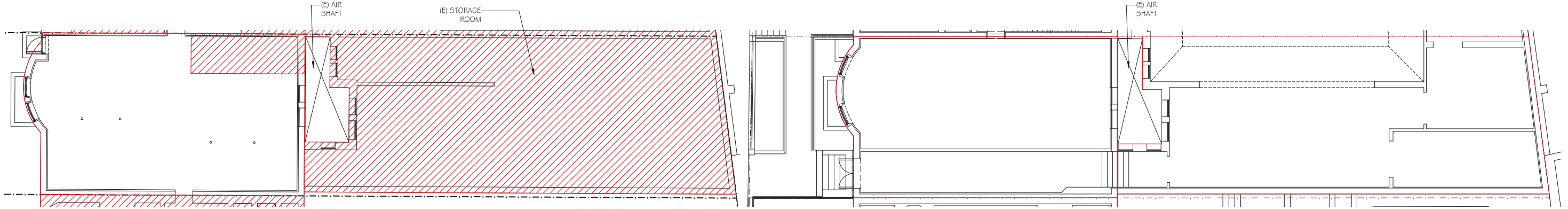
SECOND FLOOR
1,669 SF

THIRD FLOOR
1,295 SF

FOURTH FLOOR
1,295 SF

FIFTH FLOOR
740 SF

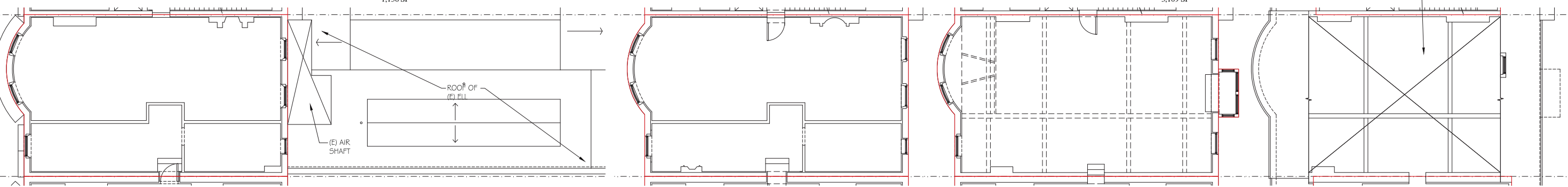
PROPOSED GROSS FLOOR AREA
SCALE: 1/8" = 1'-0"



GARDEN FLOOR
1,136 SF

FIRST FLOOR
3,109 SF

EXISTING GROSS FLOOR AREA
SCALE: 1/8" = 1'-0"



SECOND FLOOR
1,267 SF

THIRD FLOOR
1,267 SF

FOURTH FLOOR
1,295 SF

FIFTH FLOOR
0 SF

GROSS FLOOR AREA TOTALS:

PROPOSED:
JOY ST: 7,967 SF

EXISTING:
JOY ST: 8,074 SF

FAR LEGEND

- AREA INCLUDED
- AREA EXCLUDED



#4 JOY STREET
MOCKUP PHOTO LOCATIONS



MOCKUP #4 -A



MOCKUP #14-B



Mockup #4-C



Mockup #4-7D



4 JOY - ENTRY HOOD



*4 TON - SERVANT ENTRY



#4 Side Front



EXISTING RAMP @ #4 JOY FRONT



FRONT STAIR @ 1/14



#4 FRONT ENTRY DOOR & HOOD



*4 FRONT WINDOW DETAIL

#4 FRONT WINDOW - HISTORIC





4 FRONT DORMERS



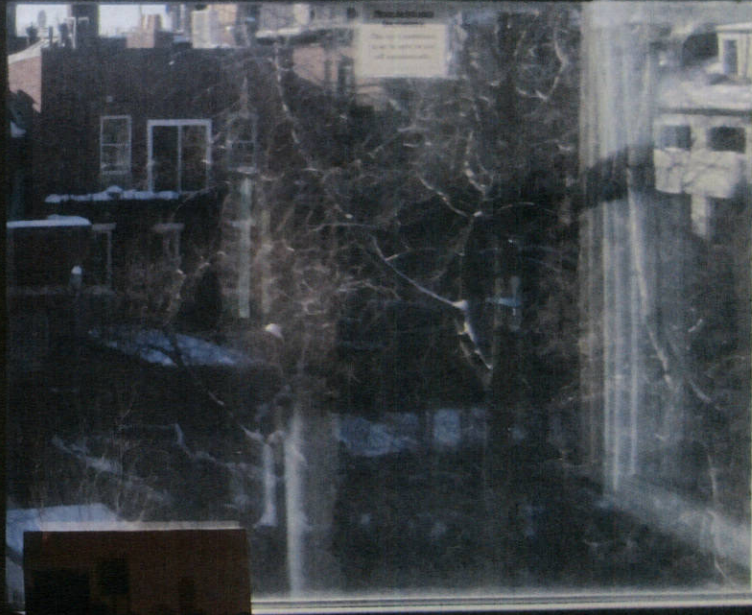
*4 FRONT DORMER (FROM INSIDE)



*4 PEAR WINDOW - MODERN



4 REAR ORIEL WINDOW - MODERN



4 REAR ORIEL WINDOWS - MODERN



#4 FRONT WINDOWS (FROM INSIDE)



*4 FRONT - DAMAGED BROWNSTONE



#4 FRONT - DAMAGED BROWNSTONE



#4 FRONT WINDOWS

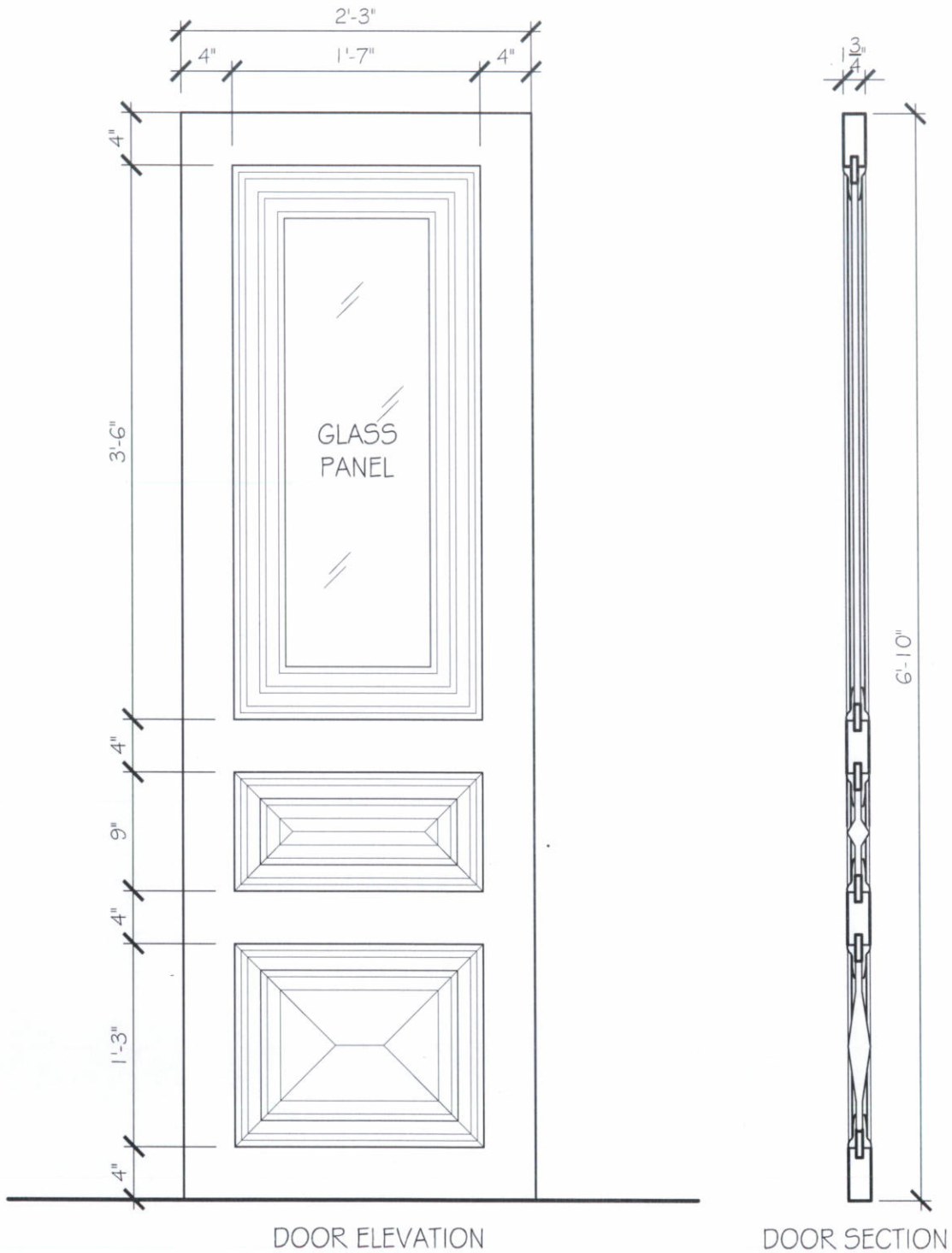


#4 JOY

#4 JOY FROM WALNUT ST.



#4 FROM WALNUT



DOOR FINISH : PAINTED BLACK

HARDWARE: BALDWIN MORTISE LOCK & CYLINDER WITH
 69G3-BRISTOL ESTATE HANDLE SET- POLISHED BRASS FINISH

REPLACEMENT DOOR GARDEN AT #4

4 JOY STREET
 BOSTON MA

SCALE: 1" = 1'-0"
 JOB #: 1606
 DATE: 02.10.17



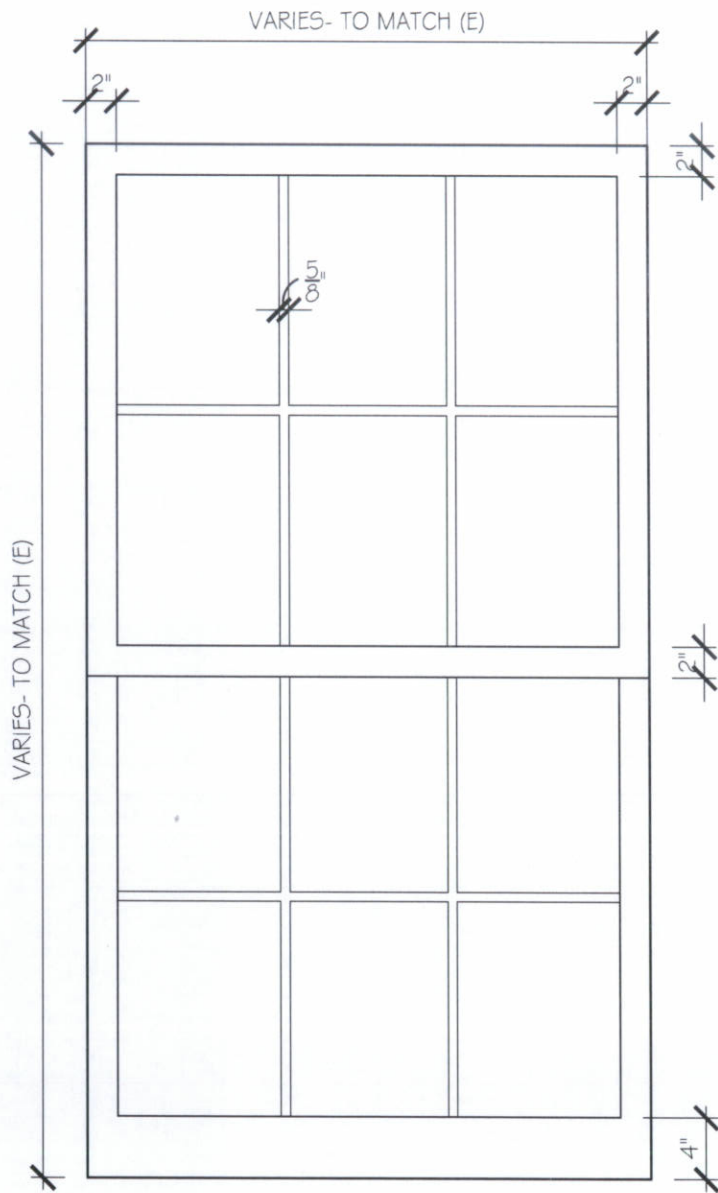
GRASSI DESIGN GROUP

46 Waltham Street, Suite 3A
 Boston, MA 02118

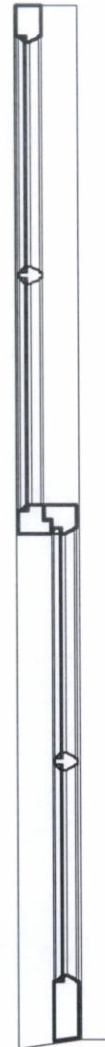
Phone 617-956-9992
 Fax 917-956-9993



GRASSI INTERIORS



WINDOW ELEVATION



WINDOW SECTION

4 JOY STREET
BOSTON MA

SCALE: 1" = 1'-0"
JOB #: 1606
DATE: 02.10.17

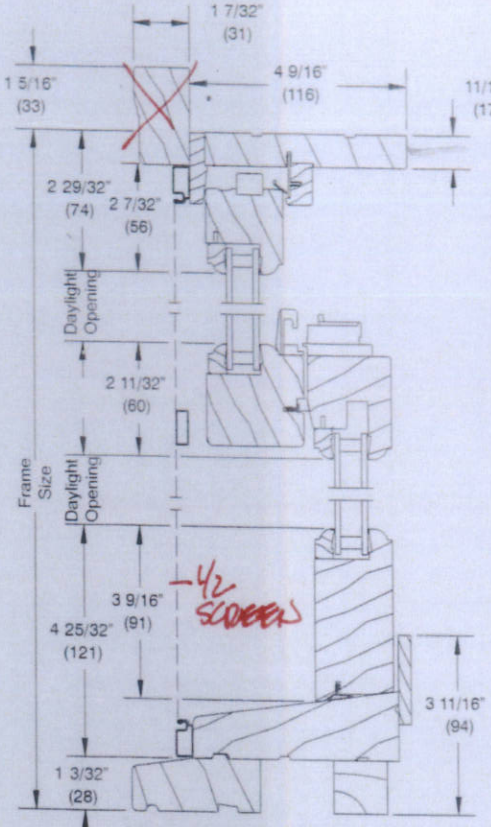
PROPOSED FRONT AND REAR DORMER WINDOWS
AND REAR REPLACEMENT WINDOWS @ EXISTING
MASONRY OPENINGS

WOOD ULTIMATE DOUBLE HUNG

SECTION DETAILS: OPERATING ONLY

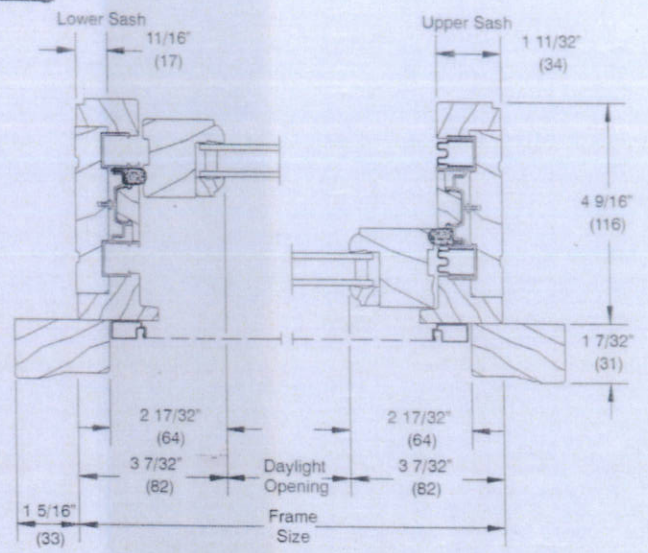
SCALE: 3" = 1' 0"

FOR WINDOWS IN
REAL ADDITIONS -

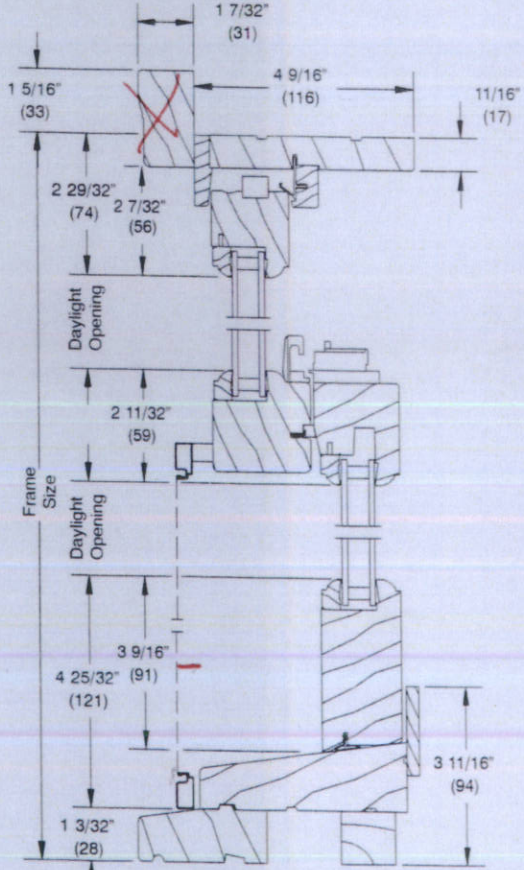


Head Jamb and Sill

Double Hung

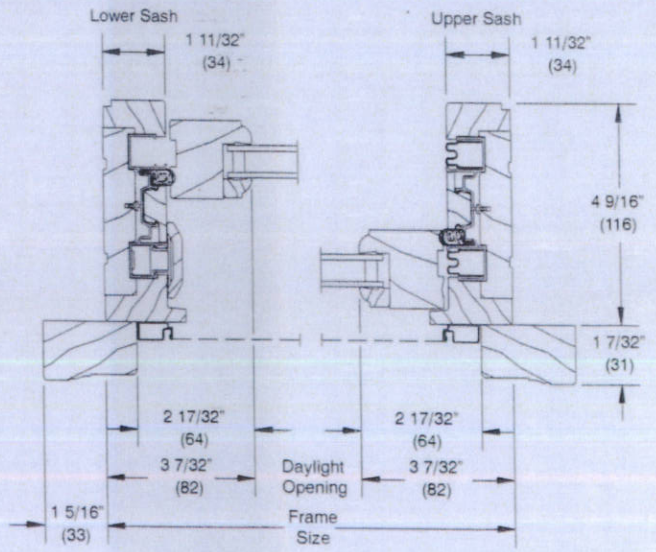


Double Hung Jamb
Lower and upper sash



Head Jamb and Sill

Single Hung



Single Hung Jamb
Lower and upper sash

NOTE:
Optional half screen shown.

