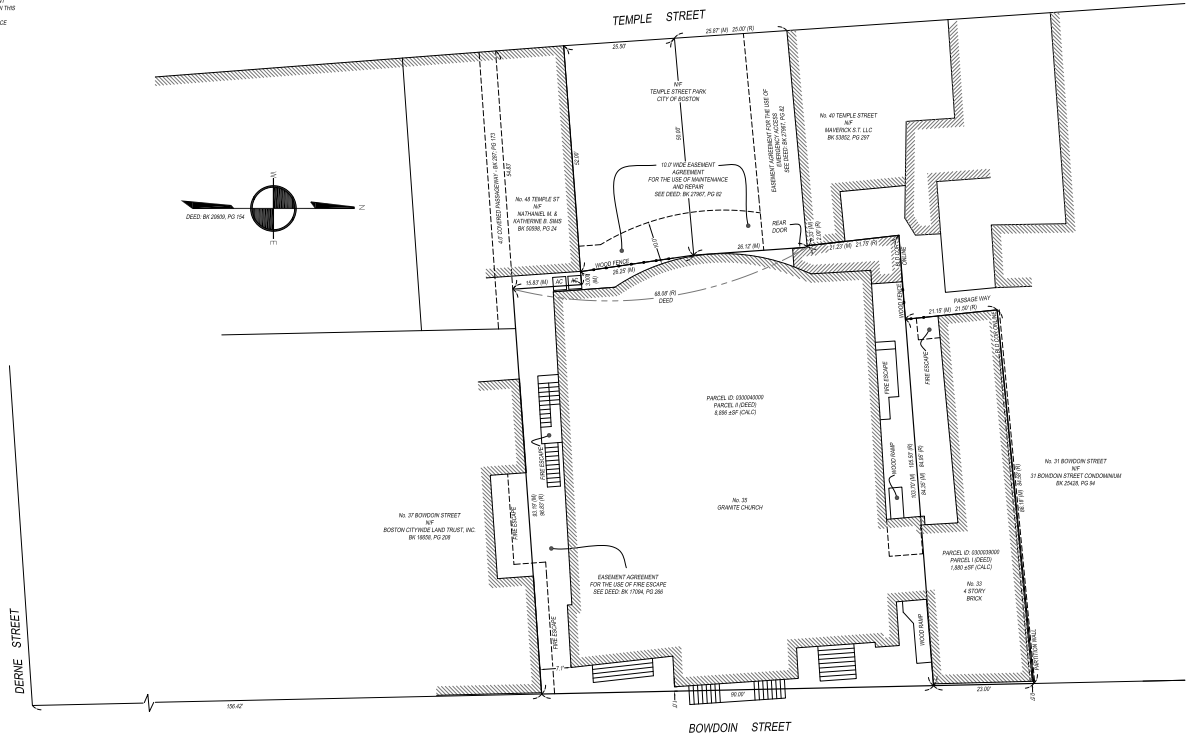




I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY OF THE GROUND ON THE DATE OF DECEMBER 16, 2014 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL BOMBING MANAGEMENT AGENCY OF S.M.A. MAPS, THE MAJOR AIRCRAFTS ON THIS PROPERTY FALL WITHIN DESIGNATED ZONE 4 AREA DETERMINED TO BE OUTSIDE A 2-MILE ANNUAL DAMAGE RADIUS.

COMMUNITY PLANE # 2005007703  
EFFECTIVE DATE: SEPTEMBER 26, 2010



DRAFTSMAN: SAPIJH	REVIEWED BY: GCC
PLAN PREPARED	12/23/14
EASEMENTS	12/24/14
SCALE: 1 INCH = 10 FEET	

**REFERENCES:**  
 DEED: BK 20809; PG 154  
 BK 27987; PG 81  
 EASEMENT: BK 17084; PG 268  
 BK 287; PG 173  
 PL BK 6223; PL 359

**SITE PLAN OF LAND**  
 33- 35 BOWDOIN STREET  
 BOSTON, MA

**PREPARED FOR:**  
 PROTESTANT EPISCOPAL DIOCESE OF MASSACHUSETTS  
 130 TREMONT STREET  
 BOSTON, MA 02111



**BOSTON SURVEY, INC.**  
 UNIT C-4 SHAWMUT PLACE  
 CHARLESTOWN, MA 02129  
 (617) 262-2121  
 www.boston-survey.com

**A0.0**

JOB # 14-00965

FILE # 14-00965 - 12/19/14







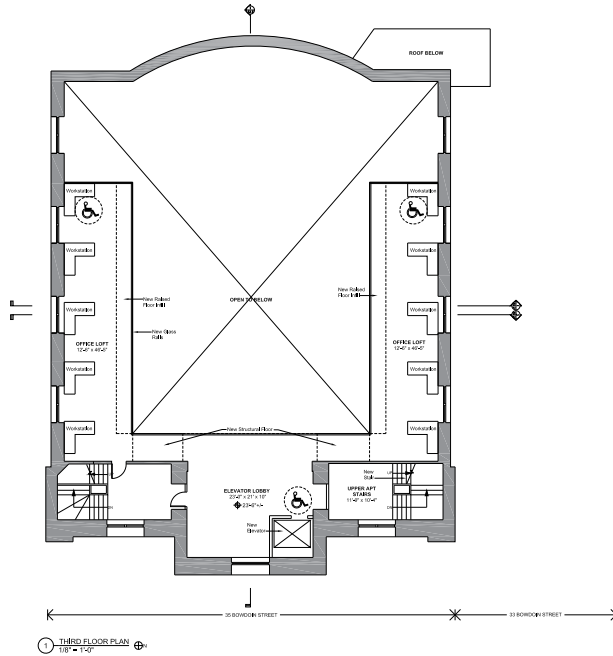












1 THIRD FLOOR PLAN  
1/8" = 1'-0"

**FA+A**  
Architects

**R.W. Sullivan**  
Principal  
100 Park Street  
Boston, MA 02108  
Tel: 617 552 8277

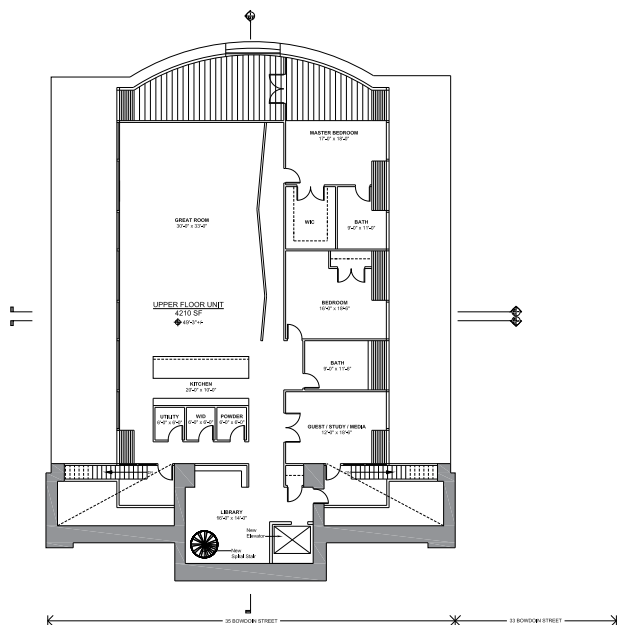
**L.A. Farris**  
Partner, Inc.  
100 Park Street  
Boston, MA 02108  
Tel: 617 552 8277

35 Bowdoin Street  
Boston, MA

Project:  
Michael Olson  
Jan Steenbrugge

NO.	REVISION	DATE

Scale:  
1/8" = 1'-0"