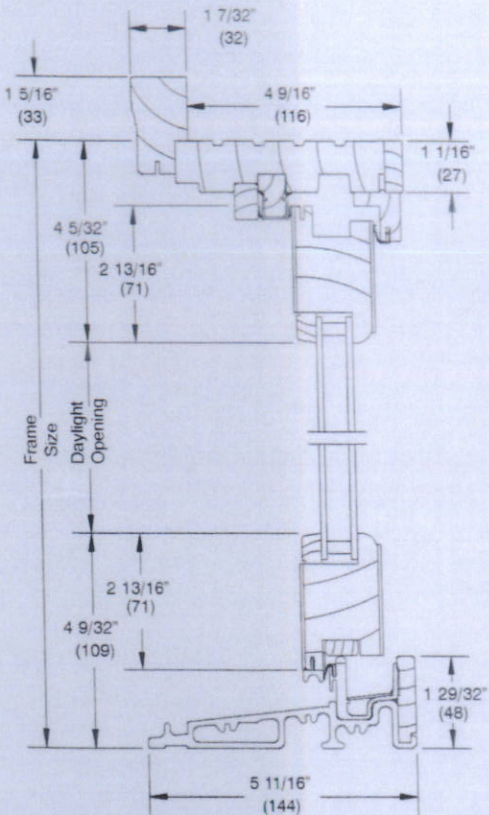
WOOD TRIMLINE PATIO DOOR

SECTION DETAILS: 4 9/16" AND 6 9/16" SIDELITE

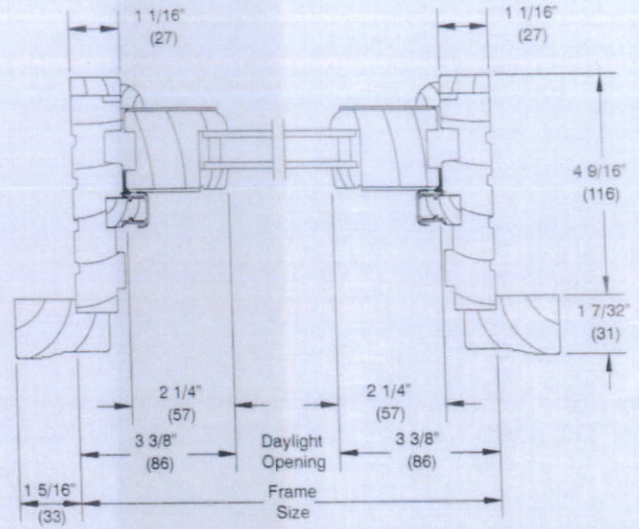
SCALE: 3" = 1' 0"

*WOOD SILL & DOORS
@ PEARL ADDITIONS -*

4 9/16" Sidelite

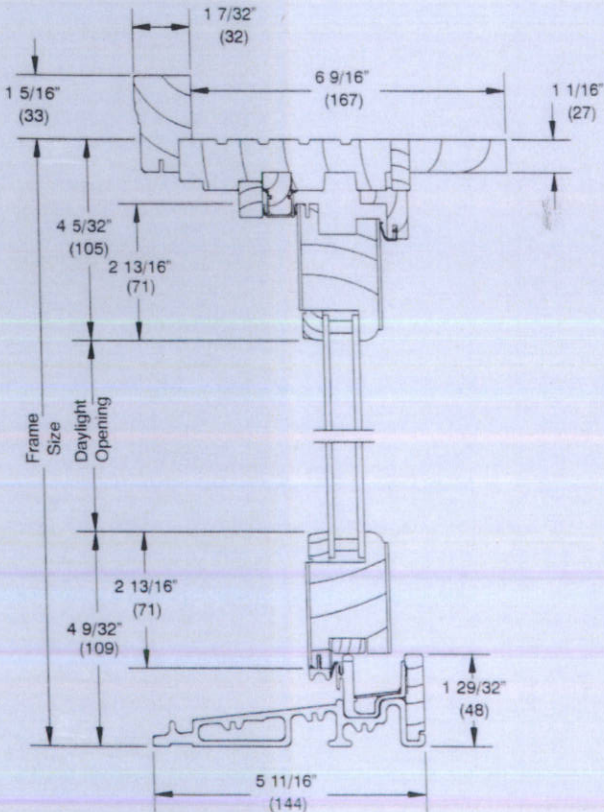


Head Jamb and Sill

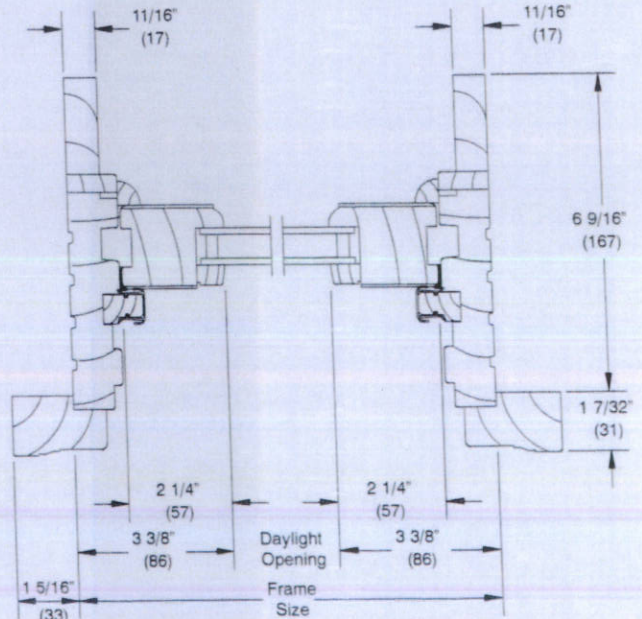


Jamb

6 9/16" Sidelite



Head Jamb and Sill



Jamb

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The Lawler Line®



Product Information

Item No.: 4-X
Molded Volute

Dimensions:
Width: 1 3/4 in.
Rail end for Molded Cover Rail

Weight:
1.75 lb.



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The Lawler Line®



Product Information

Item No.: MCR
Molded Cover Rail

Dimensions:

Height: 1/2 in.

Width: 1 3/4 in.

Weight:

24 lb.



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TO MOUNT RAIL COVER

HANDRAIL @ FRONT STOOP &
DECK RAILS



Lighting / Outdoor Lighting / Outdoor Hanging Lights / Savoy House / SKU: SOY2533

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Product Information:

- 10+ in Stock
- Fixture: 13.75" H x 8.25" W

Customers Also Viewed

1 Light Outdoor Han...
★★★★★
\$35.99

Kensington 1 Light ...
★★★★★
\$104.00

3 Light Outdoor Ha...
★★★★★
\$71.99

Saddler 2 Light Out...
★★★★★
\$143.99

New Street 1 Light ...
★★★★★
\$54.90

FRUIT ENTRY PENDANT LIGHT

Flush Mount Wall Hydrants / Test Headers (Without Valves)

A hydrant provides an auxiliary outlet for fire department use, while a test header provides a means to flow test a fire pump. These flush mounted units feature a body that's typically concealed behind a wall with only the plate, male snoots, and caps exposed.

250 GPM per outlet

- **2-way Standard Equipment:** Units are equipped with a brass concealed body, wall plate, 2½" F NPT x 2½" M NST gate valves (loose bonnet style) and 2½" caps.
- **3-way, 4-way, and 6-way Standard Equipment:** Units are equipped with a 6061-T6 aluminum concealed body, wall plate, 3" F NPT x 2½" M NST gate valves (loose bonnet style), and 2½" caps.



420RBWH

Part #	Type	Size & Configuration	Inlet Type	Inlet Location	A	B	C
420	2-Way	4" x 2½" x 2½"	Female NPT	Back	11½"	6½"	7"
421	2-Way	4" x 2½" x 2½"	Female NPT	Top / Bottom	12"	5½"	7"
422	2-Way	6" x 2½" x 2½"	Female NPT	Back	11½"	7¼"	7 5/8"
423	2-Way	6" x 2½" x 2½"	Female NPT	Top / Bottom	12"	9½"	7 5/8"
430	3-Way	6" x 2½" x 2½" x 2½"	Groove	End	23½"	8½"	7"
431	3-Way	6" x 2½" x 2½" x 2½"	Groove	Back	19¾"	10½"	7"
432	3-Way	6" x 2½" x 2½" x 2½"	Groove	Top / Bottom	19¾"	8½"	7"
433	3-Way	6" x 2½" x 2½" x 2½"	Female NPT	End	23¼"	8½"	7"
434	3-Way	6" x 2½" x 2½" x 2½"	Female NPT	Back	19¾"	10½"	7"
435	3-Way	6" x 2½" x 2½" x 2½"	Female NPT	Top / Bottom	19¾"	8½"	7"
440	4-Way	6" x 2½" x 2½" x 2½" x 2½"	Groove	End	30¼"	8½"	7"
441	4-Way	6" x 2½" x 2½" x 2½" x 2½"	Groove	Back	26¾"	10½"	7"
442	4-Way	6" x 2½" x 2½" x 2½" x 2½"	Groove	Top / Bottom	26¾"	8½"	7"
443	4-Way	6" x 2½" x 2½" x 2½" x 2½"	Female NPT	End	30¼"	8½"	7"
444	4-Way	6" x 2½" x 2½" x 2½" x 2½"	Female NPT	Back	26¾"	10½"	7"
445	4-Way	6" x 2½" x 2½" x 2½" x 2½"	Female NPT	Top / Bottom	26¾"	8½"	7"
450	4-Way	6" x 2½" x 2½" x 2½" x 2½" (Square)	Groove	Back	14¾"	10½"	7"
451	4-Way	6" x 2½" x 2½" x 2½" x 2½" (Square)	Groove	Top / Bottom	14¾"	8"	7"
460	6-Way	8" x 2½" x 2½" x 2½" x 2½" x 2½" x 2½"	Groove	End	44½"	9½"	7"

Specify Finish:

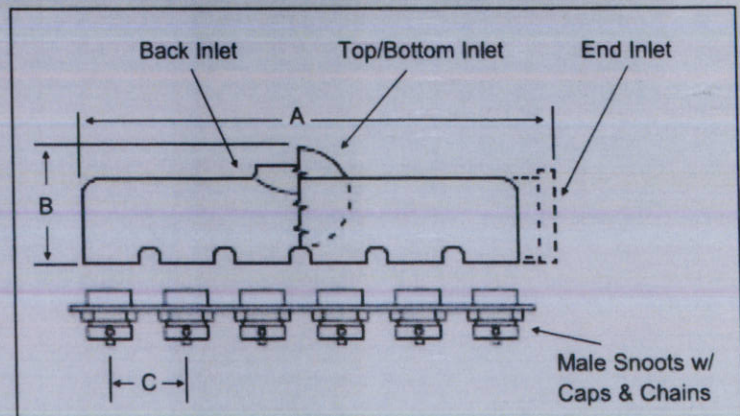
- RB Rough Brass
- PB Polished Brass
- PC Polished Chrome

Specify Orientation:

- Horizontal (standard)
- V Vertical

Specify Wall Plate Lettering:

- WH Wall Hydrant
- PT Fire Pump Test



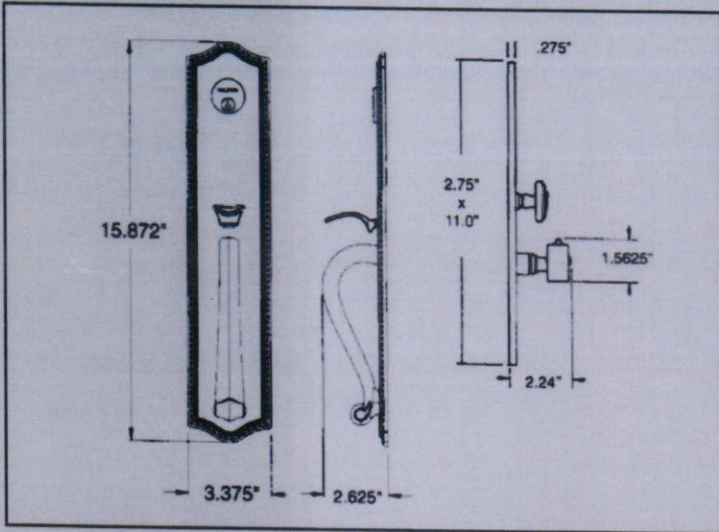
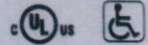


Siedle Steel - Video Door station - Intercom Unit
Recess mounted with 2 push buttons (One shown)

BALDWIN

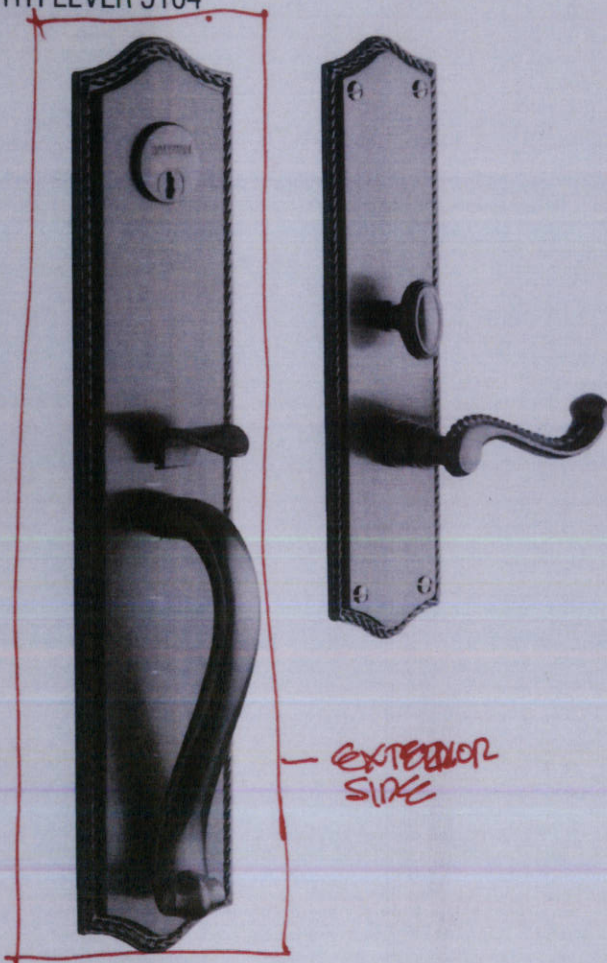
6963 - BRISTOL ESTATE HANDLESET

SPECIFICATIONS

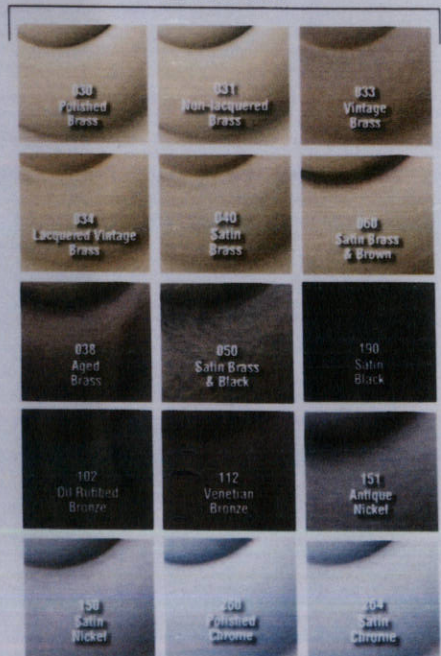


- > Accessibility Code (ADA) A117.1 for all levers.
- > Certified by Underwriters Laboratories (UL) for use on fire doors up to three-hour rating
- > U L10C / UBC 7-2 (1997) Positive Pressure Rated, UL10B Pressure Rated
- > Material: Solid Forged Brass

SHOWN WITH LEVER 5104



TIER 1 FINISHES



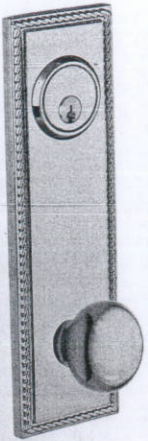
TIER 2 FINISHES



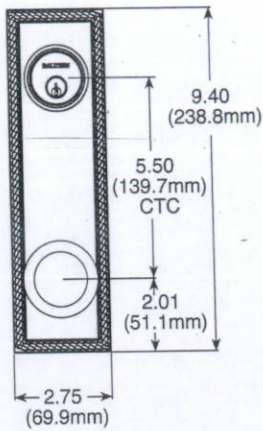
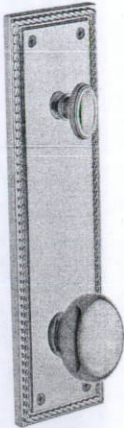
MAINS ENTRANCE DOOR
HARDWARE

IMAGES - DECORATIVE ROSES

Classic knob w/ Squared Rope rose
DEADBOLT WITH ESCUTCHEON (NON-INTERCONNECT)



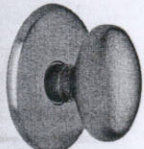
5405.xxx.D1JSR



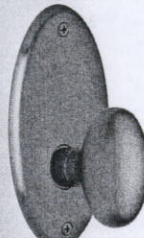
Approx. Size	Item #	Function	Wt.	031, 050, 102, 112, 150, 151, 190, 260, 264	003, 402, 412, 452
10"	5405.xxx.D1JSR	Single Cyl. Ddblt: 2-3/8" backset	5.7	\$315	325
10"	5405.xxx.D2JSR	Double Cyl. Ddblt: 2-3/8" backset	6.0	331	340
10"	5406.xxx.D1JSR	Single Cyl. Ddblt: 2-3/4" backset	5.7	315	325
10"	5406.xxx.D2JSR	Double Cyl. Ddblt: 2-3/4" backset	6.0	331	340

Not available with adjustable backset latch. Please order based on required backset.