1 FOURTH FLOOR PLAN  
1/8" = 1'-0"

**FA+A**  
Architects

177 North  
Chatham Street  
Boston, MA 02114  
Tel: 617.267.8070  
www.fa+a.com

**R.W. Sullivan**  
Principal  
Tel: 617.267.8070

**L.A. Farris**  
Principal  
Tel: 617.267.8070

35 Bowdoin Street  
Boston, MA

Architects:  
Michael Olson  
Jan Steenbrugge

NO.	DESCRIPTION	DATE

DATE: 10/21/10  
DRAWN BY: JLS  
CHECKED BY: JLS  
REVISIONS:  
DATE: 10/21/10  
DRAWN BY: JLS  
CHECKED BY: JLS

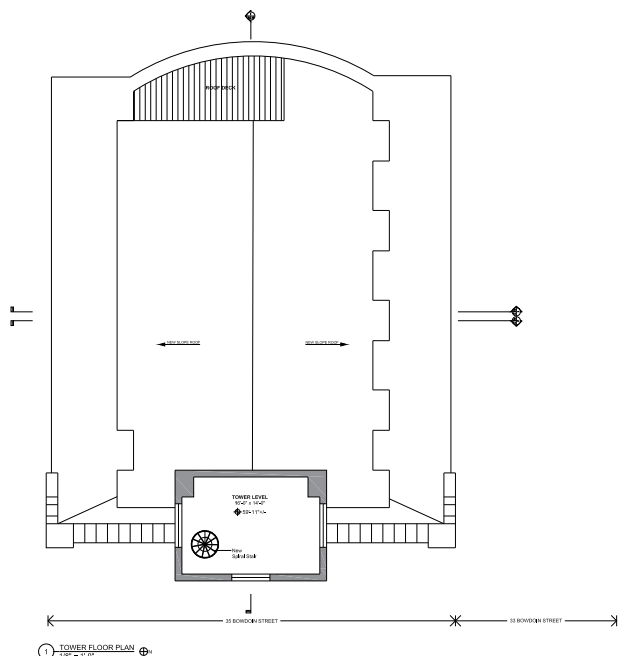
Fourth Floor Plan  
**A1.3**

**FA+A**  
Architects

117 North  
Stoughton Street  
Boston, MA 02114  
Tel: 617.267.6770  
Fax: 617.267.6770

R.W. Sullivan  
Principal

L.A. Fuchs  
Principal



1 TOWER FLOOR PLAN  
1/8" = 1'-0"

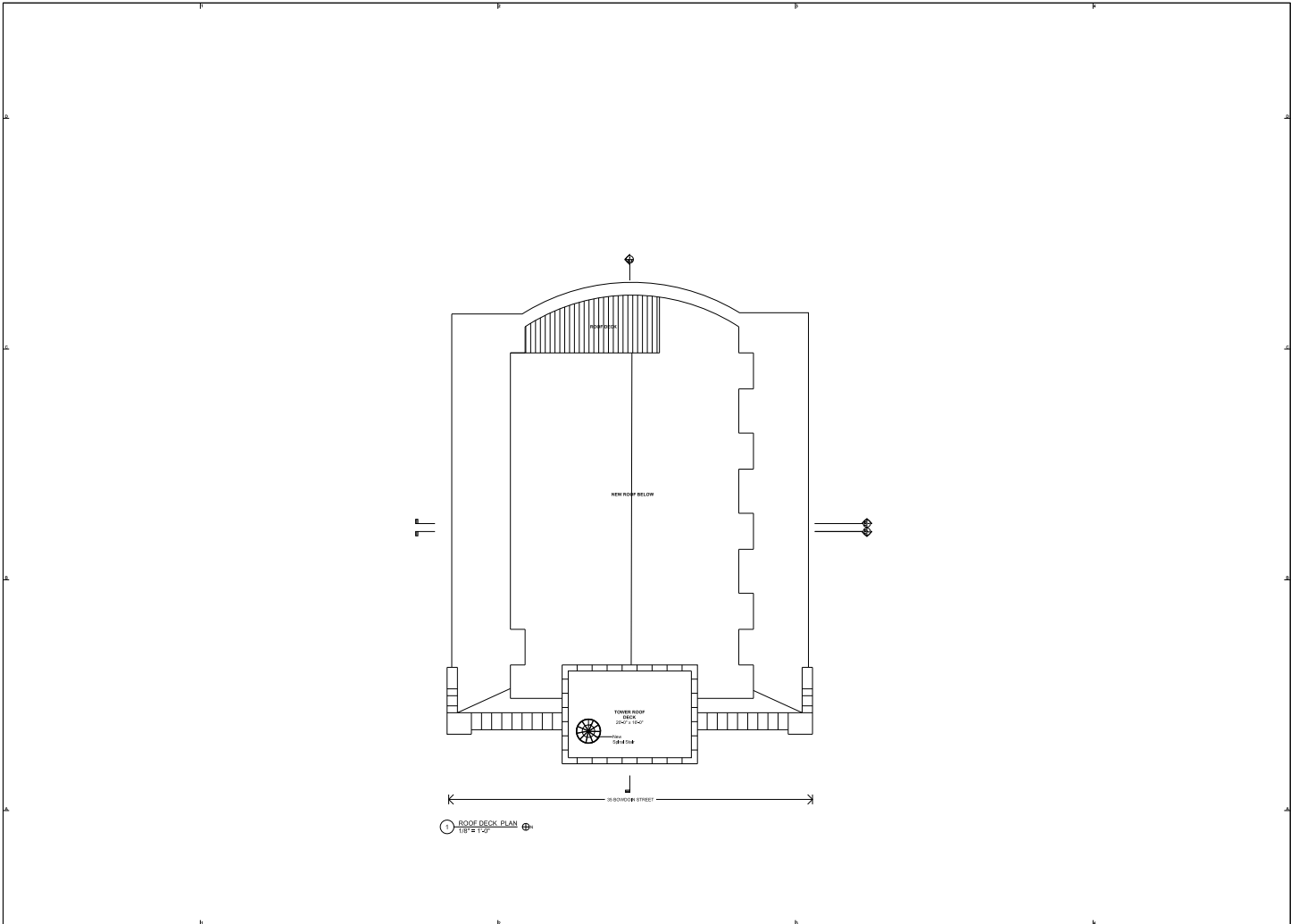
35 Bowdoin Street  
Boston, MA

Project:  
Michael Olson  
Jan Steenbrugge

REV.	DESCRIPTION	DATE

DATE: 10/20/09  
DRAWN BY: J.S.  
CHECKED BY: J.S.  
APPROVED BY: J.S.  
PROJECT NO.: 09-001-01  
SHEET NO.: 14  
Tower Floor Plan

**A1.4**



**FA+A Architects**  
 115 F STREET, S.E.  
 WASHINGTON, D.C. 20003

---

R.W. Sullivan  
 Principal  
 410 K STREET, S.W.  
 WASHINGTON, D.C. 20004  
 202.331.3337

L.A. Farris  
 Partner  
 311 MARKET STREET, N.E.  
 WASHINGTON, D.C. 20002  
 202.331.3337

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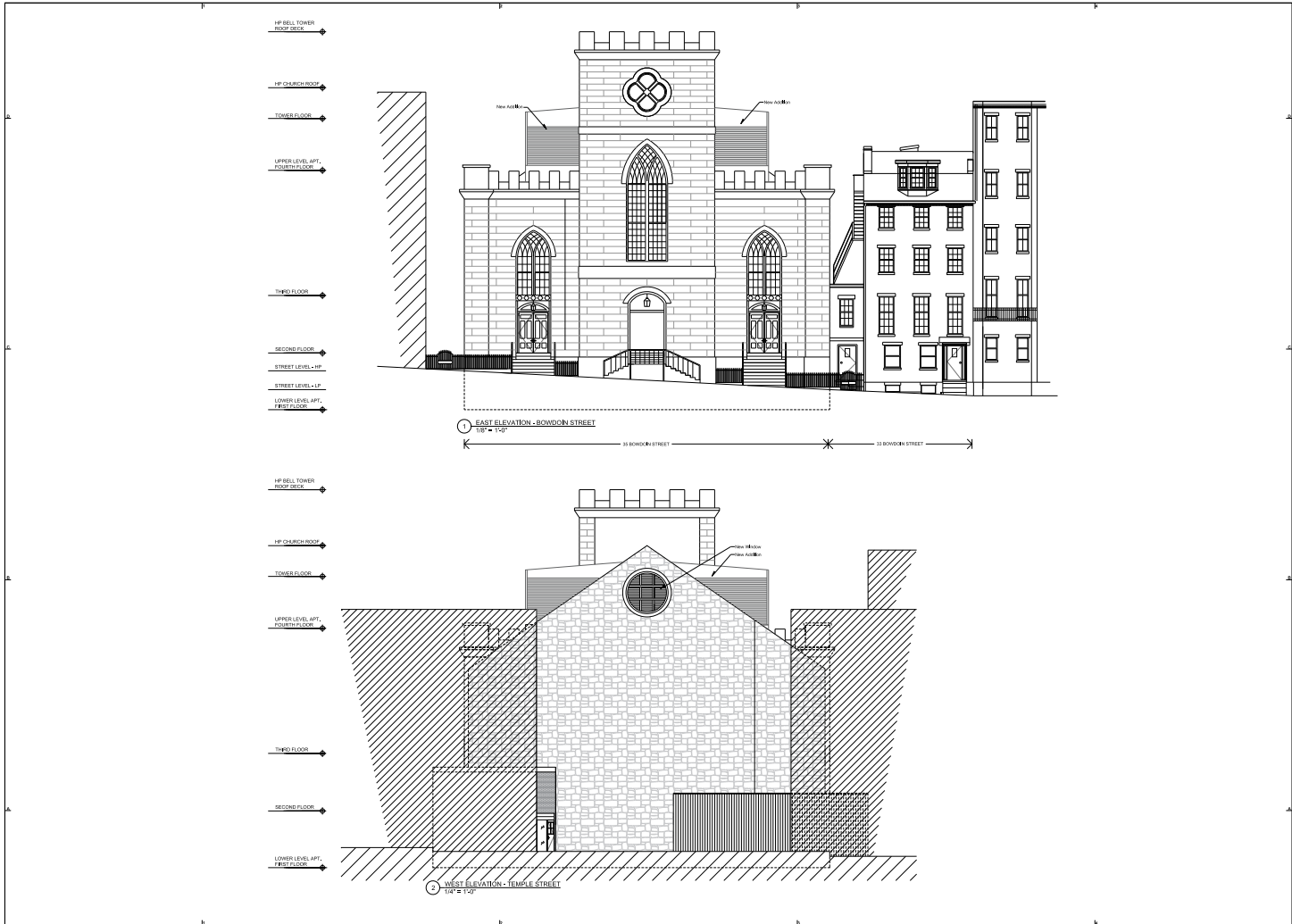
35 Bowdoin Street  
 Boston, MA  
 Michael Olson  
 Jan Steenbrugge

NO.	REVISION	DATE

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**PROJECT:** 35 BOWDOIN ST  
**CLIENT:** [unclear]  
**DATE:** 11/13/11  
**ARCHITECT:** FA+A  
**DESIGNER:** [unclear]  
**SCALE:** AS SHOWN  
**PROJECT NO.:** [unclear]  
**PROJECT NAME:** 35 BOWDOIN STREET  
**PROJECT TYPE:** [unclear]

**A1.5**



**FA+A**  
Architects  
177 West  
Washington Street  
Boston MA 02114  
Tel: 617.337.0075  
Fax: 617.337.0076  
www.faa.com

R.W. Sullivan  
Principal  
L.A. Farris  
Partner, Inc.  
Project Manager

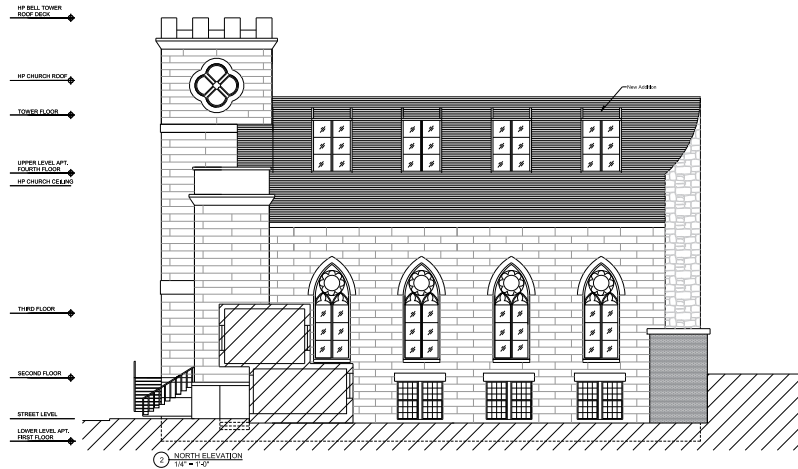
35 Bowdoin Street  
Boston, MA

Client:  
Michael Olson  
Jan Steenbrugge

No.	Description	Date

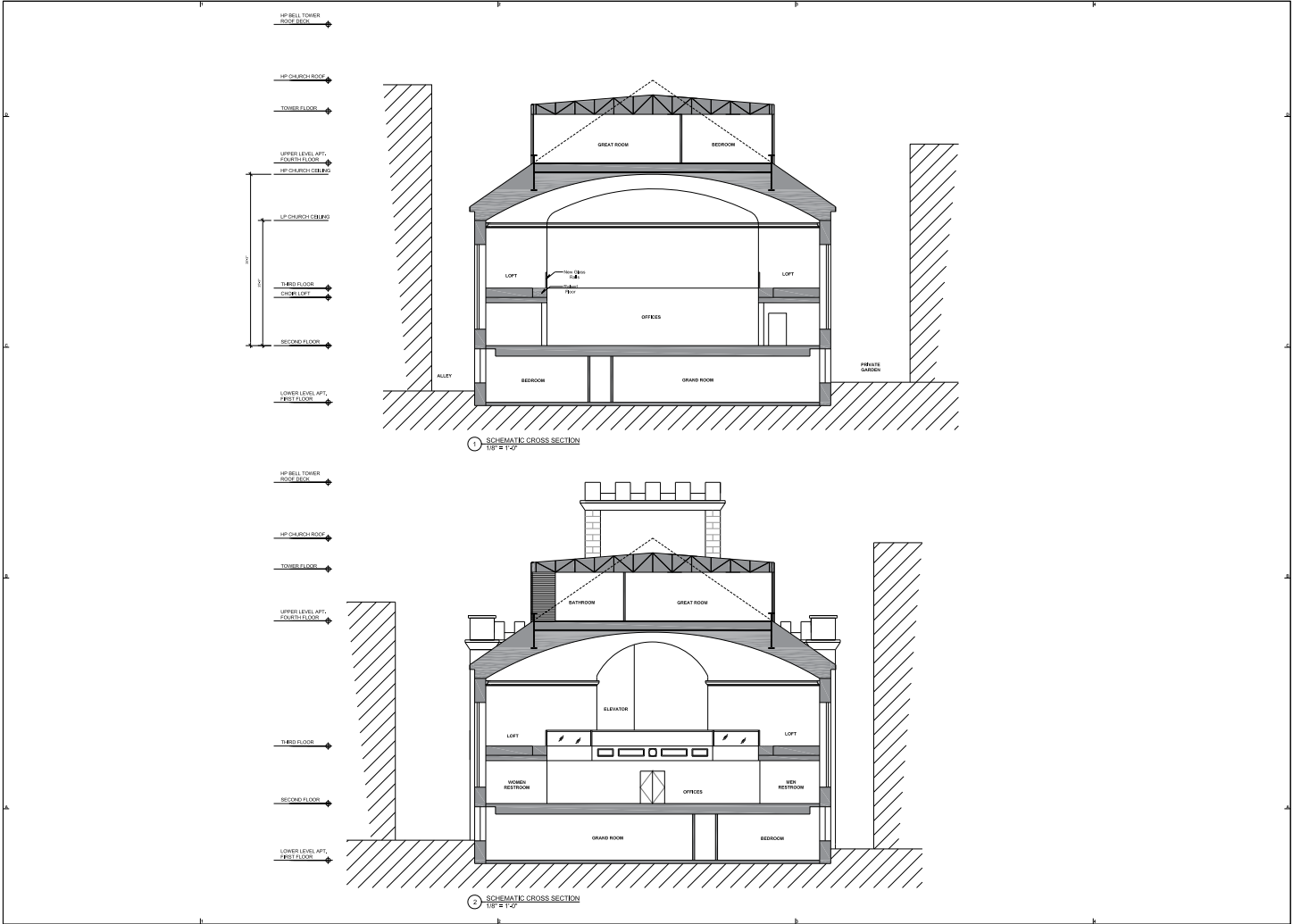
Scale:  
1" = 8'-0" (Exterior)  
1" = 4'-0" (Interior)