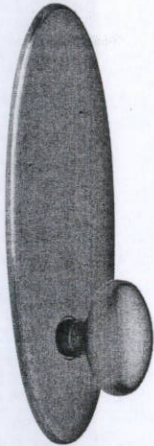
Egg knob w/ Oval rose
PASSAGE, PRIVACY & DUMMY



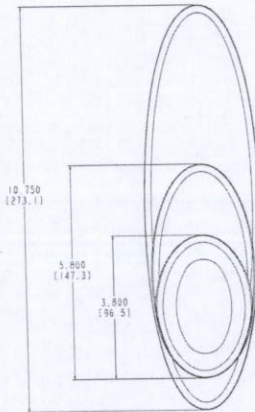
5425.xxx.PSCD



5425.xxx.PSED



5425.xxx.PSJO



Knob PROJECTION off door: 2.54"

Approx. Size	Item #	Function	Wt.	030, 031, 050, 102, 112, 150, 151, 190, 260, 264	003, 055, 056, 402, 412, 452
3"	5425.xxx.FDCO	Full Dummy	3.2	\$100	121
3"	5425.xxx.IDCO	Half Dummy	1.8	50	61
3"	5425.xxx.PSCO	Passage: 2-3/8" backset	3.7	121	147
3"	5425.xxx.PVCO	Privacy: 2-3/8" backset	3.8	121	147
3"	5425.xxx.PSCD	Passage: 2-3/4" backset	3.7	121	147
3"	5425.xxx.PVCO	Privacy: 2-3/4" backset	3.8	121	147
3"	RS54.xxx.PSCO	3" Passage Roses Only (pair)	1.0	42	58
3"	RS54.xxx.PVCO	3" Privacy Roses Only (pair)	1.0	42	58
5"	5425.xxx.FDEO	Full Dummy	3.6	142	163
5"	5425.xxx.IDEO	Half Dummy	2.2	71	82
5"	5425.xxx.PSEO	Passage: 2-3/8" backset	4.1	163	189
5"	5425.xxx.PVEO	Privacy: 2-3/8" backset	4.1	163	189
5"	5426.xxx.PSEO	Passage: 2-3/4" backset	4.1	163	189
5"	5426.xxx.PVEO	Privacy: 2-3/4" backset	4.1	163	189
5"	RS54.xxx.PSEO	5" Passage Roses Only (pair)	1.4	84	100
5"	RS54.xxx.PVEO	5" Privacy Roses Only (pair)	1.4	84	100
10"	5425.xxx.FDJ0	Full Dummy	4.7	200	226
10"	5425.xxx.IDJ0	Half Dummy	3.3	100	113
10"	5425.xxx.PSJO	Passage: 2-3/8" backset	5.2	221	252
10"	5425.xxx.PVJO	Privacy: 2-3/8" backset	5.2	221	252
10"	5426.xxx.PSJO	Passage: 2-3/4" backset	5.2	221	252
10"	5426.xxx.PVJO	Privacy: 2-3/4" backset	5.2	221	252
10"	RS54.xxx.PSJO	10" Passage Roses Only (pair)	2.2	142	163
10"	RS54.xxx.PVJO	10" Privacy Roses Only (pair)	2.2	142	163

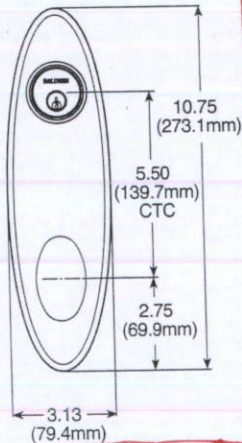
Egg knob w/ Oval rose
DEADBOLT WITH ESCUTCHEON



5425.xxx.D1JO



- Now available -
E1JO Interconnect
UL & UL/c



Approx. Size	Item #	Function	Wt.	031, 050, 102, 112, 150, 151, 190, 260, 264	003, 055, 056, 402, 412, 452
10"	5425.xxx.D1JO	Single Cyl. Ddblt: 2-3/8" backset*	5.6	\$315	325
10"	5425.xxx.D2JO	Double Cyl. Ddblt: 2-3/8" backset*	5.9	331	340
10"	5425.xxx.E1JO	Interconnect w/ adjustable backset		440	450
10"	5426.xxx.D1JO	Single Cyl. Ddblt: 2-3/4" backset*	5.7	315	325
10"	5426.xxx.D2JO	Double Cyl. Ddblt: 2-3/4" backset*	6.0	331	340

*Not available with adjustable backset latch. Please order based on required backset

To order with lever, please refer to our 3-step process on pg 6.

#4 JOY SERVANT ENTRY -
IN POLISHED BRASS

HAND CRAFTED

BALDWIN

SINCE 1946

Products Accessories Estate Door Accessories **0017.003**

LETTER BOX PLATES

MODEL #:0017.003

AVAILABLE FINISHES



Shown: Lifetime Polished Brass

FEATURES



[Click Image to Zoom](#)

[Enlarge Image](#)

[Product Highlights](#)

[Technical Information](#)

[Warranty](#)

[Related Products](#)

Letter Box Plates, 10" x 3"

Designed for use on exposed doors to prevent wind from forcing rain and snow through the slot

Very large opening will accommodate small packages

Bronze spring keeps flap tightly closed at all times

Hinging back plate provides additional privacy and decorative appearance.

Not suitable for vertical installation

CRAFTSMANSHIP

The tradition of craftsmanship and commitment to quality run deep at Baldwin. Since 1946, skilled artisans have forged Baldwin Estate hardware by hand, meticulously operating forges and hand-polishing each intricate knob, lever, and handleset. We still use time-tested techniques, such as heat forging, metal plating, and hand polishing. While many hardware manufacturers use the casting technique, Baldwin uses forging to create the flawless look that when polished, will

MAIL ENTRANCE
MAIL SLOT



V1996 Kickplates

V-PAC

8" x 34", Brass

Stock # N244-079

Finish:



Selected: Brass

Size:

8" x 30"

8" x 34"

*Not all sizes are available in all finishes.

[+ ADD TO PROJECT LIST](#)

[WHERE TO BUY »](#)

Product Overview

- Plate is easy to install
- Plastic cover protects finish during installation
- Includes fasteners
- Aluminum material
- Anodized surface for extra durability



Home Designs

A variety of knobs, pulls, cabinet catches and hinges designed to add the final detail to any kitchen or bathroom.

Package Specifications

V-PAC

Stock #	N244-079
Catalog #	V1996
Material	Aluminum
UPC	038613244078
Quantity Per Package	1
Quantity Per Box	2 PK

Documents



Technical Drawing



IMAGE Line Art

Related Products

MAINS ENTRANCE
DOOR KICK PLATE



GAF

English Gray

Friendly and inviting, this strong neutral hue is one of the most versatile colors for home exteriors.



FIBERGLAS SHINGLES @ REAR ROOF



The bottom third of the page is a white area containing faint, illegible text. The text is too light to be read and appears to be a standard document layout with multiple lines of text. There are some very faint horizontal lines visible, possibly indicating a table or list structure, but the content is completely unreadable.

PRODUCT INFORMATION SHEET

Slateline® Shingles

"The Look of Slate At A Fraction Of The Cost"



PRODUCT INFORMATION

"Slateline's bold shadow lines and tapered cut-outs create the appearance of depth and dimension."

Slateline® Lifetime Designer Shingles Offer You These Great Benefits:

- **Affordable Luxury** . . . Slateline® Shingles are only a fraction of the cost of traditional slate or wood shakes
- **Sophisticated Design** . . . Artisan-crafted shapes combined with a dimensional design result in a sophisticated beauty unmatched by typical shingles
- **Custom Color Palette** . . . Specially formulated color palette is designed to accentuate the shingle's natural appeal
- **High Performance** . . . Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/aps to learn more)
- **StainGuard® Protection** . . . Helps ensure the beauty of your roof against unsightly blue-green algae
- **Highest Fire Rating** . . . Class A fire rating from Underwriters Laboratories
- **Stays In Place** . . . Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)!†
- **The Ultimate Peace Of Mind** . . . Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years
- **Perfect Finishing Touch** . . . For the best look, use Timbertex® Premium Ridge Cap Shingles with StainGuard® protection

†This wind speed coverage requires special installation; see *GAF Shingle & Accessory Ltd. Warranty* for details.

See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions. The word "Lifetime" means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

COLORS/AVAILABILITY

- **COLORS:** Antique Slate, Emerald Green, English Gray, Royal Slate, and Weathered Slate
- **REGIONAL AVAILABILITY:** Northeast, Southeast, Southwest, and Central Areas

APPLICABLE STANDARDS & PROTOCOLS

- UL 790, Class A
- Dade County Approved 13-1104.08
- Florida Building Code Approved FL10124-R12
- UL 997 modified to 110 mph
- ASTM D7158, Class H
- ASTM D3161, Class F
- ASTM D3018, Type 1
- ASTM D3462
- ICC Evaluation Services ESR-1475
- ICC Evaluation Services ESR-3267***
- Texas Department of Insurance
- CSA A123.5-98

Effective 7/1/08, existing NYC MEA's may be used but are no longer required.

***Obtained ESR 3267 evaluation from ICC Evaluation Services based on compliance with the requirements of AC438, an acceptance criteria established by ICC Evaluation Services to evaluate asphalt shingles that contains performance tests in addition to those required by the building code. (ICC Evaluation Services provides technical evaluations of building products that directly address the issue of code compliance. Building inspectors use these evaluation reports to help determine code compliance and enforce building regulations.)

PRODUCT/SYSTEM SPECIFICS††

- Fiberglass Asphalt Construction
- Dimensions (approx): 17" x 40"
- Exposure: 7.5"
- Bundles/Square: 3
- Pieces/Square: 48
- Nails/Square: 288
- StainGuard® Protection: Yes
- Hip/Ridge: Timbertex®
- Starter: WeatherBlocker™

††Refer to complete application instructions.

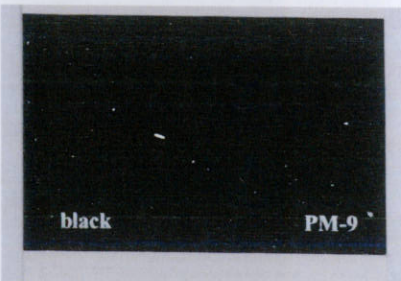
INSTALLATION

Detailed instructions are provided on the inside of each bundle wrapper of Stateline® shingles. Application sheets may also be obtained at www.gaf.com.

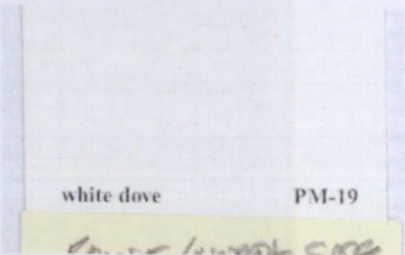
BENJAMIN MOORE CLASSIC PAINT COLORS



DOORS @ JOY STREET ELEVATION
ESSEX GREEN PM-11



IRON WORK FRONT/REAR, AND
WINDOWS & DOORS @ REAR ELEVATION
BLACK PM-9



WINDOWS & TRIM @ FRONT & NORTH ELEVATIONS,
REAR TRIM AND SIDING
WHITE DOVE PM-19

MIMIC

Trowel applied,
color matched,
single component repair mortar
for natural stone,
cast stone and terracotta.

WHERE TO USE
Repair and reconstruct
brownstone, sandstone,
limestone, cast stone,
terracotta and concrete.

PERFORMANCE CHARACTERISTICS

- **Low shrinkage**
- Maintains integrity of repair, resists cracking.
- **Thermal compatibility**
- Prevents delamination due to temperature change.
- **Durable**
- Resistant to weathering action, excellent freeze/thaw stability and abrasion resistance.
- **Very low permeability**
- Resistant to deicing salts, chloride, and chemical attack, and environmental pollution.
- **Breathability**
- Will not cause damage to structure by restricting moisture vapor flow.
- **Shaveable**
- Recreate sharp edges and architectural details.
- **Single component**
- Easy to batch in less than full pail quantities.
- **Extensive color spectrum**
- Available in 19 standard colors and factory color matching.

SURFACE PREPARATION

- Remove loose and deteriorated material, laitance, dirt, dust, oil and any surface contaminants that will inhibit proper bond.
- Saw cut edges with a diamond blade at a 90° angle to eliminate feather edging. Avoid polishing the edges, as this will inhibit bond.
- Avoid bruising or micro cracking during surface preparation. Refer to ICRI Surface Preparation Guide 03732.
- Repair zone must be a minimum of 1/2 inch deep, of simple geometry, with no complex edge conditions.
- Avoid long narrow repairs; these have a greater tendency to crack.

- Apply *Conpro Start* where a consolidant is of benefit.
- Saturate substrate with clean water, (saturated surface dry/SSD), with no standing water during *Priming* or *Application*.
- Remove concrete from corroded steel and several inches beyond to expose non-corroded steel.
- Provide a 3/4 inch clearance between the concrete and steel.
- Damaged reinforcing steel should be inspected by a qualified engineer and appropriate action taken.

PRIMING

Stone, Terracotta and Concrete

- Prime the prepared substrate including all edges with a bond coat of *MIMIC*. Work the bond coat into the substrate to ensure intimate contact and establish bond. The repair material must be applied while bond coat is wet. If the bond coat dries, remove and recoat.

Embedded Metal and Steel

- Remove all scaling rust from embedded metal and steel.
- Apply *ECB* anti-corrosion coating.

MIXING

- Mechanically mix using a low speed drill (400 - 600 rpm) and mixing paddle or mortar mixer.
- Pour 2-1/2 quarts of potable water into a clean mixing vessel and slowly add all of the powder.
- Mix continuously for 3 minutes to a uniform, lump-free consistency.
- Add up to 1 pint of additional water if needed.
- Additional water will affect final color. For multiple batches do not vary the water addition rate.
- Mix only as much material as can be placed in 15 - 20 minutes.
- Do not over mix, as this will entrain excess air.
- Do not re-temper, this can affect color.

APPLICATION

- At the time of application, surfaces should be saturated surface dry (SSD) but hold no standing water.
- Follow instructions for *Priming*.
- Force the material against the edges of the repair, working toward the center.
- Material may be applied in multiple lifts of not less than 1/2 inch and no greater than 2 inches.
- Consolidate each lift and allow to stiffen to thumb-print hard before continuing.
- Scratch (cross-hatch) each lift to prepare surface for subsequent lift.
- Over-build final lift by 1/4 inch.
- Shave to final form with trowel edge up to 2 hours after application.
- Do not overwork the finish.
- Finishing techniques and the age of the material when shaved will have a significant affect on the appearance of the color.

CURING

- Keep damp with a fine mist of water for 24 hours. Refer to ACI 308R-01 for detailed curing recommendations. If repair is inaccessible, tape polyethylene over area to retain moisture. Do not allow polyethylene to contact material.
- Protect repair from direct sunlight, wind, rain and frost during curing period.

CLEAN UP

- Clean tools and equipment with water immediately after use. Cured material must be removed mechanically.

MIMIC

THEORETICAL YIELD

Yield per Pail	Repair Depth	Square Feet
0.42 cubic feet	1/2 Inch	10.08
0.42 cubic feet	1 Inch	5.04
0.42 cubic feet	1.5 Inches	3.36
0.42 cubic feet	2 Inches	2.52

PRODUCT HANDLING

Packaging

- 50 lbs. plastic pails.

Shelf Life

- 18 months when properly stored.

Storage

- Transport and store in cool, clean, dry conditions in unopened containers.
- High temperature or high humidity will reduce shelf life.

LIMITATIONS

- Do not apply unless substrate and ambient temperature can be maintained at a minimum of 40°F for 24 hours. Refer to ACI Cold Weather Application Guidelines.
- Cold mixing water and low temperature will retard set. Hot water and high temperature will accelerate set.
- Protect application from precipitation and high wind for at least 24 hours.
- Do not add more water than specified – this will affect color and weaken material.
- Do not re-temper, as this will affect color.
- Avoid overworking material during placement as this will affect color and cause surface checking.
- Do not allow polyethylene or burlene to touch surface while curing as this will cause whitening of the material.

HEALTH AND SAFETY

- Product is alkaline.
- Do not ingest.
- Avoid breathing dust.
- Avoid contact with skin and eyes.
- Refer to Material Safety Data Sheet (MSDS) for additional information.