Notes:  
SHEET 2 OF 2  
Front • Rear Elevations



NO.	REVISION	DATE

DATE: 03/03/14	DATE: 03/03/14
DRAWN BY: Michael Olson	CHECKED BY: Jan Steenbrugge
PROJECT NO.: 14-001	PROJECT NO.: 14-001
CUSTOMER: 35 Bowdoin Street	CUSTOMER: 35 Bowdoin Street
PROJECT TYPE: Residential	PROJECT TYPE: Residential
PHASE: South + North Elevations	PHASE: South + North Elevations



1 SCHEMATIC CROSS SECTION  
1/8" = 1'-0"

2 SCHEMATIC CROSS SECTION  
1/8" = 1'-0"

**FA+A**  
**Architects**

**R.W. Sullivan**  
Principal  
RHPF

**L.A. Farris**  
Partner, Inc.  
Sustainable Program

50 Temple Street  
Boston, MA 02107  
Phone: 617.552.9800  
Fax: 617.552.9807  
www.faaarchitects.com

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35 Bowdoin Street

**Boston, MA**

Architects:  
Michael Olson  
Jan Steenbrugge

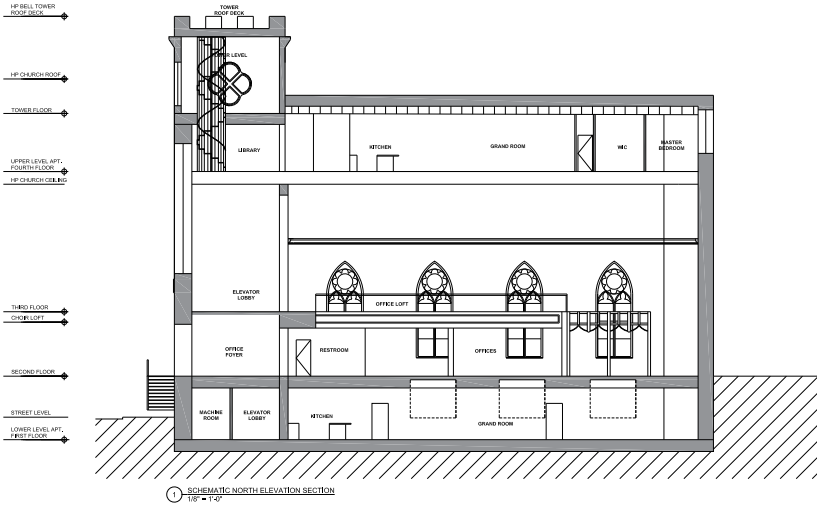
NO.	DESCRIPTION	DATE

DATE: 02/05/10  
PROJECT: 09-101211  
DRAWN BY: JST/MS  
CHECKED BY: MS  
SCALE: AS SHOWN  
SHEET SIZE: D

Proposed Cross  
Sections

**A2.2**





35 Bowdoin Street

Boston, MA

Michael Olson  
 Jan Steenbruggen

Rev.	Description	Date

Scale: 1/8" = 1'-0"  
 Proposed Longitudinal Section

GENERAL BUILDING INFORMATION				
TYPE PROJECT	R-3 RESIDENTIAL - FLOORS BASEMENT AND 1-5			
CONSTRUCTION TYPE	2A RESIDENTIAL			
LOT SIZE	800 SF			
BUILDING AREA	EXISTING GROSS	EXISTING NET	PROPOSED GROSS	PROPOSED NET
BASEMENT UNIT	0 SF	0 SF	88 SF	470 SF
FIRST LEVEL UNIT	1004 SF	1041 SF	1041 SF	1041 SF
SECOND LEVEL UNIT	958 SF	1063 SF	1026 SF	1063 SF
THIRD LEVEL UNIT	841 SF	770 SF	841 SF	770 SF
FOURTH LEVEL UNIT	841 SF	708 SF	841 SF	708 SF
FIFTH LEVEL UNIT	608 SF	450 SF	734 SF	650 SF
TOTAL	5053 SF	4600 SF	6581 SF	5266 SF
ALLOWED FAR 30	EXISTING FAR 31	PROPOSED FAR 37		
REQUIRED OPEN SPACE 450 SF 150 SF PER DWELLING UNIT	EXISTING OPEN SPACE 417 SF	PROPOSED OPEN SPACE UNIT 1 417 SF OF WHICH 15 SF OPEN TO SKY UNIT 2 203 SF UNIT 3 547 SF TOTAL 1067 SF		
SPRINKLER SYSTEM	REQUIRED			
OCCUPANT LOAD AT 300 GROSS SF/OCCUPANT	BASEMENT RESIDENTIAL 6 FIRST LEVEL RESIDENTIAL 6 SECOND LEVEL RESIDENTIAL 6 THIRD LEVEL RESIDENTIAL 4 FOURTH LEVEL RESIDENTIAL 4 FIFTH LEVEL RESIDENTIAL 4 TOTAL ALL UNITS 33			
FIRE SEPARATION	FRAME STRUCTURAL FRAME 0 HR EXTERIOR BEARING WALLS 1 HR INTERIOR BEARING WALLS 0 HR EXTERIOR NONBEARING WALLS 0 HR INTERIOR NONBEARING WALLS 0 HR FLOOR CONSTRUCTION 0 HR ROOF CONSTRUCTION 0 HR			
CODE REFERENCES	MASSACHUSETTS STATE BUILDING CODE 8TH EDITION MASSACHUSETTS ARCHITECTURAL ACCESS BOARD			

# 33 Bowdoin St

Boston, MA

ARCHITECT  
**CENTREPOINT**  
ARCHITECTS

561 Windsor Street, A404  
Somerville, MA 02143 T: 617.718.9701

33 Bowdoin St

33 Bowdoin St  
Boston, MA

Permit		
No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
Title Sheet

11

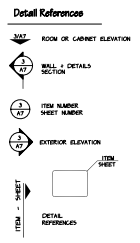
- General Notes**
- G.C. IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK SO THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION. G.C. SHALL COORDINATE ALL SURFACES FABRICATED BY OWNER. ALL TRADES INVOLVED WITH THE PROJECT SHALL COOPERATE WITH ONE ANOTHER, SHALL CONSCIOUSLY SAVE AND PROTECT WORK BEING PERFORMED BY OTHER TRADES AFFECTING THIS PROJECT.
  - G.C. SHALL SECURE ALL PROPER PERMITS AND NECESSARY INSPECTIONS FOR AND FROM REGULATORY AGENCIES AFFECTING THIS PROJECT.
  - ALL WORK SHALL CONFORM TO ALL INDUSTRY AND MANUFACTURER'S PUBLISHED STANDARDS AS WELL AS ALL REQUIREMENTS IN THESE DRAWINGS AND SPECIFICATIONS. ANY CONFLICTING REQUIREMENTS OF THE SOURCES LISTED ABOVE SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
  - ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES, INCLUDING LOCAL REQUIREMENTS.
  - NO SUBSTITUTIONS FOR ITEMS SPECIFIED WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT, ENGINEER OR OWNER.
  - G.C. SHALL PROTECT WORK BY OTHER CONTRACTORS. G.C. SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL WORK BY OTHER INDIVIDUALS WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT.
  - ALL WORK NOTED BY OTHERS OR "N/C" IS TO BE THE RESPONSIBILITY OF THE OWNER AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. G.C. SHALL COOPERATE WITH THE OWNER AND OWNERS OUTSIDE CONTRACTORS AS REQUIRED.
  - G.C. IS RESPONSIBLE FOR ALL SHORING AND BRACING OF EXISTING SOILS DURING DEMOLITION AND CONSTRUCTION.
  - G.C. IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION MATERIALS.
  - G.C. SHALL MAINTAIN A CLEAN AND ORDERLY WORKSITE AT ALL TIMES.
  - G.C. SHALL CLEAN SITE AT COMPLETION OF CONSTRUCTION.
  - ALL WORK SHALL BE GUARANTEED BY THE G.C. AGAINST DEFECTS AND POOR WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM SUBSTANTIAL COMPLETION.
  - G.C. SHALL BE RESPONSIBLE FOR DRUGGING AND ELECTRICAL CONNECTIONS FOR ALL MILLWORK. PROVIDE ADEQUATE CONCEALED DRUGGING FOR ALL MILLWORK HANG FROM PARTITIONS. ALL WOODWORK, DRUGGING, GROUNDS, ETC. SHALL BE FIRE TREATED IN ACCORDANCE WITH ALL APPLICABLE CODES.

**Abbreviations**

ACT	ACRYLIC GELING
APP	APPLY ABOVE FINISH FLOOR
ALUM	ALUMINUM
BOT	BOTTOM
CU	COPPER
CLG	CEILING
CLN	CEILING
COL	COLLAR
CON	CONCRETE
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CAPSET
CT	CERAMIC TILE
DIA	DIAMETER
DM	DIMENSION
DET	DETAIL
EACH	EACH
ELEV	ELEVATION
ELECT	ELECTRICAL
EQ	EQUIPMENT
EQPT	EQUIPMENT
EW	ELECTRIC WATER COOLER
EXTD	EXTENDING
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FET	FIRE EXTINGUISHER CABINET
FRT	FIRE RETARDANT TREATED
GA	GALVANIZED
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLOSS
GPM	GALLONS PER MINUTE
H	HOLLOW METAL
HCP	HOLLOW METAL
HORIZ	HORIZONTAL
HT	HEAVY
ID	INSULATION
INS	INSULATION
INT	INTERIOR
JOINT	JOINT
LAV	LAVATORY
MECH	MECHANICAL
MEZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MO	MOOREY OPENING
MET	METAL
NDR	NAILDRUM
NFS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPP	OPPOSITE
P	PLASTER
P.LAM	PLASTER LAMINATE
PLND	PLYWOOD
PT	PURTY TILE
R	ROOM
RF	ROOM
ROOF	ROOF
RS	ROOF SHEATHING
SA	SERVICE SINK
WC	WATER CLOSET
WH	WATER HEATER

**Symbol Legend**

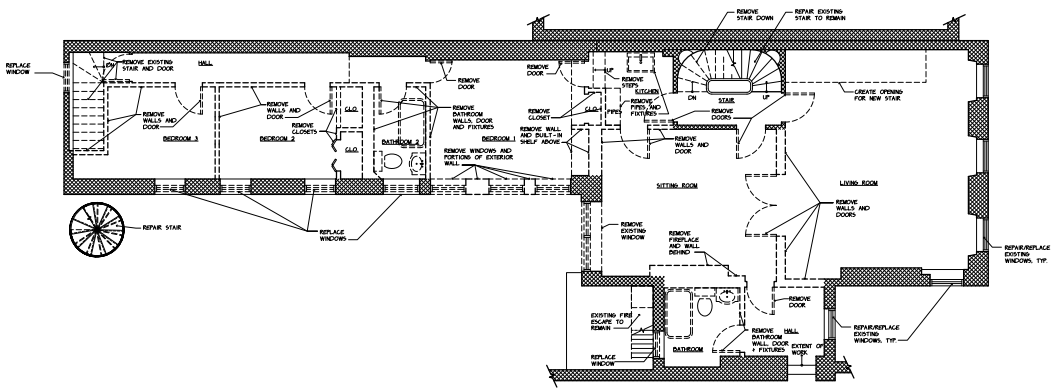
□	ROOM NUMBER
○	DOOR NUMBER
◇	WINDOW NUMBER
◇	COLLAR LINE



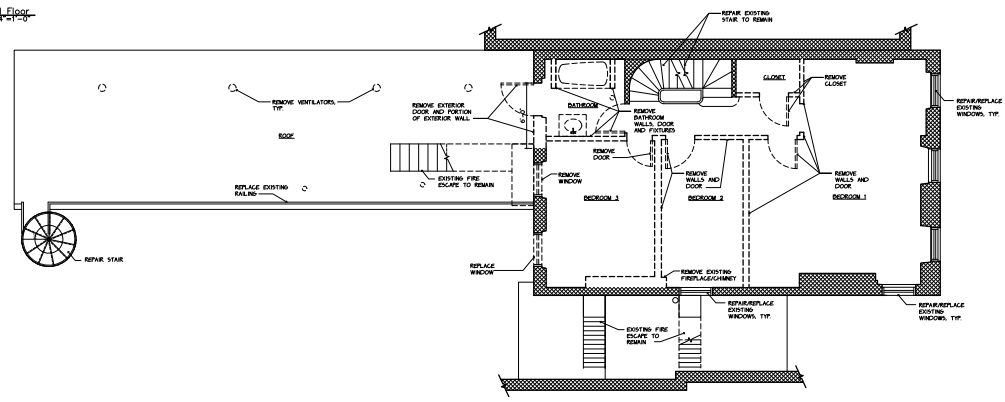
**Drawing Index**

ARCHITECTURAL	TITLE SHEET / CODE INFORMATION
CH0	DEMOLITION BASEMENT FLOOR PLAN
CH1	DEMOLITION FIRST FLOOR PLAN
CH2	DEMOLITION SECOND FLOOR PLAN
CH3	DEMOLITION THIRD FLOOR PLAN
CH4	DEMOLITION FOURTH FLOOR PLAN
CH5	DEMOLITION FIFTH FLOOR PLAN
CH6	DEMOLITION ROOF PLAN
A10	BASEMENT FLOOR PLAN
A11	FIRST FLOOR PLAN
A12	SECOND FLOOR PLAN
A13	THIRD FLOOR PLAN
A14	FOURTH FLOOR PLAN
A15	FIFTH FLOOR PLAN
A16	ROOF PLAN
A20	FRONT AND REAR ELEVATION
A21	SIDE ELEVATION
A22	BUILDING SECTION
A23	BUILDING SECTION





1 Second Floor  
 Scale 1/4" = 1'-0"



2 Third Floor  
 Scale 1/4" = 1'-0"

**33 Bowdoin St**

33 Bowdoin St  
 Boston, MA

Permit

No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
 2nd & 3rd Flr Demo Plans