FIRST AID

- In case of skin contact, wash thoroughly with soap and water.
- For eye contact, flush immediately with a high volume of water for at least 15 minutes and contact a medical professional.
- For respiratory problems, remove person to fresh air.

DISPOSAL

- Dispose of material in accordance with local, state or federal regulations.

TECHNICAL DATA

Physical state and appearance		Dry, pigmented powder		
Base		Portland cement		
pH	Wet mix	>12		
Water/dry material ratio		0.12		
Water/cement ratio		0.50		
Dry bulk density	ASTM C188	93 lbs./ft. ³		
Setting time by vicat needle	ASTM C191	Initial 30 minutes – Final 120 minutes		
Water vapor transmission	ASTM E96	5.7 perms		
Length change	ASTM C157	500 µstrains @ 28 days		
Slant shear bond strength – epoxy	ASTM C882	1250 psi		
		7 Days	14 Days	28 Days
Compressive strength* – psi	ASTM C109	3100	3400	3850
Tensile strength – psi	ASTM C307	250	475	530
Volatile Organic Compounds – VOC	Actual	0 g/L		

*Data presented applies to non-pigmented base material where noted.

FOR PROFESSIONAL USE ONLY

Conproco Corp. warrants this product for one year from date of installation to be free from manufacturing defects and to meet the technical properties on the current technical data sheet if used as directed within shelf life. User determines suitability of product for use and assumes all risks. Buyer's sole remedy shall be limited to the purchase price or replacement of product exclusive of labor or cost of labor. September 2015.

NO OTHER WARRANTIES EXPRESS OR IMPLIED SHALL APPLY INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. CONPROCO CORP. SHALL NOT BE LIABLE UNDER ANY LEGAL THEORY FOR SPECIAL OR CONSEQUENTIAL DAMAGES.

conproco
CORPORATION

17 PRODUCTION DRIVE, DOVER, NEW HAMPSHIRE 03820
TELEPHONE 800.258.3500 • FAX 603.743.5744 • WEB ADDRESS www.conproco.com

SECTION 04500

MASONRY RESTORATION AND CLEANING

PART 1 GENERAL

1.01 RELATED DOCUMENTS

A. Drawings and general provisions of contract, including general and supplementary conditions and Division-1 specifications sections, apply to work of this section.

1.02 DESCRIPTION OF WORK

- A. Extent of masonry restoration work is indicated on drawings and in schedules.
- B. Masonry Restoration Work Includes the Following:
 - 1. Chemical cleaning of exposed exterior masonry surfaces.
 - 2. Repairing and rebuilding damaged stonework.
 - 3. Stonework restoration.
 - 4. Re-pointing of masonry joints as required.

NOTE: The chemical cleaning of exterior surfaces should be accomplished before new windows are installed.

- C. Masonry construction is specified in other Division 4 sections.
- D. Joint sealers are specified in a Division 7 section.

1.03 QUALITY ASSURANCE

A. Restoration Specialist: Work must be performed by a firm with not less than 5 years successful experience in masonry restoration projects employing skilled personnel for execution of the work.

- B. Job Mock-Ups: Prior to start of general masonry restoration, conduct the following procedures. Obtain Architect's acceptance of visual qualities before proceeding with the work.
 - 1. Cleaning: Prepare a 4 ft. by 6 ft. sample area on the building where directed by architect, showing materials and methods to be used for cleaning exterior masonry surfaces.

2. Re-pointing: Prepare a 4 ft. by 6 ft. sample area on the building where directed by architect, showing routing and repointing including mortar, type of joint, and workmanship for masonry in project.

3. Stonework Restoration: Prepare a 2' x 2' sample area on the building, where directed by Architect for stonework restoration. Use anchorage, bonding, mortar and workmanship expected in completed work. The restoration patching mix shall match the existing brownstone in texture and color. Acceptable panel shall be used as a standard for judging completed work.

C. Source of Materials: Obtain materials for masonry restoration from a single source for each type material required (face brick, cement, sand, etc.) to ensure match quality, color, pattern, and texture.

1.04 SUBMITTALS:

A. Product Data: Submit manufacturer's specifications and other data for each manufactured product, including certification that each product complies with specified requirements. Include instructions for handling, storage, installation and protection of each product.

B. Samples: Sample areas shall be used to exhibit the cleaning performance of the restoration cleaner on brick work. Test areas shall be selected by Architect and shall be approximately 20 sq. ft. Multiple tests of varying concentrations shall determine composition of cleaning solution required. Provide written certification by manufacturer that restoration cleaner is compatible with brownstone.

1.05 DELIVERY, STORAGE AND HANDLING

A. Protect masonry materials during storage and construction from wetting by rain, snow or ground water, and from staining or intermixture with earth or other types of materials.

B. Protect grout and mortar materials from deterioration by moisture and temperature. Store in a dry location or in waterproof containers tightly closed and away from open flames. Protect liquid components from freezing. Comply with manufacturer's recommendations for minimum and maximum temperature requirements for storage.

1.06 JOB CONDITIONS

A. Materials Protection: Do not use metal reinforcing or ties having loose rust or other coatings, including ice, which will reduce or destroy bond.

B. Protection of Work: During restoration cover wall with heavy waterproof sheeting at end of each day's work, if precipitation is expected.

- C. Staining: Prevent grout or mortar from staining face of masonry to be left exposed. Remove immediately grout or mortar in contact with masonry.
- D. Protect sills, ledges and projections from droppings of mortar.
- E. Cold Weather Protection:
 - 1. Remove ice or snow formed on masonry bed by carefully applying heat until top surface is dry to the touch.
 - 2. Remove masonry determined to be frozen or damaged by freezing conditions.
- F. Perform the following construction procedures while the work is in progress:
 - 1. When air temperature is from 40 deg. F (4 C) to 32 Deg. F (0 C), heat sand or mixing water to produce mortar temperatures between 40 deg. F (4 C) and 120 deg. F (49 C).
 - 2. When air temperature is below freezing, do not undertake tuckpointing or stone restoration.
- G. Perform the following protections for completed masonry and masonry not being worked on:
 - 1. Protect masonry from rain or snow for at least 24 hours by covering with water-resistive membrane.

PART 2 PRODUCTS

2.01 BRICK:

- A. Rebuild and/or repair existing masonry to be exposed, using bricks salvaged from selective demolition or new bricks to match existing.

2.02 MORTAR MATERIALS

- A. Mortar for Face Brick and Accessories: Provide mortar for face brick and accessories to match original mortar in texture, color, strength, and hardness (density and porosity).
 - 1. Determining existing mortar mix constituents and ratios by analysis. Review laboratory evaluations with Architect before proceeding with the work.
 - 2. Match color of existing mortar by use of aggregates matching original aggregate color where possible. Use inorganic coloring pigments if satisfactory color match cannot be attained with natural materials.
 - 3. Mortar mix to be in accordance with New York City Landmarks Preservation Commission Row House Manual – page 44 – 1 part Portland cement, 2 parts lime, 8 parts sand – mix, then add pigments and water- (Type O).

2.03 MASONRY CLEANING (BRICKWORK)

- A. A sample patch of cleaning must be reviewed and approved by architect before work is begun.
- B. Cleaning Agent: Blended organic and inorganic acids combined with special wetting systems and inhibitors; as manufactured by ProSoCo, Inc., Type 1 Restoration cleaner – or approved equal for the removal of atmospheric carbon and dirt, paint oxidation, and embedded clay and mud stains from brick and other masonry surfaces.

2.04 RESTORATION MATERIALS

- A. Epoxy Mortar: Conproco “mimic” trowel applied color matched, or approved equal.
- B. Primer: Conproco “mimic” bonding agent or approved equal.
- C. Stone Restoration Mix: Mix as per mortar manufacture’s recommendations.

PART 3 EXECUTION

3.01 CLEANING EXISTING MASONRY:

A. Preparation of Surfaces: Cleaners specified herein are highly concentrated products, and to the extent established by job site tests, shall be diluted with clean water before application.

1. Cleaners specified herein are harmful to glass, aluminum, painted, surfaces, foliage, and human skin and eyes.
2. Protect all surrounding areas as recommended by the literature of the manufacturer and as requested by the architect.
3. Windows shall be protected from contact with materials by masking with polyethylene, or by using Sure Klean Acid Stop, as manufactured by ProSoCo, Inc. South Plainfield, NJ or approved equal.
4. All polished stone, metal or non-masonry surfaces shall be protected from contact with the material by masking with polyethylene or approved protective material.
5. Adjacent shrubs, lawn, plants and sidewalks should be covered with polyethylene and protected from direct contact with the material.
6. Necessary routing of joints and replacement of damaged masonry units shall have been completed, with exception of final pointing, prior to beginning cleaning operation.
7. Adequate water supply shall be made available to assure thorough pre-soaking and thorough rinsing of the wall before undertaking general cleaning. All surfaces shall be thoroughly pre-soaked with clean water to prevent the absorption of the cleaning solution within the pores of the masonry.

- B. Cleaning Process: Brick, unpolished granite, sandstone, terra cotta and/or exposed aggregate shall be spray or brush coated with Type I restoration cleaner, and left on the surface two or three minutes. A second application shall follow if deemed necessary by preliminary tests. Coated area shall then be rinsed from bottom up with clear water using high pressure rinsing equipment. Equipment shall be adjusted so that rinse water, either warm or cold, is applied at a pressure not to exceed 500 P.S.I. Attempts shall be made during the testing stage to determine if effective cleaning can be achieved with rinse water applied at pressures not to exceed 500 P.S.I. Flow of water shall be 10 gallons per minute. Gun used to apply water shall be equipped with not less than a 15" spray tip. All tips shall be fan type.

3.02 REPAIRING EXISTING MASONRY

- A. Routing of Joints: Remove defective mortar joints to solid material or a depth of 1.0" whichever is greater, using hand tools. Take care to avoid damaging existing masonry or enlarging width of joints.
1. A sample of pointing must be reviewed and approved by architect before work is begun.
 2. Mechanical tools will be permitted only on specific written approval of architect and demonstrated ability by operators to use without damage to masonry.
 3. Remove and repair damage to existing masonry by cutting, spalling and chipping as caused by routing operations.
 4. Thoroughly remove loose material from joints using a hose stream under normal pressure or by low pressure compressed air.
- B. Mortar Mixing: Add only enough water to dry mix ingredients to produce a damp, workable mix. Keep mortar in dampened condition for 1 to 2 hours, and then add sufficient to bring it to proper consistency.
- C. Replacing Brick: Lay brick and accessories to match existing bond, unless otherwise indicated.
1. Match existing course height (one brick and one joint) for both face brick and back-up brick.
 2. Provide bonding between face brick and back-up brick as indicated.
 3. Provide joints to match existing, unless otherwise indicated. Delay final tooling of joints until mortar is thumb print hard. Take care to not spread mortar over the edges of face brick onto exposed surfaces.
 4. Wet brick before laying. Do not use brick which are saturated with water, or which have been unduly exposed to moisture or rain at site, or which have been in contact with ground.
 5. Lay brick with completely filled bed and head joints; butter ends with sufficient mortar to fill head joints and shove into place. Do not slush head joints. Do not furrow bed joint; strike mortar flat with trowel.

6. Lay up brickwork with full or half brick, as required. Do not fill in concealed work with spalls, small bats, or excess mortar.
7. Lay up brickwork level and plumb, or as otherwise required to match existing.

D. Re-pointing:

1. After careful routing and cleaning joints, wet joints thoroughly and then apply fresh, pre-hydrated mortar. Allow water to soak into joints, but joints should not be visibly wet with standing water during tuckpointing.
2. Fill mortar joints in layers not over 1/4" thick, with each layer applied with pressure as soon as previous layer has partially dried. Do not tool each layer smooth: Leave surface rough to help bond of subsequent layers. Compress the final packing as much as possible to completely fill joint. Compact joints solidly before final tooling.
3. Tool joints to match existing work which has not been repointed, or oldest joints found, unless otherwise indicated. Take care to not spread mortar over edges of brick onto exposed surfaces. Do not featheredge mortar. Cure mortar by maintaining in a damp condition for 5 days.

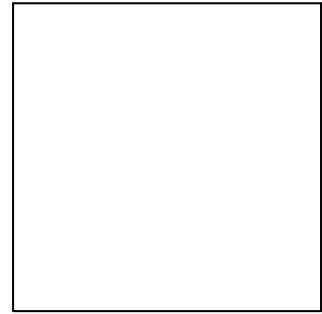
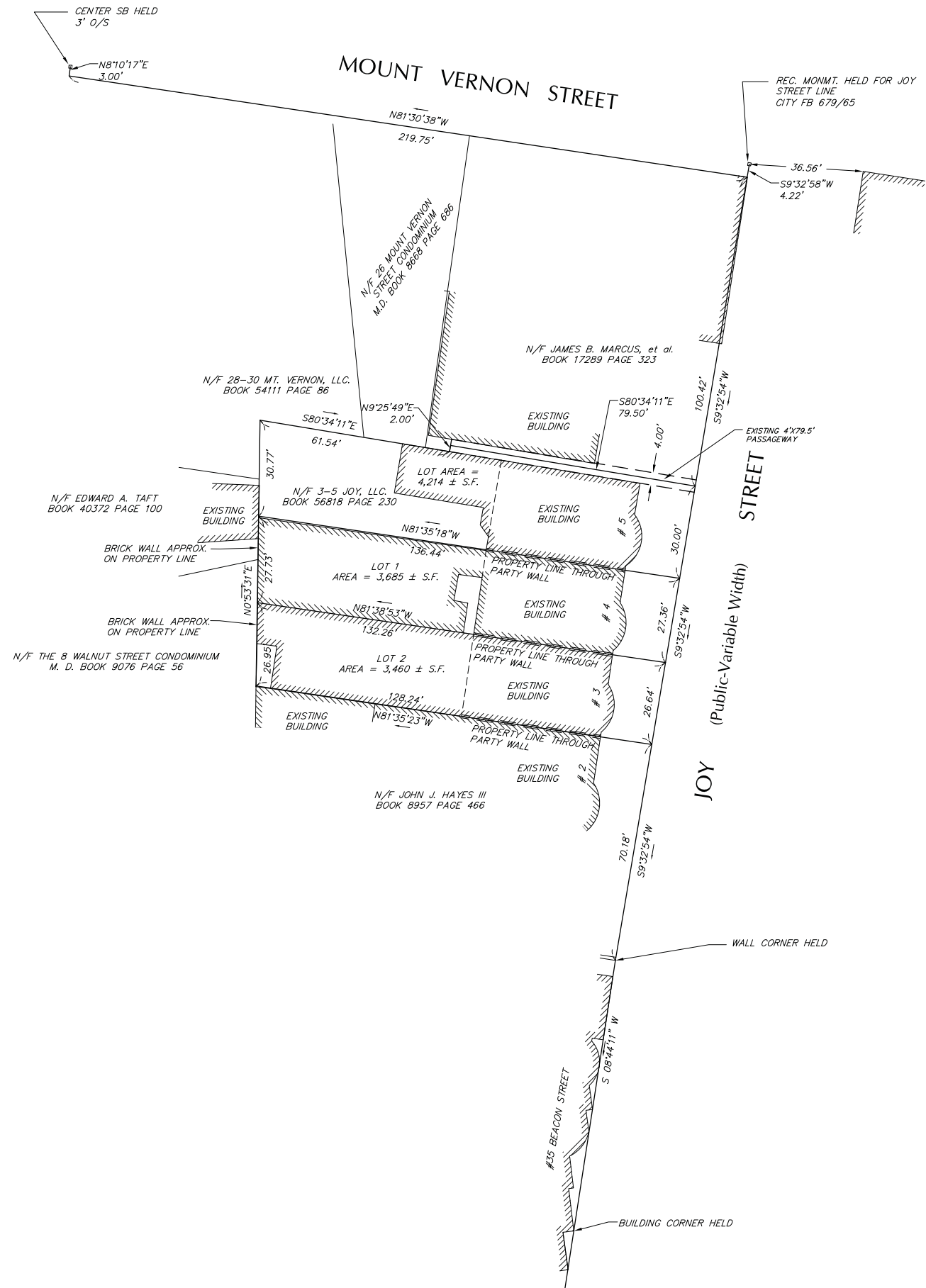
3.03 FINAL CLEANING

- A. All mortar to fully harden for approximately 30 days after completion of work, then thoroughly clean exposed masonry surfaces of excess mortar and foreign matter using stiff nylon or bristle brushes and clean water under normal pressure.
1. Use of metal scrapers or brushes will not be permitted.
 2. Use of acid or alkali cleaning agents will not be permitted.

3.04 STONE RESTORATION-PATCH METHOD

- A. Carefully remove loose and friable stone, dust, dirt, oil and other contaminants.
- B. Saw cut edges with a diamond blade at a 90 degree angle to eliminate feather edges. Repair zone must be 1/2" deep min.
- C. Saturate surface of stone to be repaired.
- D. Prime the prepared substrate in accordance with manufacturers instructions, while wet.
- E. Mix mortar patch in accordance with mortar manufacturers instructions.
- F. Apply materials in lifts, 1/2" minimum, 2: maximum, forcing materials against edges.
- G. Cross hatch scratch each lift to prepare surface for next lift.
- H. Overbuild 1/4", and shave to final form with trowel edge.
- I. Entire method to be performed in accordance with manufacturers detailed instructions.

- END OF SECTION -



I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS

 CLAUDIO SALA, PLS DATE

PLAN REFERENCES:
 SUFFOLK COUNTY REGISTRY OF DEEDS
 PLAN BOOK 24068 PAGE END
 PLAN BOOK 7646 PAGE 552
 PLAN BOOK 7775 PAGE END
 PLAN BOOK 9076 PAGE 56
 PLAN BOOK 5350 PAGE 210
 PLAN BOOK 7274 PAGE 245
 BOSTON ENGINEERING RECORDS
 BOSTON FIELD BOOK 596 PAGE 52-55
 BOSTON FIELD BOOK 679 PAGE 64-65



**DeCELLE
 & Associates, Inc.**
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)

GENERAL NOTES:
 1. LOCUS:
 ASSESSORS: WARD 5, PARCEL 1600
 WARD 5, PARCEL 1601
 RECORD OWNER: 3-5 JOY LLC
 DEED REFERENCE: BOOK 56818 PAGE 224
 BOOK 56818 PAGE 227
 BOOK 56818 PAGE 230
 PLAN REFERENCE: N/A
 2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN OCTOBER AND NOVEMBER 2016.
 3. THE PURPOSE OF THIS PLAN IS TO RE-ESTABLISH THE LOT LINE FORMERLY REMOVED BETWEEN #3 AND #4 JOY STREET.
 4. NO DETERMINATION OF ZONING COMPLIANCE IS INTENDED OR IMPLIED BY THIS PLAN.

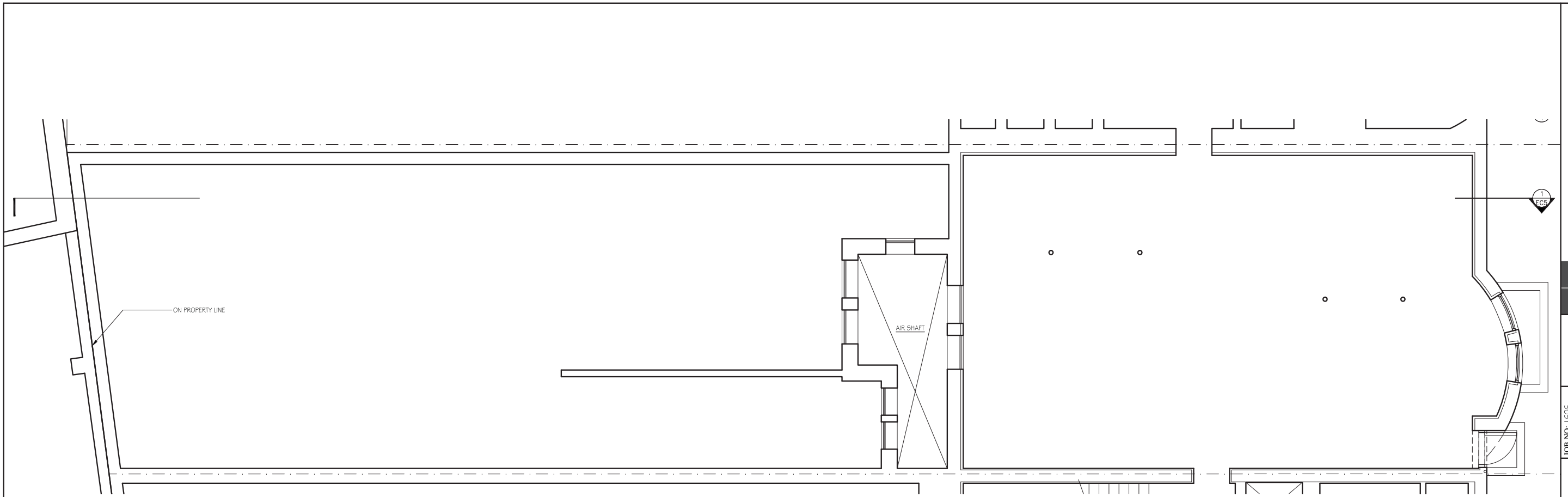
PROJECT TITLE & LOCATION:
 PLAN OF LAND
 3-4 JOY STREET
 BOSTON, MA

PLAN TITLE:
 SUBDIVISION PLAN

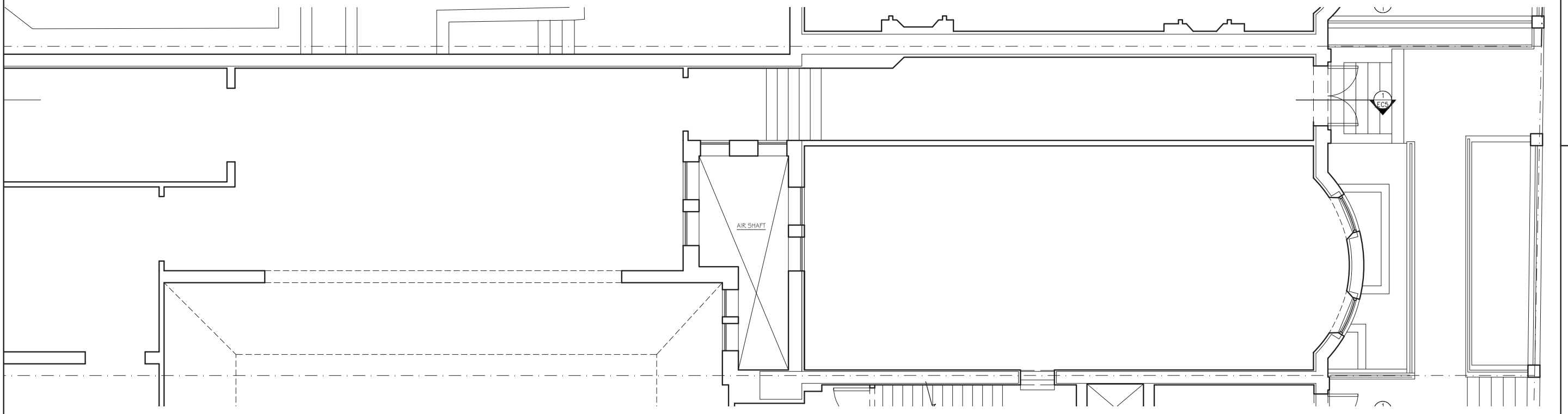
PREPARED FOR:
 BRIAN GATNIK
 3-5 JOY LLC
 60 ADAMS STREET, 3RD FLOOR
 MILTON, MA 02186

DATE: DECEMBER 9, 2016
 REVISED:

JOB NUMBER: 16,051 SHEET 1 OF 1
 SCALE: 1"=20'



EXISTING GARDEN FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

46 Waltham Street, Suite 3A
Boston, MA 02118
Phone 617-956-9992
Fax 617-956-9993

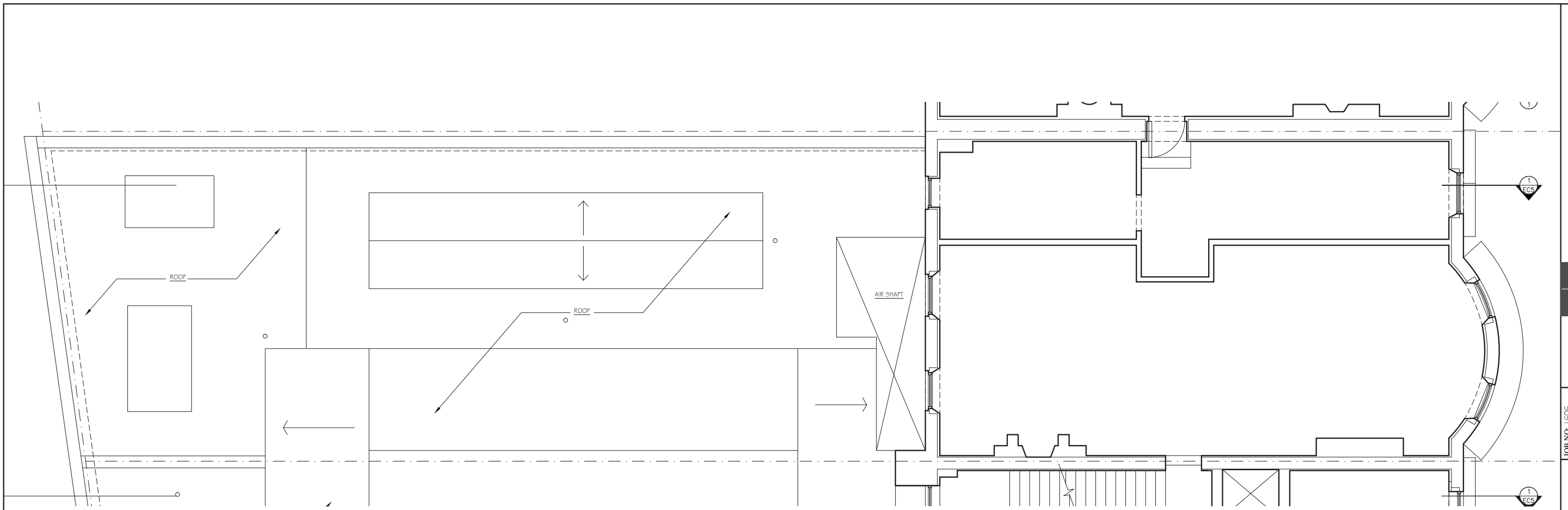
G | GRASSI DESIGN GROUP
B | G BEAUCHEMIN GRASSI INTERIORS

JOB NO.: EG06
SCALE: 1/4"=1'-0"
DATE: 02.10.17
REVISED

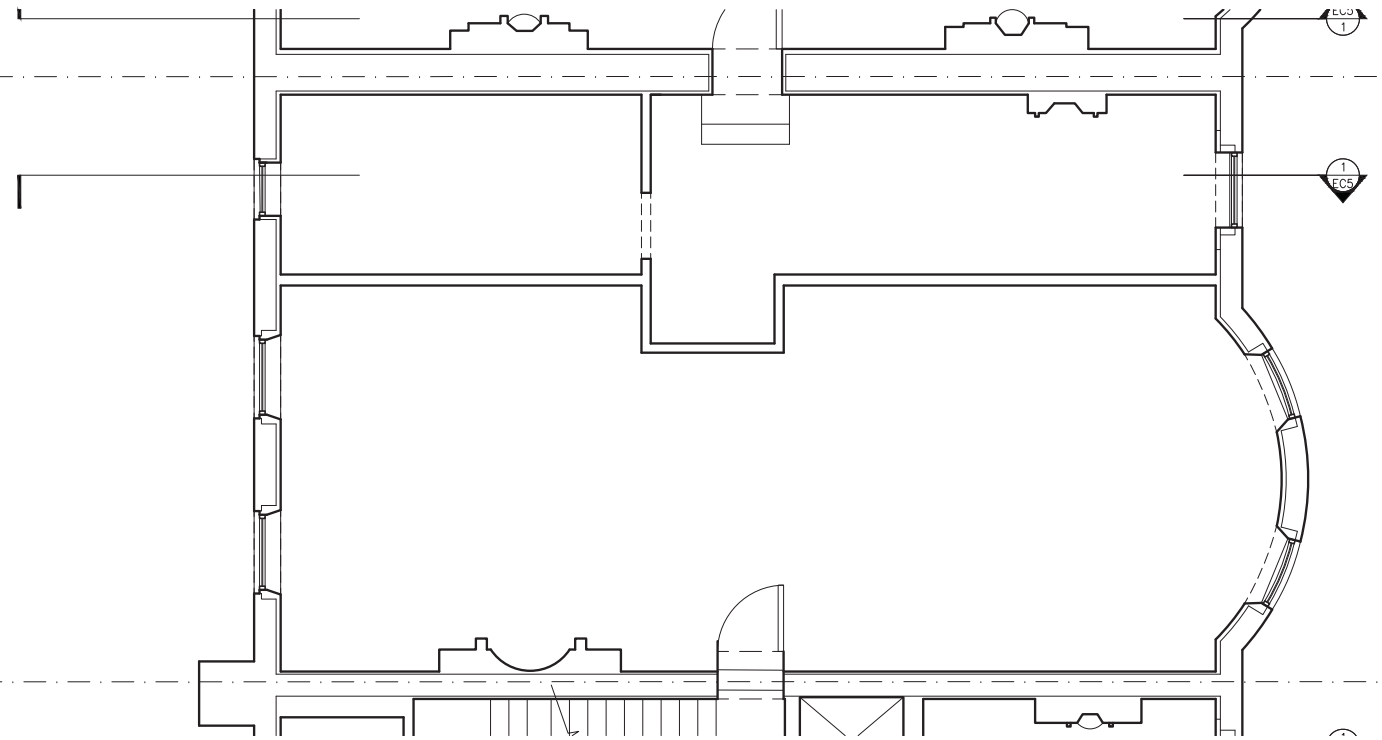
4 JOY STREET
BOSTON, MA

EXISTING GARDEN AND
FIRST FLOOR PLAN

EC-1



EXISTING SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

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Boston, MA 02118
Phone 617-956-9992
Fax 917-956-9993

G | D GRASSI DESIGN GROUP

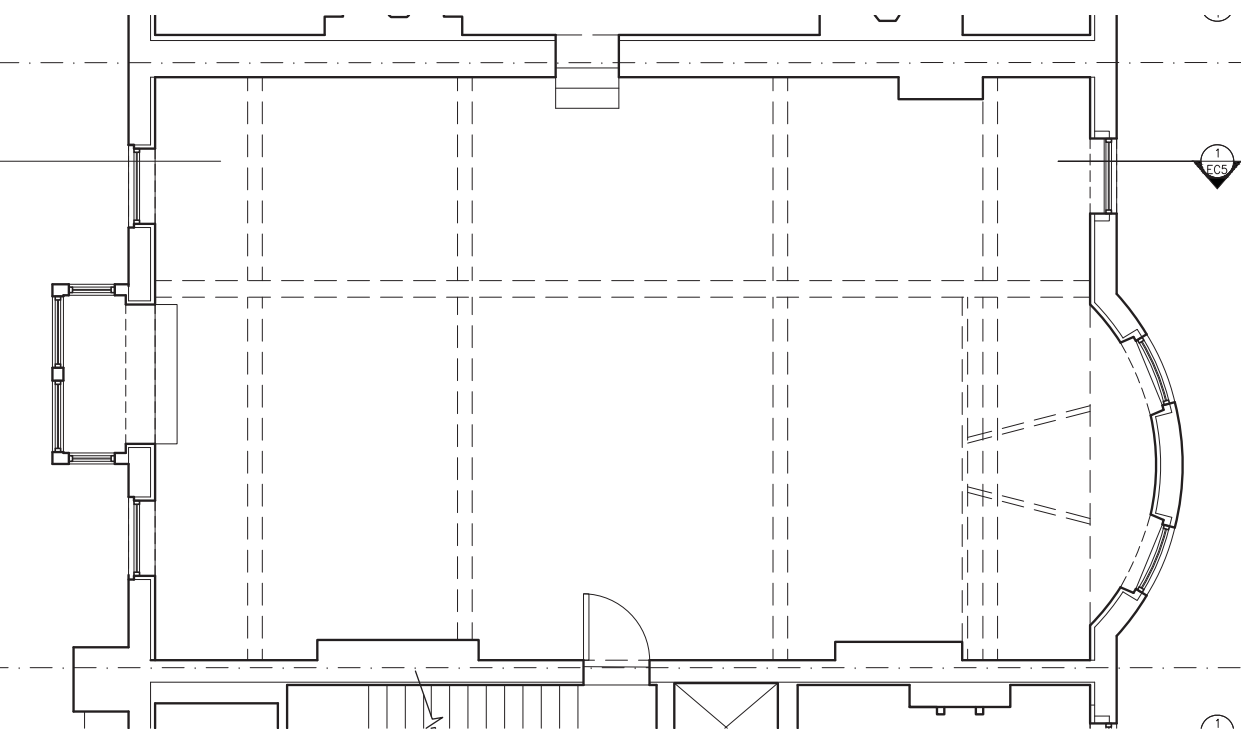
B | G BEAUCHEMIN GRASSI INTERIORS

JOB NO: 1606
SCALE: 1/4"=1'-0"
DATE: 02.10.17
REVISED

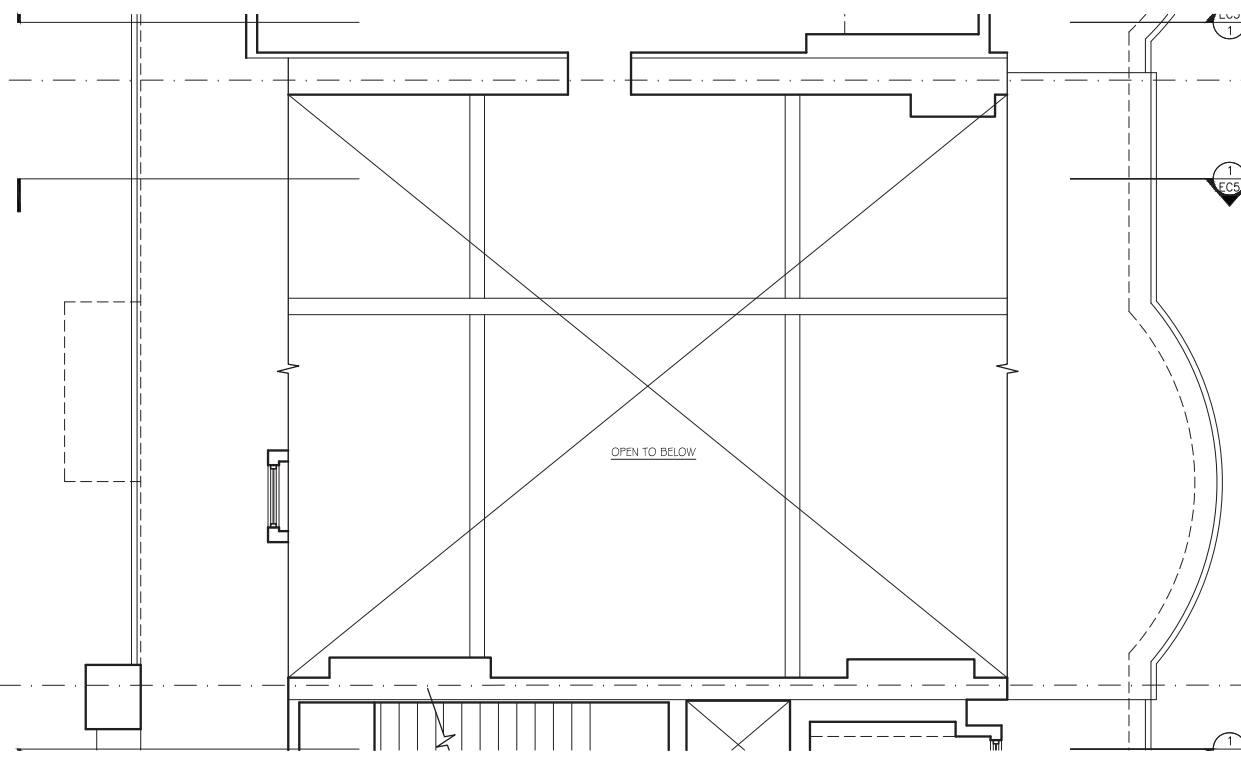
4 JOY STREET
BOSTON, MA

EXISTING SECOND AND
THIRD FLOOR PLAN

EC-2



EXISTING FOURTH FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING FIFTH FLOOR PLAN
SCALE: 1/4"=1'-0"