**D 1.1**

**33 Bowdoin St**

33 Bowdoin St  
 Boston, MA

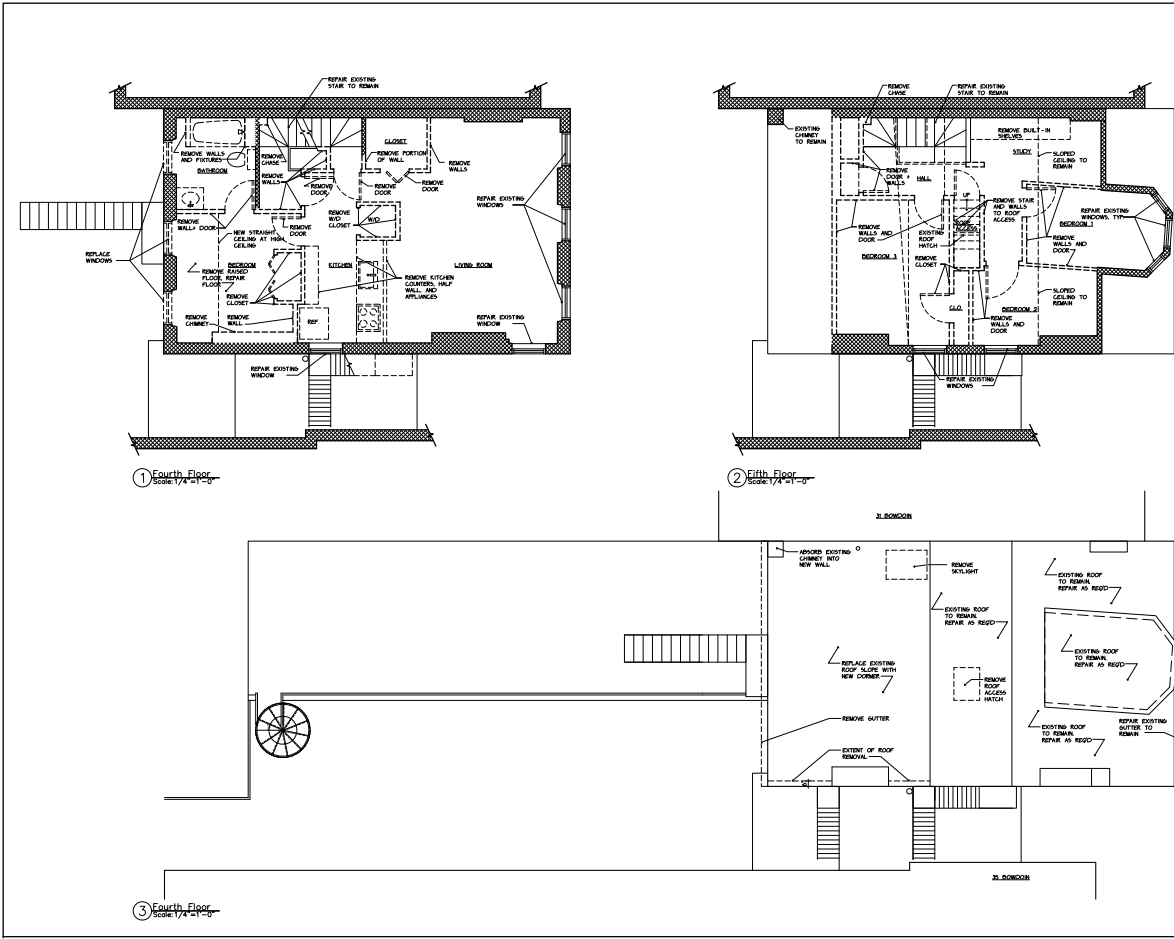
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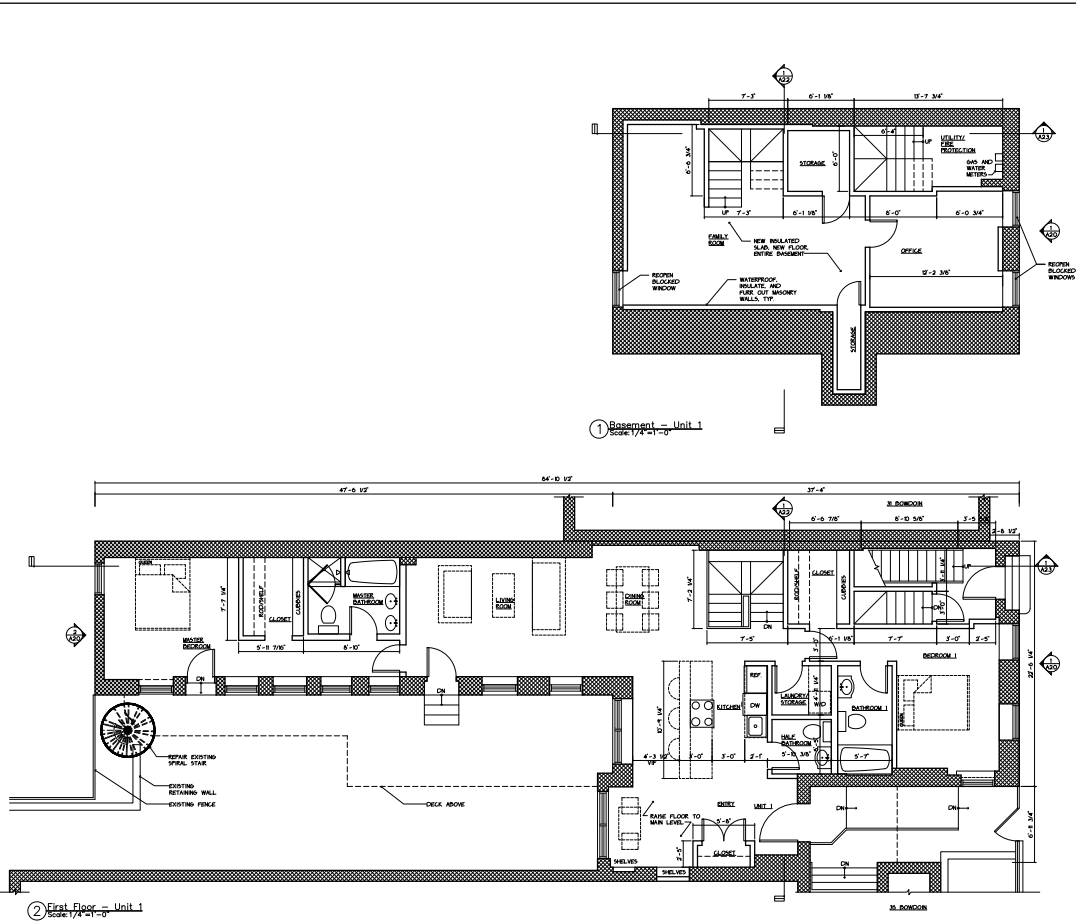
No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
 Third, Fourth and Roof Plans

**D12**





**CENTREPOINT ARCHITECTS**

561 Windsor Street, A404  
Somerville, MA 02143 T: 617.318.3763

**33 Bowdoin St**

33 Bowdoin St  
Boston, MA

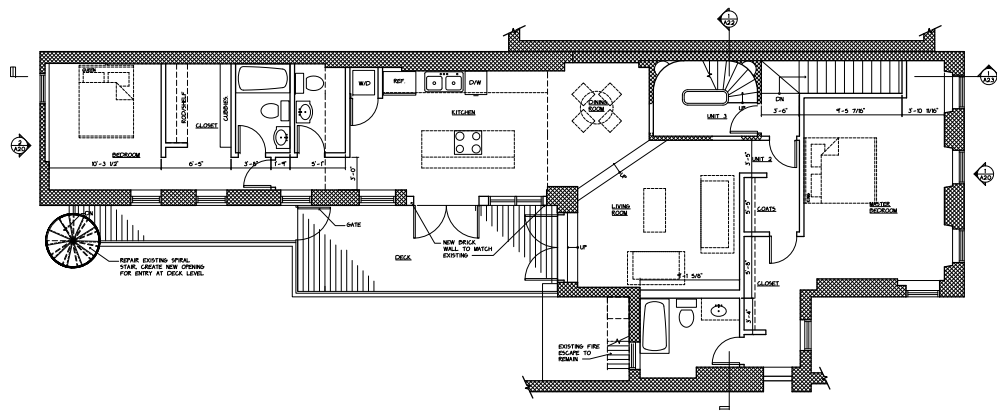
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No.	ISSUE	DATE
01	Permit	04.22.2015

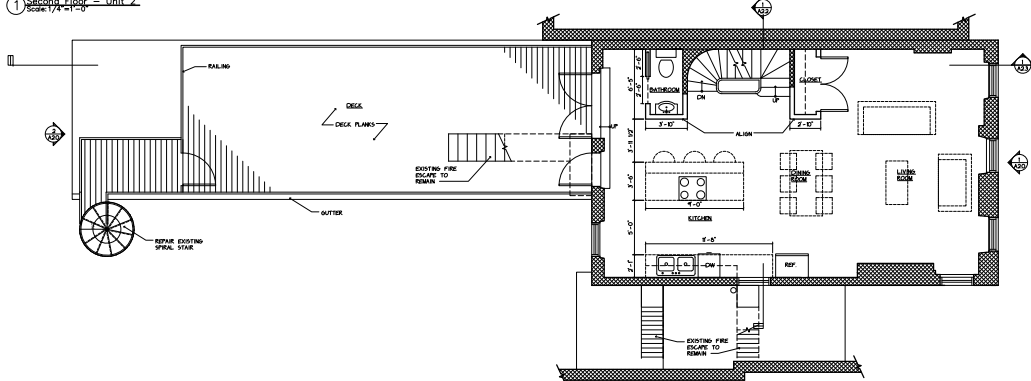
PROJECT #: 11315

DRAWING TITLE:  
Basement, First Floor Plans

A 1.0



① Second Floor - Unit 2  
Scale 1/4" = 1'-0"