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Fax 917-956-9993

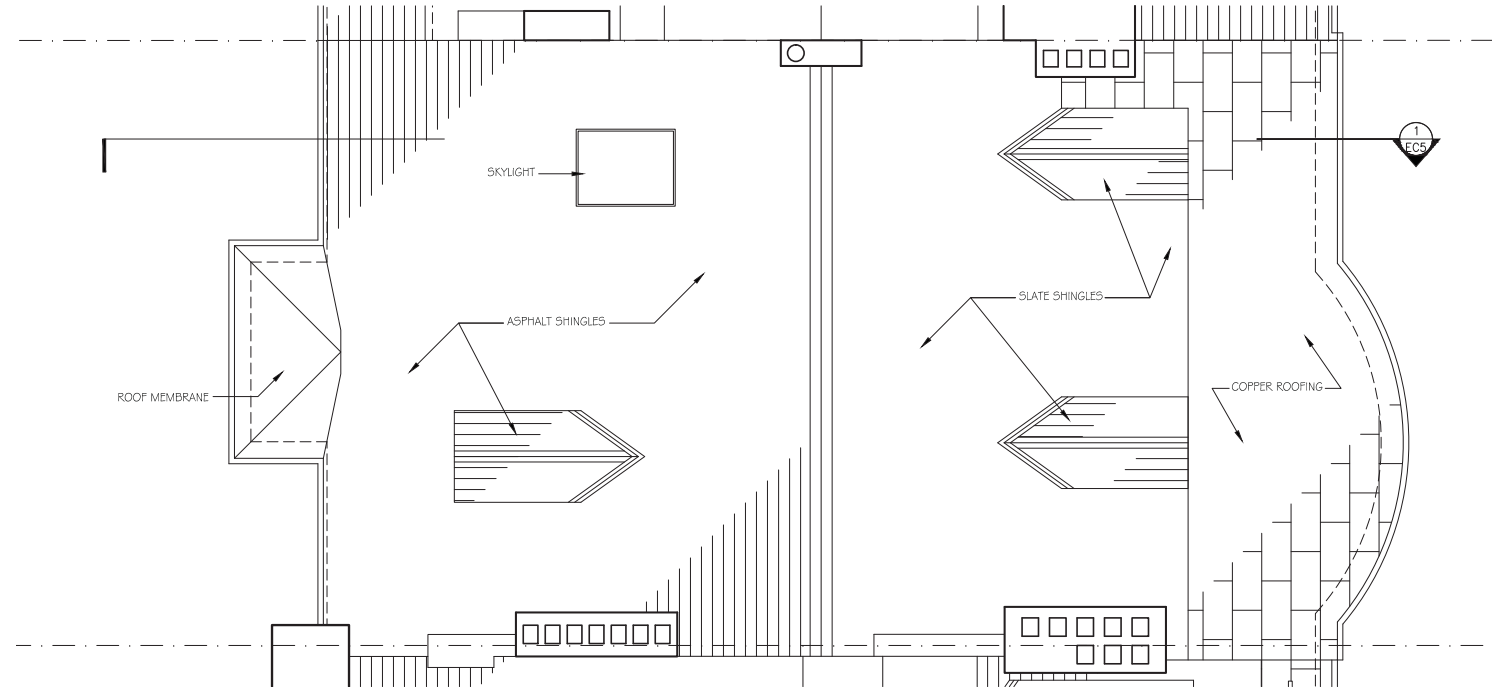
G | D GRASSI DESIGN GROUP
B | G BEAUCHEMIN GRASSI INTERIORS

JOB NO: 1606	SCALE: 1/4"=1'-0"
DATE: 02.10.17	REVISED

4 JOY STREET
BOSTON, MA

EXISTING FOURTH AND
FIFTH FLOOR PLAN

EC-3



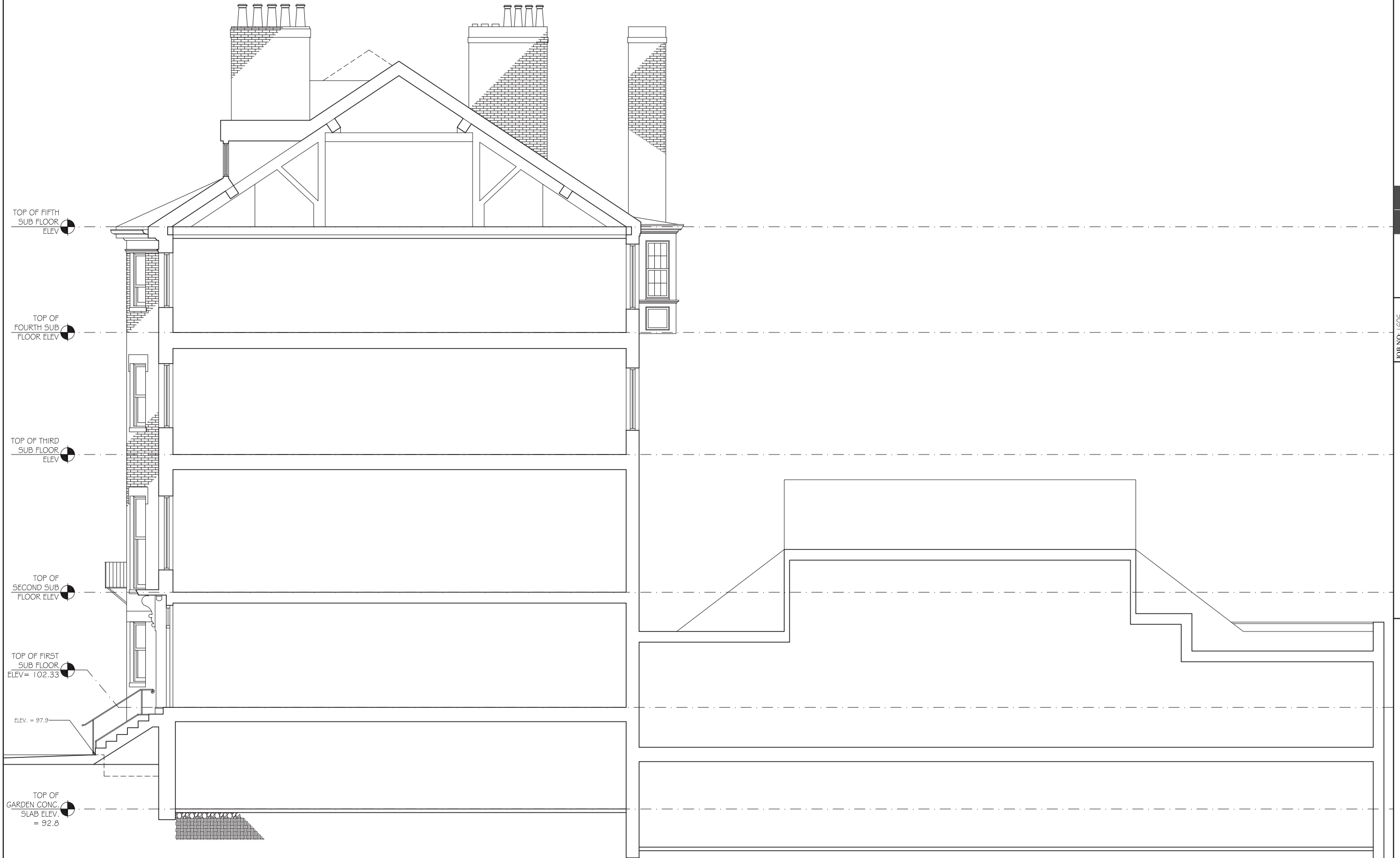
EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"

JOB NO: 1606	SCALE: 1/4"=1'-0"
DATE: 02.10.17	REVISED



GRASSI DESIGN GROUP
BEAUCHEMIN GRASSI INTERIORS

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4 JOY STREET - EXISTING BUILDING SECTION
 SCALE: 1/4" = 1'-0"

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GRASSI DESIGN GROUP

G | D
 B | G

JOB NO: 1606
 SCALE: 1/4" = 1'-0"
 DATE: 02.10.17
 REVISED

4 JOY STREET
 BOSTON, MA

4 JOY STREET EXISTING
 SECTION

EC-5



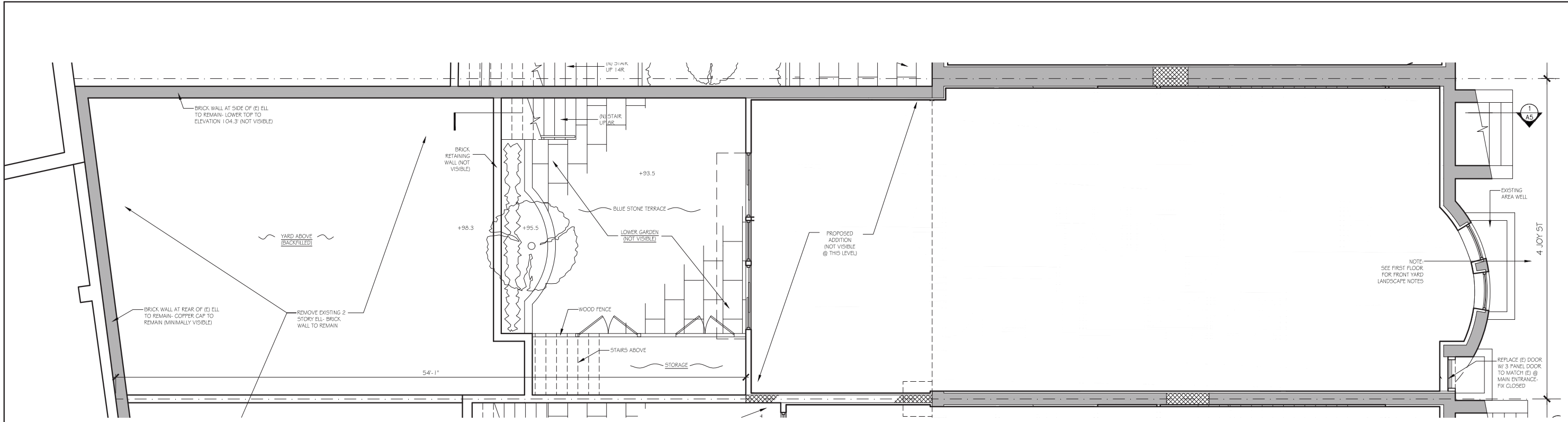
4 JOY STREET EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"

3 JC
SCA



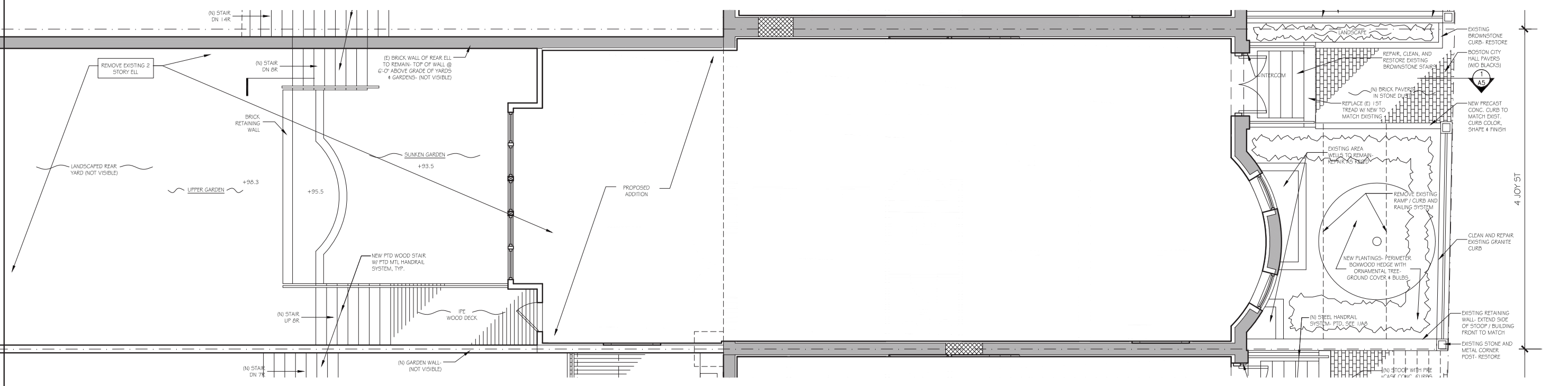
4 JOY STREET EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"

5
SC



GARDEN FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL LEGEND:
 NEW WALL
 EXISTING WALL TO REMAIN



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL LEGEND:
 NEW WALL
 EXISTING WALL TO REMAIN

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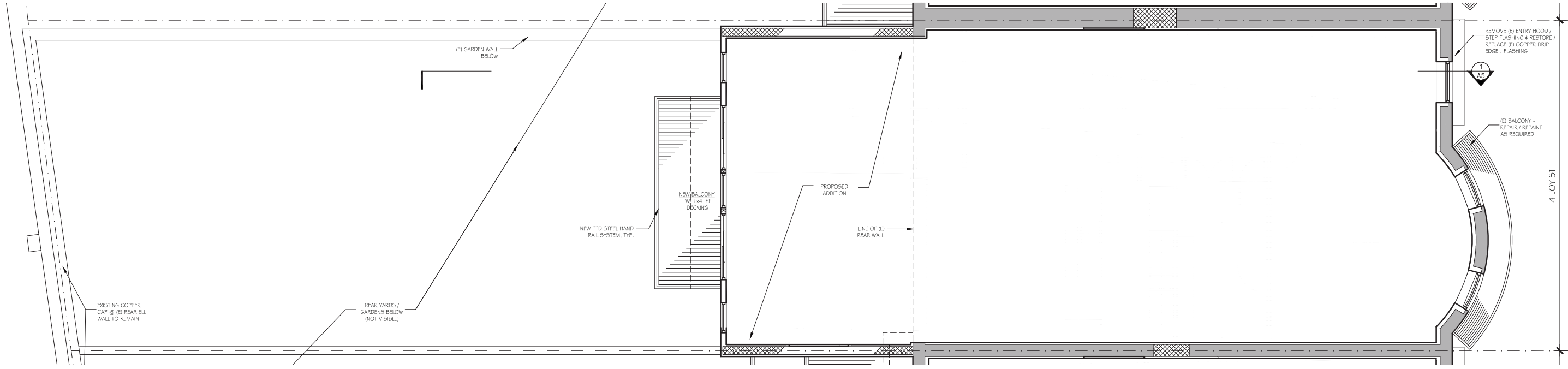
G | D GRASSI DESIGN GROUP
B | G BEAUCHEMIN GRASSI INTERIORS

JOB NO: 1606
SCALE: 1/4"=1'-0"
DATE: 02.10.17
REVISED

4 JOY STREET
BOSTON, MA

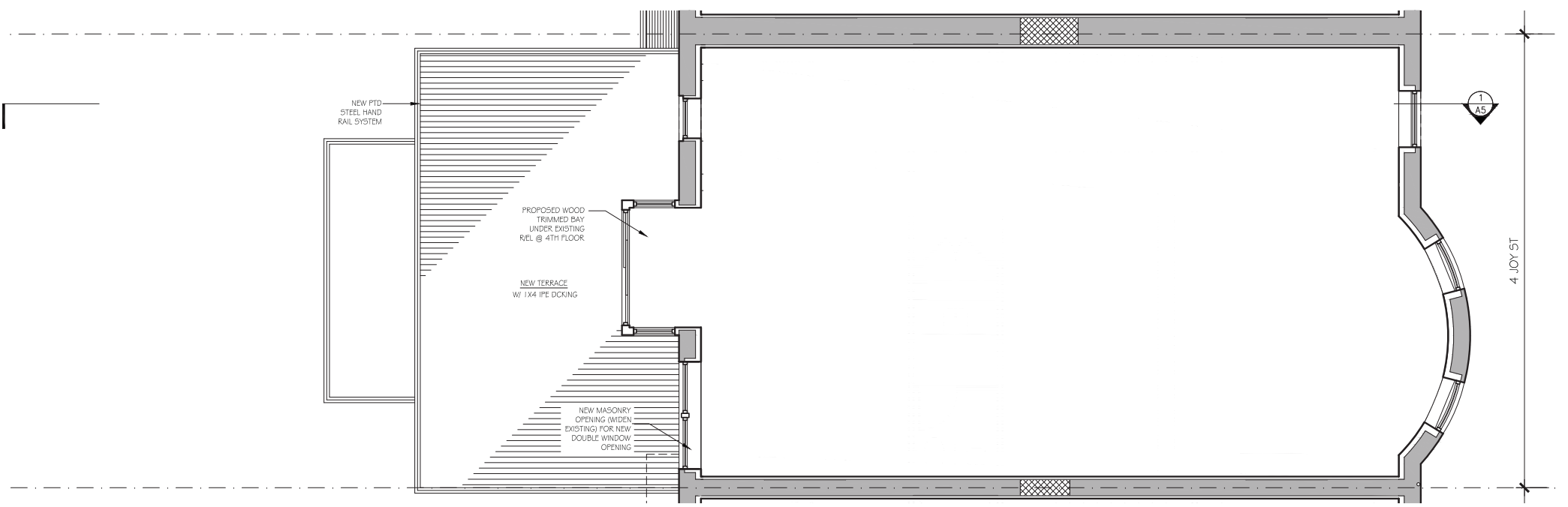
GARDEN AND FIRST FLOOR PLANS

A1



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL LEGEND:
 NEW WALL
 EXISTING WALL TO REMAIN