② Third Floor - Unit 3  
Scale 1/4" = 1'-0"

ARCHITECT  
**CENTREPOINT**  
ARCHITECTS

561 Windsor Street, A404  
Somerville, MA 02143 T: 617.738.3701

33 Bowdoin St

33 Bowdoin St  
Boston, MA

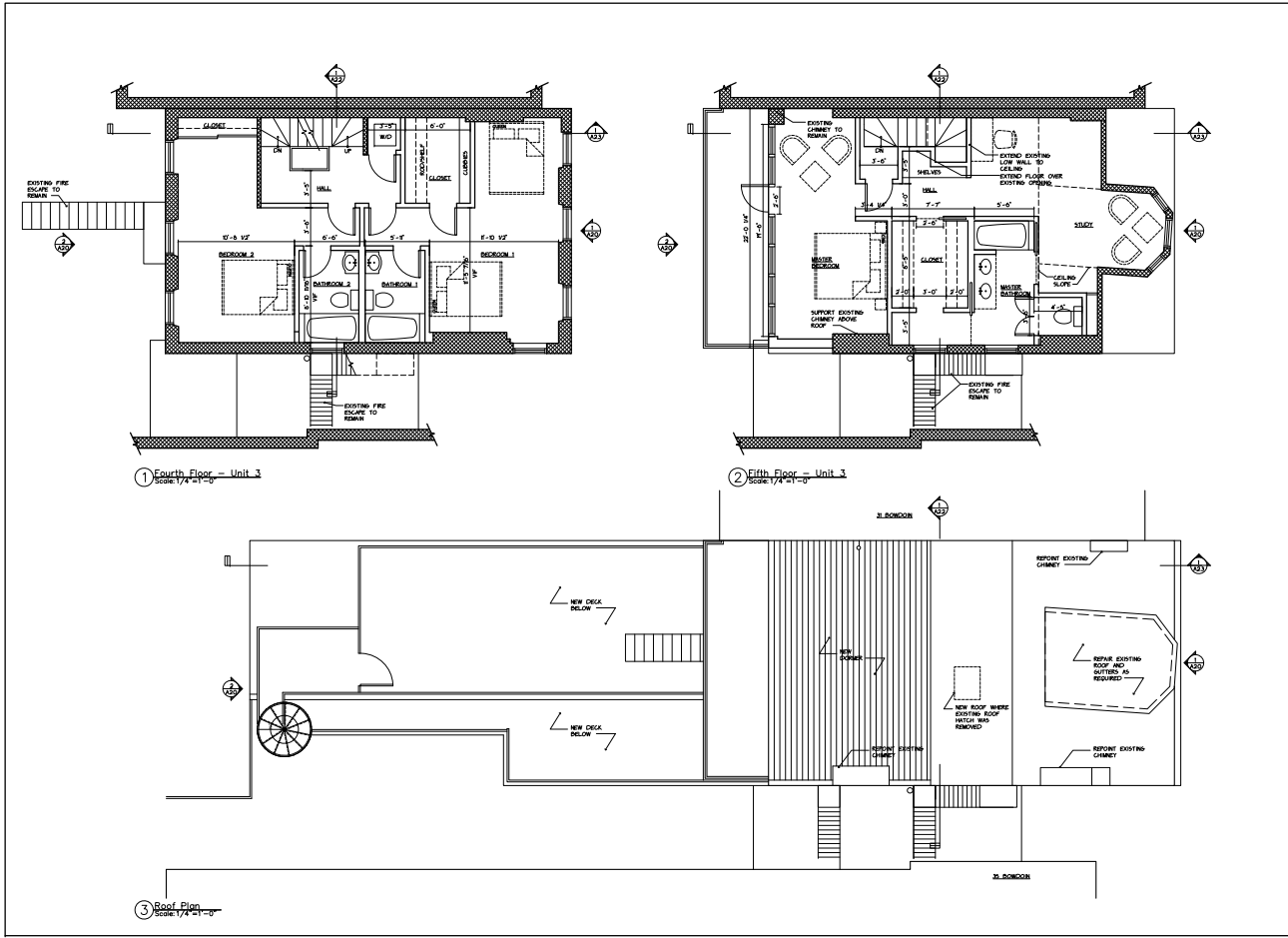
Permit

No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
Second and Third Floor Plans

A1.1



ARCHITECT  
**CENTREPOINT**  
ARCHITECTS

561 Windsor Street, A404  
Somerville, MA 02143 T: 617.718.3701

**33 Bowdoin St**

33 Bowdoin St  
Boston, MA

Permit

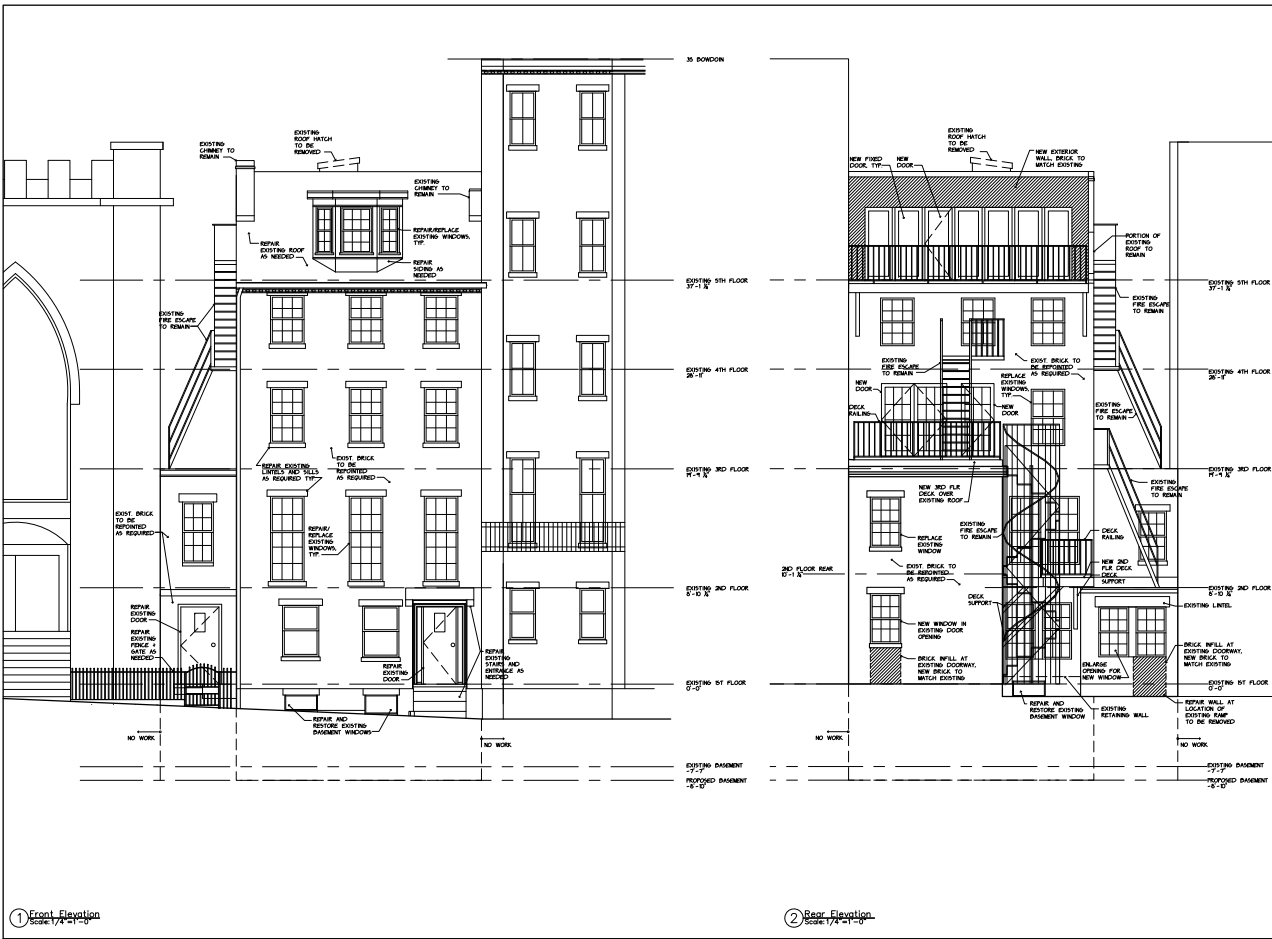
No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
Third, Fourth and Roof Plans