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL LEGEND:
 NEW WALL
 EXISTING WALL TO REMAIN

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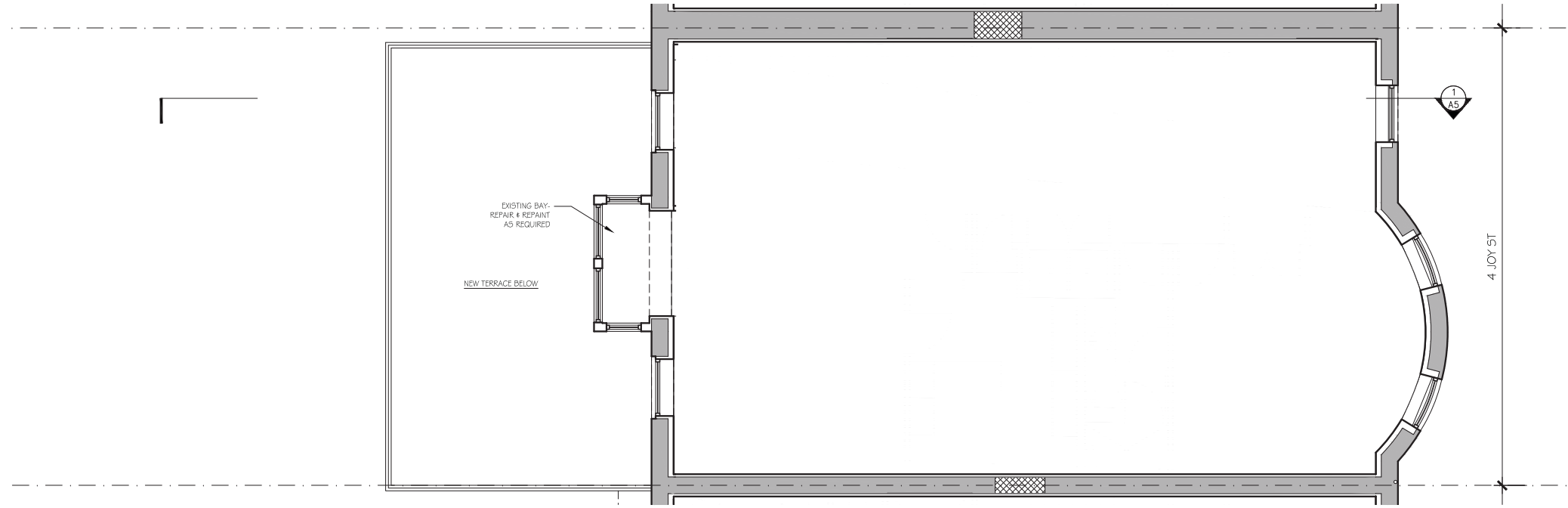
G | D GRASSI DESIGN GROUP
B | G BEAUCHEMIN GRASSI INTERIORS

JOB NO: 1606	SCALE: 1/4"=1'-0"	DATE: 02.10.17	REVISED
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4 JOY STREET
BOSTON, MA

SECOND AND THIRD FLOOR PLANS

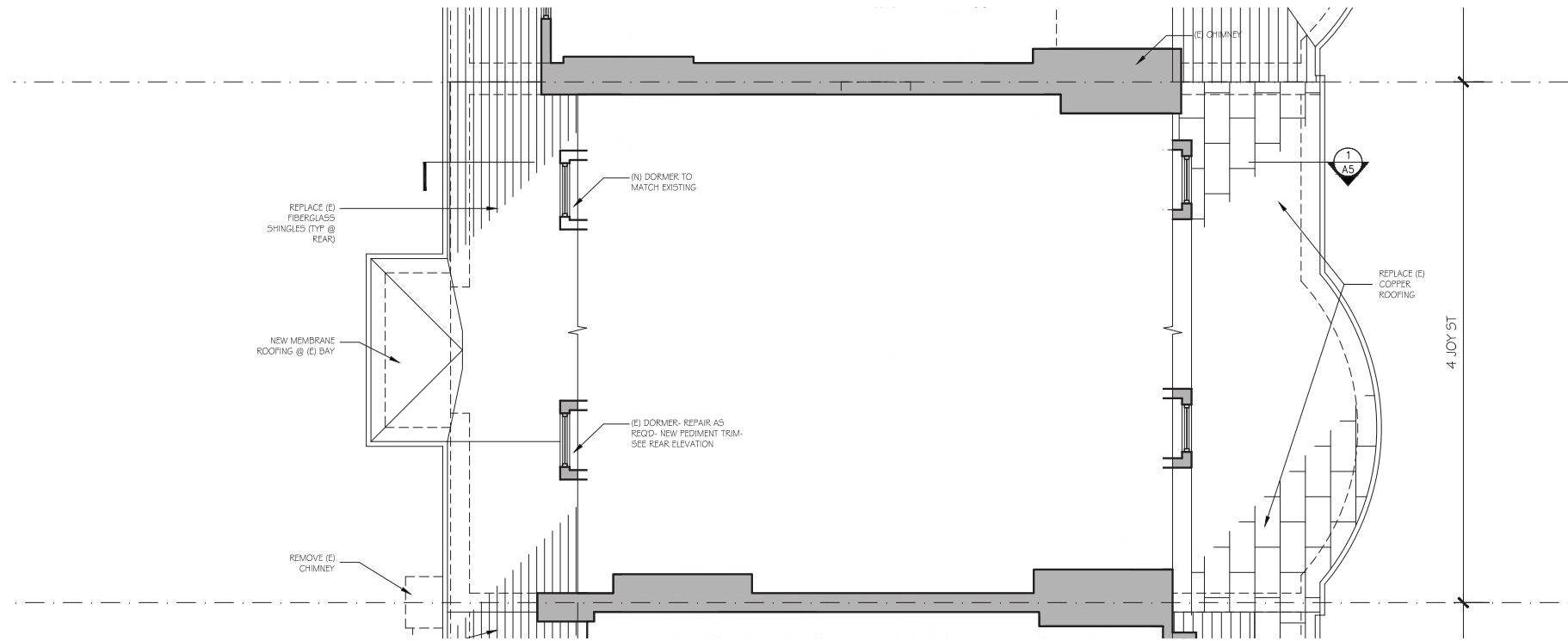
A2



FOURTH FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL LEGEND:

- NEW WALL
- EXISTING WALL TO REMAIN



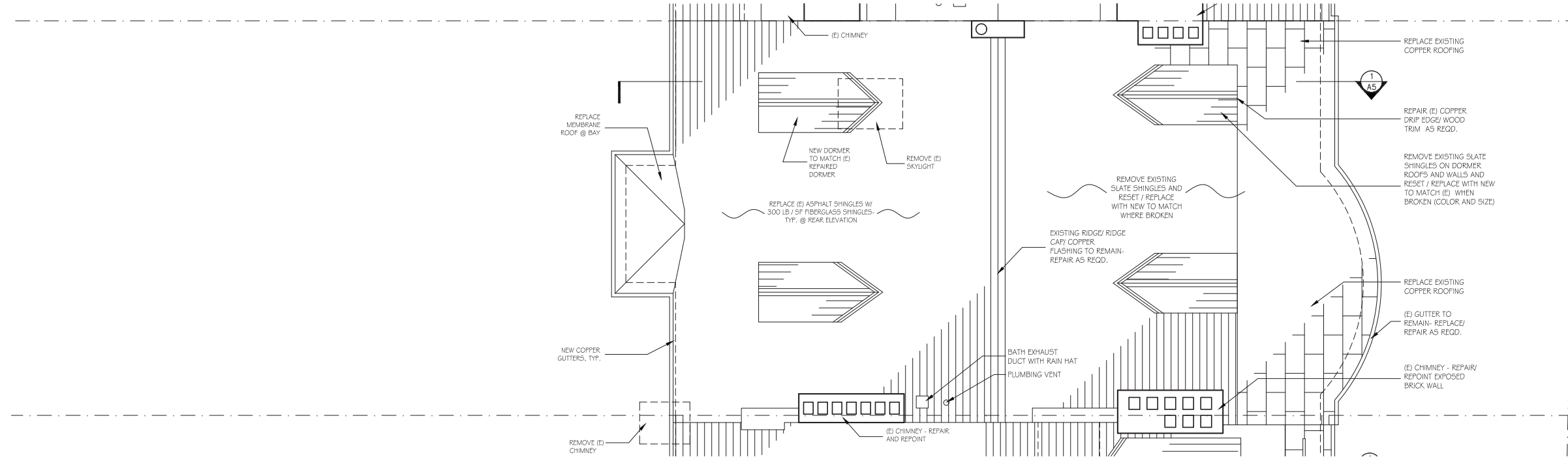
WALL LEGEND:

- NEW WALL
- EXISTING WALL TO REMAIN

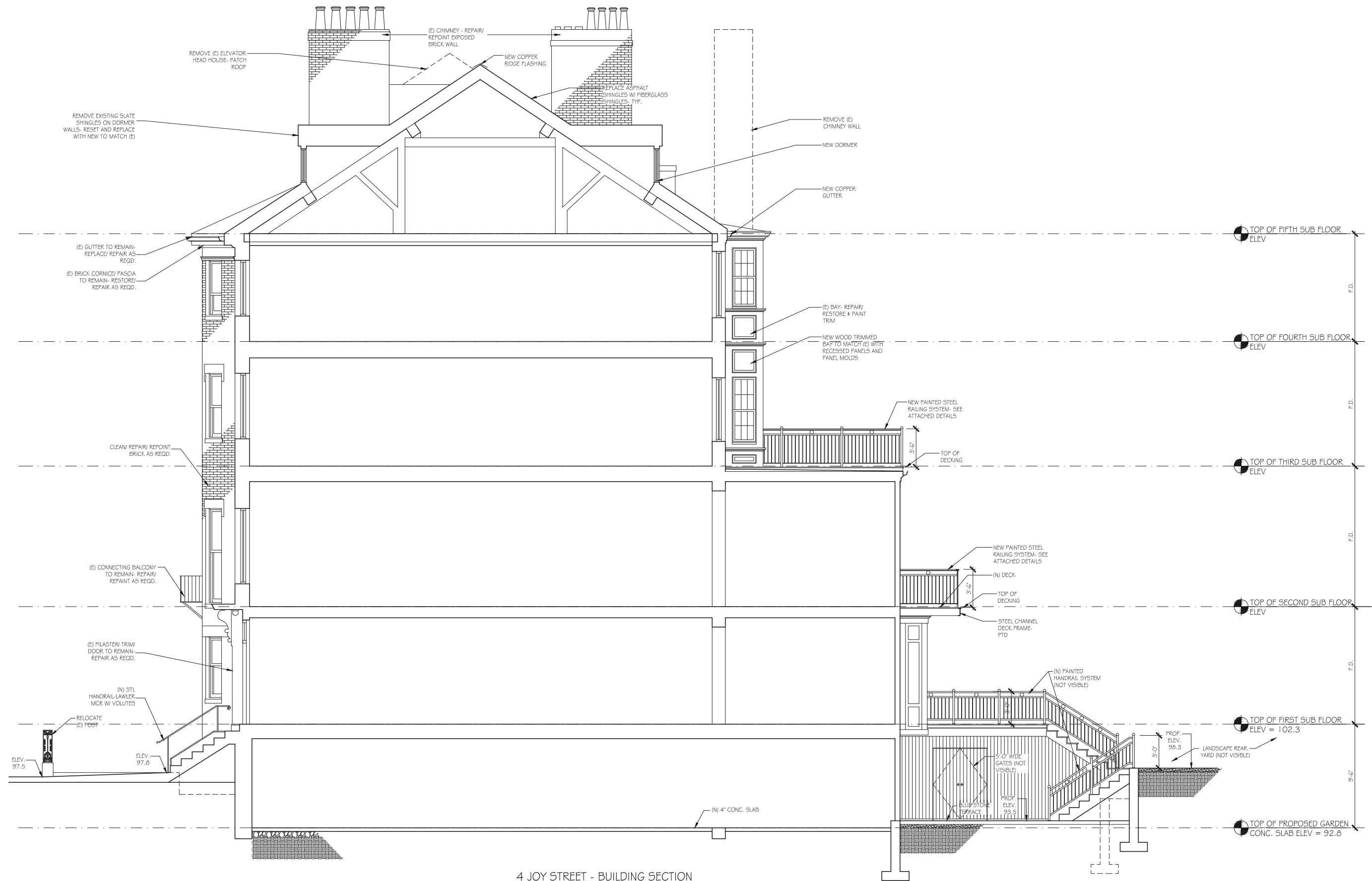


FIFTH FLOOR PLAN
SCALE: 1/4"=1'-0"

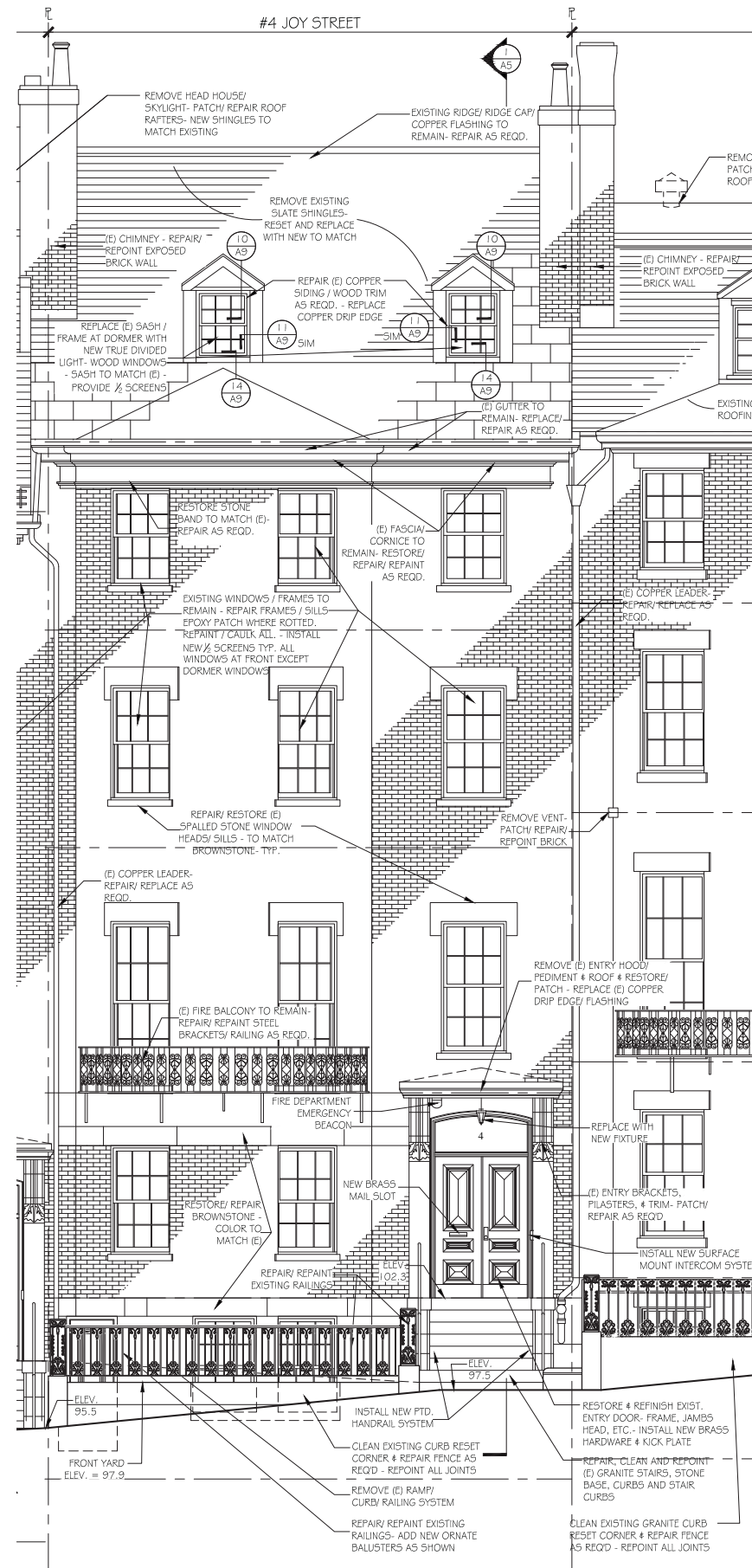
JOB NO: 1606
SCALE: 1/4"=1'-0"
DATE: 02.10.17
REVISED



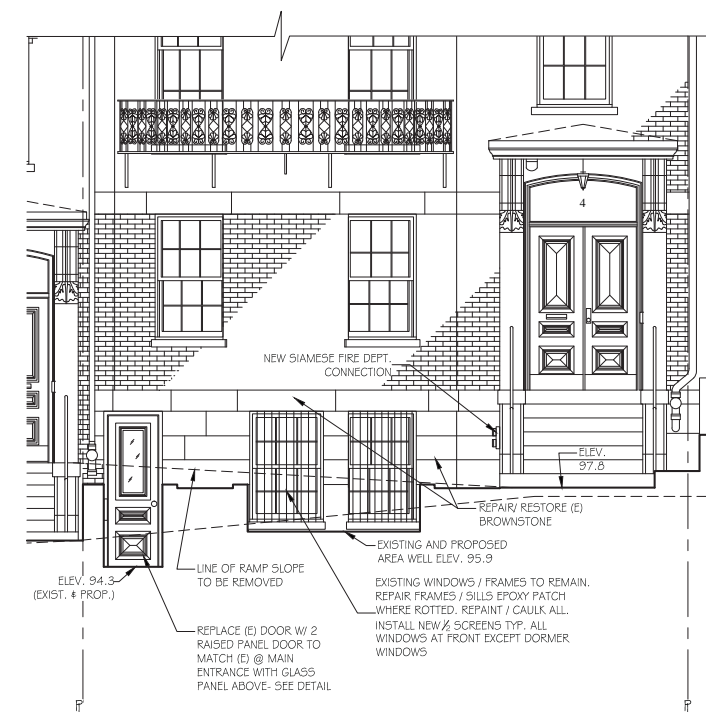
ROOF PLAN
SCALE: 1/4"=1'-0"



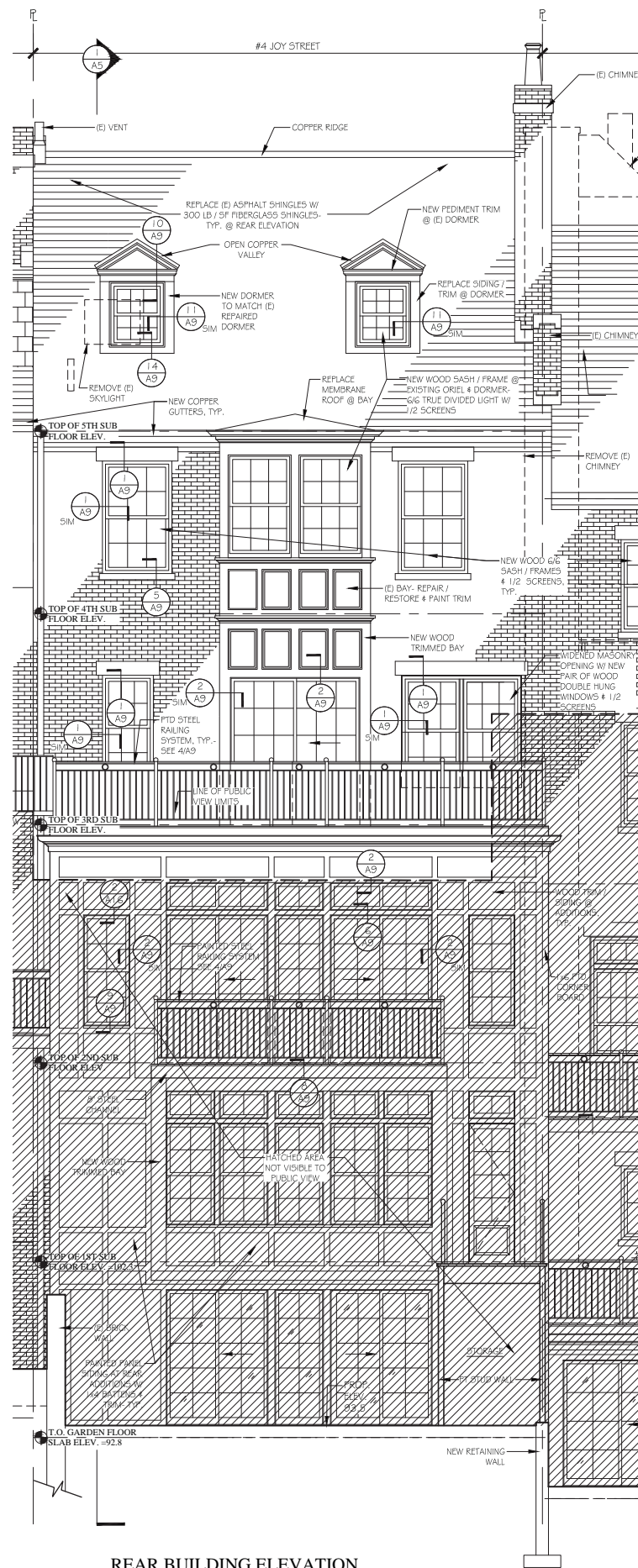
4 JOY STREET - BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 JOY STREET FRONT ELEVATION
SCALE: 1/4"=1'-0"



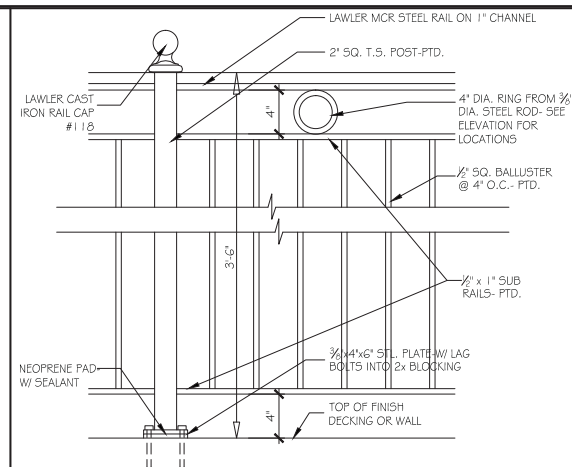
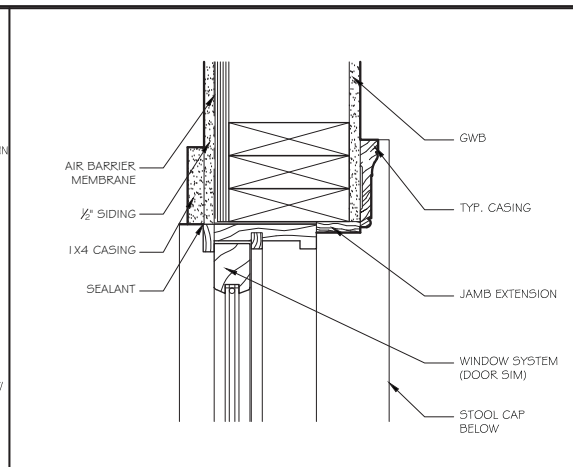
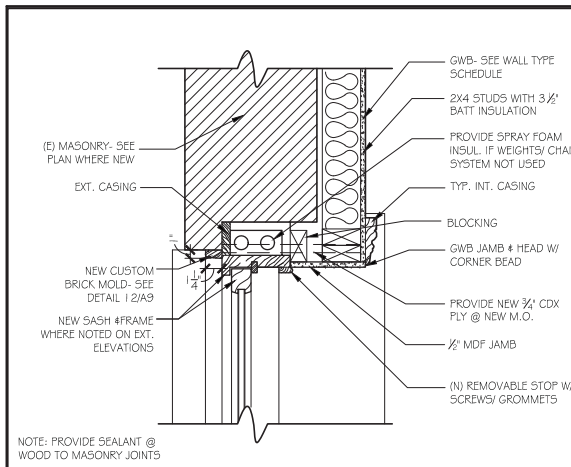
4 JOY STREET PARTIAL FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR BUILDING ELEVATION
SCALE: 1/4"=1'-0" (FACING EAST)



ELEVATION FROM 8 WALNUT REAR YARD
SCALE: 1/4"=1'-0" (LOOKING EAST)

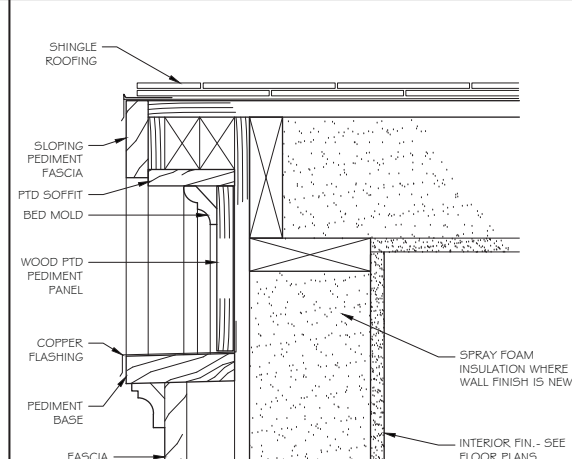
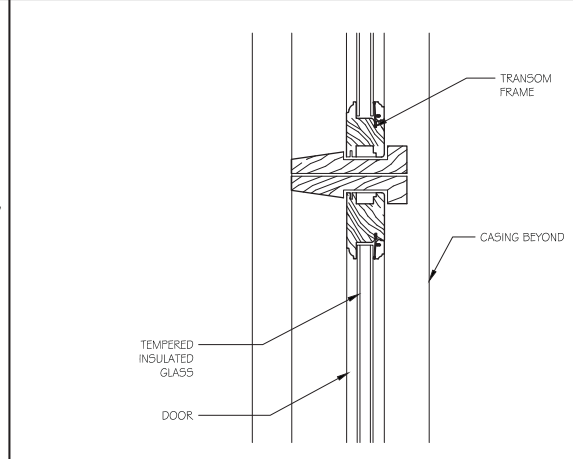
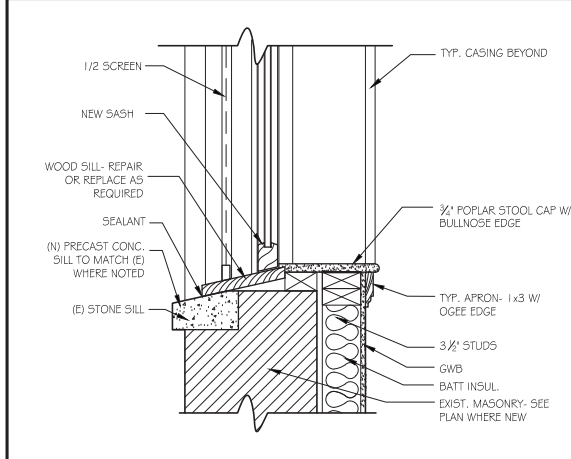


1 WINDOW JAMB DETAIL IN EXISTING MASONRY OPENING WITH REPLACEMENT WINDOW (HEAD SIM.) 1/2" = 1'-0"

2 WINDOW HEAD DETAIL IN STUD WALL @ ADDITION (JAMB SIMILAR) 3" = 1'-0"

3 NOT USED

4 RAILING @ ROOF DECK DETAIL 1/2" = 1'-0"

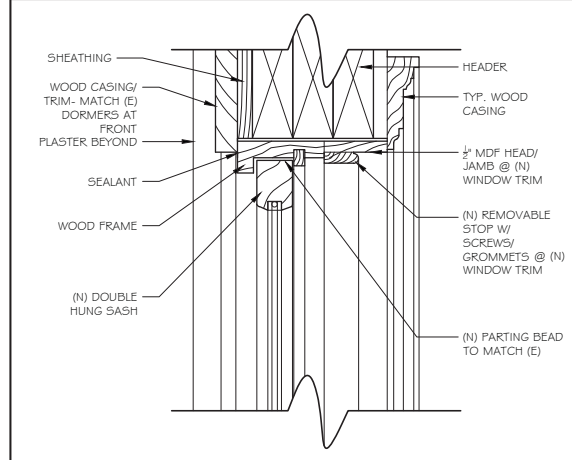
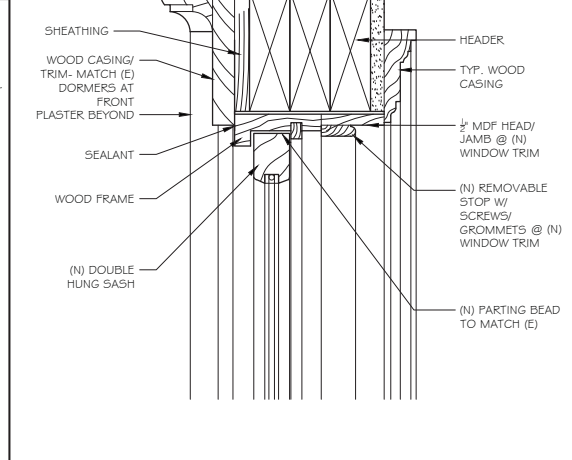
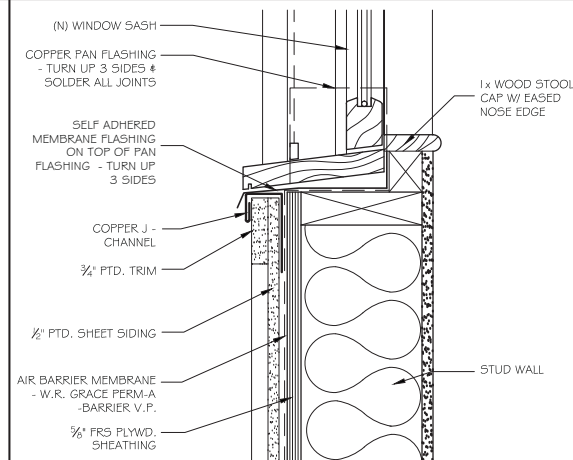
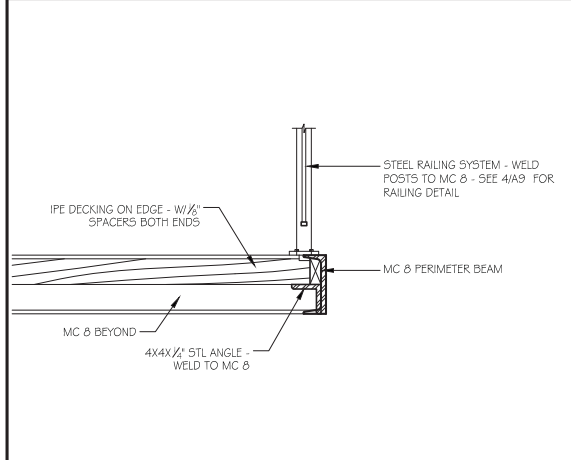


5 WINDOW SILL DETAIL IN (E) MASONRY OPENING WITH REPLACEMENT WINDOW 1/2" = 1'-0"

6 EXTERIOR DOOR HEAD DETAIL (JAMB SIM.) 3" = 1'-0"

7 NOT USED

8 BALCONY AT EDGE DETAIL 1" = 1'-0"

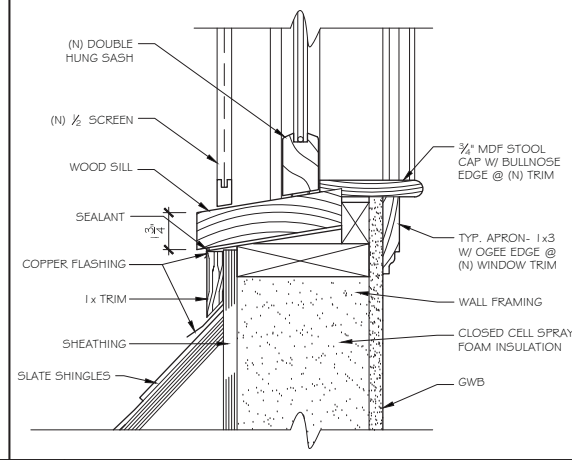
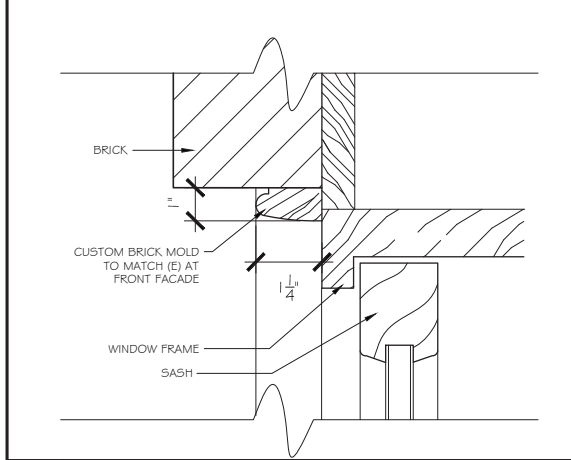


8 BALCONY AT EDGE DETAIL 1" = 1'-0"

9 WINDOW SILL @ ADDITION STUD WALL 3" = 1'-0"

10 DORMER WINDOW HEAD DETAIL @ REAR 3" = 1'-0"

11 DORMER WINDOW HEAD DETAIL @ FRONT (JAMB SIMILAR FRONT & REAR) 3" = 1'-0"



12 BRICK MOLD DETAIL 6" = 1'-0"

13 NOT USED

14 DORMER WINDOW SILL DETAIL 3" = 1'-0"

15 NOT USED

16 NOT USED

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GRASSI DESIGN GROUP
G | D
B | G
BEAUCHEMIN GRASSI INTERIORS

JOB NO: 1606
SCALE: AS NOTED
DATE: 02.10.17
REVISED

4 JOY STREET
BOSTON, MA

WINDOW AND EXTERIOR
DETAILS

A9