A12





ARCHITECT  
**CENTREPOINT**  
 ARCHITECTS

561 Windsor Street, A404  
 Somerville, MA 02143 T: 617.338.3703

**33 Bowdoin St**

33 Bowdoin St  
 Boston, MA

Permit

No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
 Front + Rear Elevations

A2.0

① Front Elevation  
 Scale: 1/4" = 1'-0"

② Rear Elevation  
 Scale: 1/4" = 1'-0"

ARCHITECT  
**CENTREPOINT**  
 ARCHITECTS

561 Windsor Street, A404  
 Somerville, MA 02143 T: 617.318.3703

**33 Bowdoin St**

33 Bowdoin St  
 Boston, MA

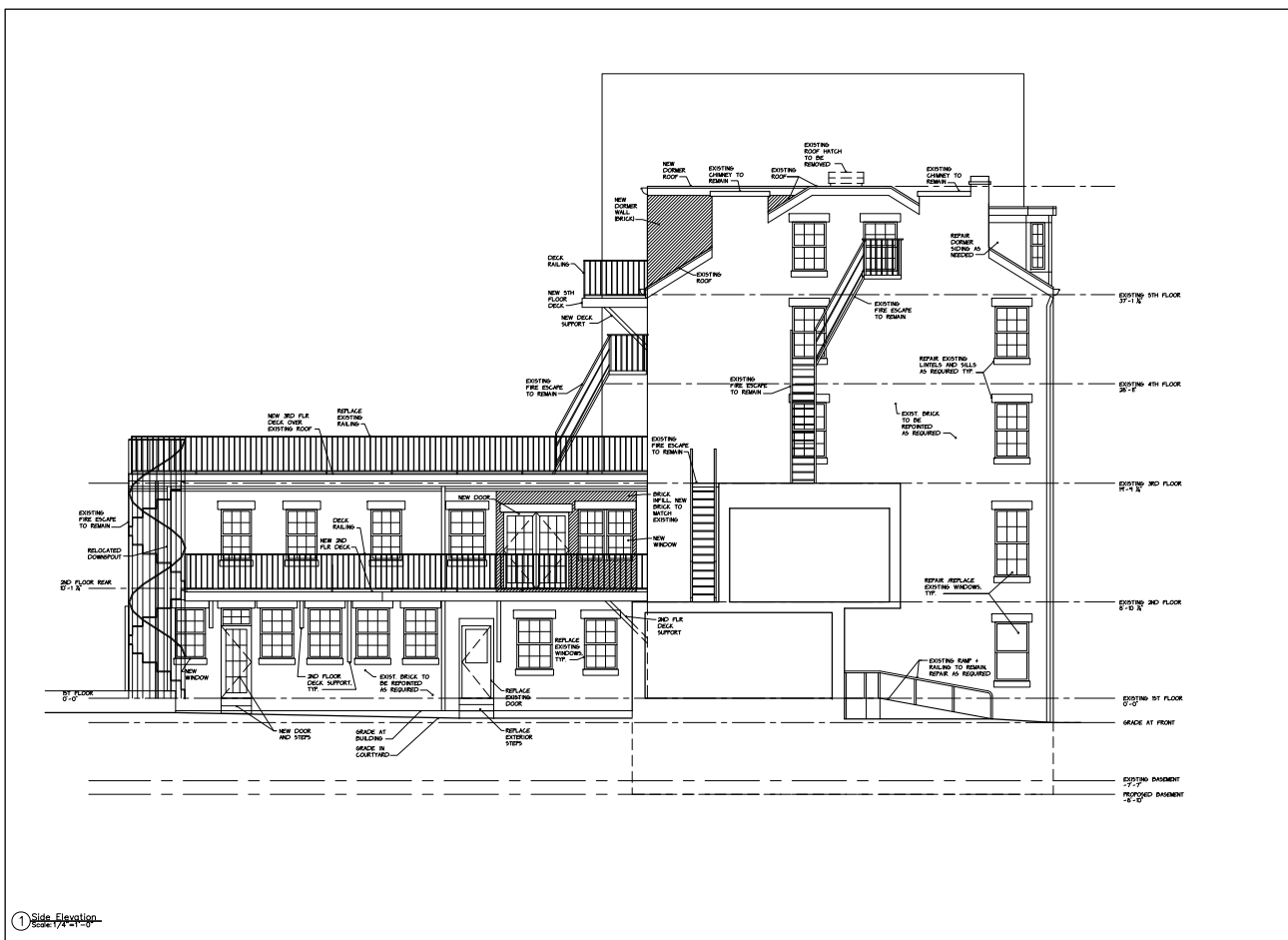
Permit

No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
 Side Elevation

A2.1



1 Side Elevation  
 Scale: 1/4" = 1'-0"

ARCHITECT  
**CENTREPOINT**  
 ARCHITECTS  
 561 Windsor Street, A404  
 Somerville, MA 02143 T: 617.318.3703

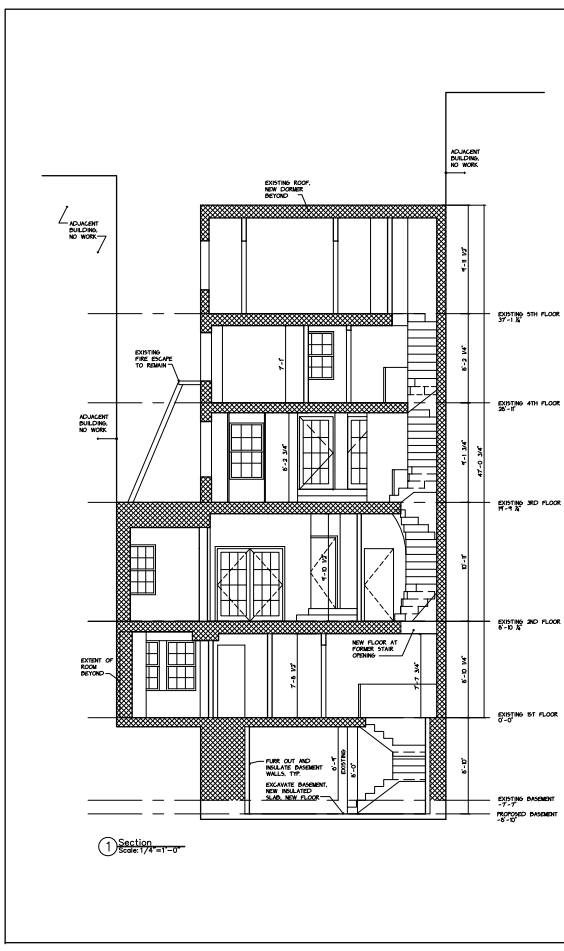
**33 Bowdoin St**  
 Boston, MA

Permit

No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315  
 DRAWING TITLE:  
 Proposed Sections

A 2.2



ARCHITECT  
**CENTREPOINT**  
 ARCHITECTS

561 Windsor Street, A404  
 Somerville, MA 02143 T: 617.318.3701

**33 Bowdoin St**

33 Bowdoin St  
 Boston, MA

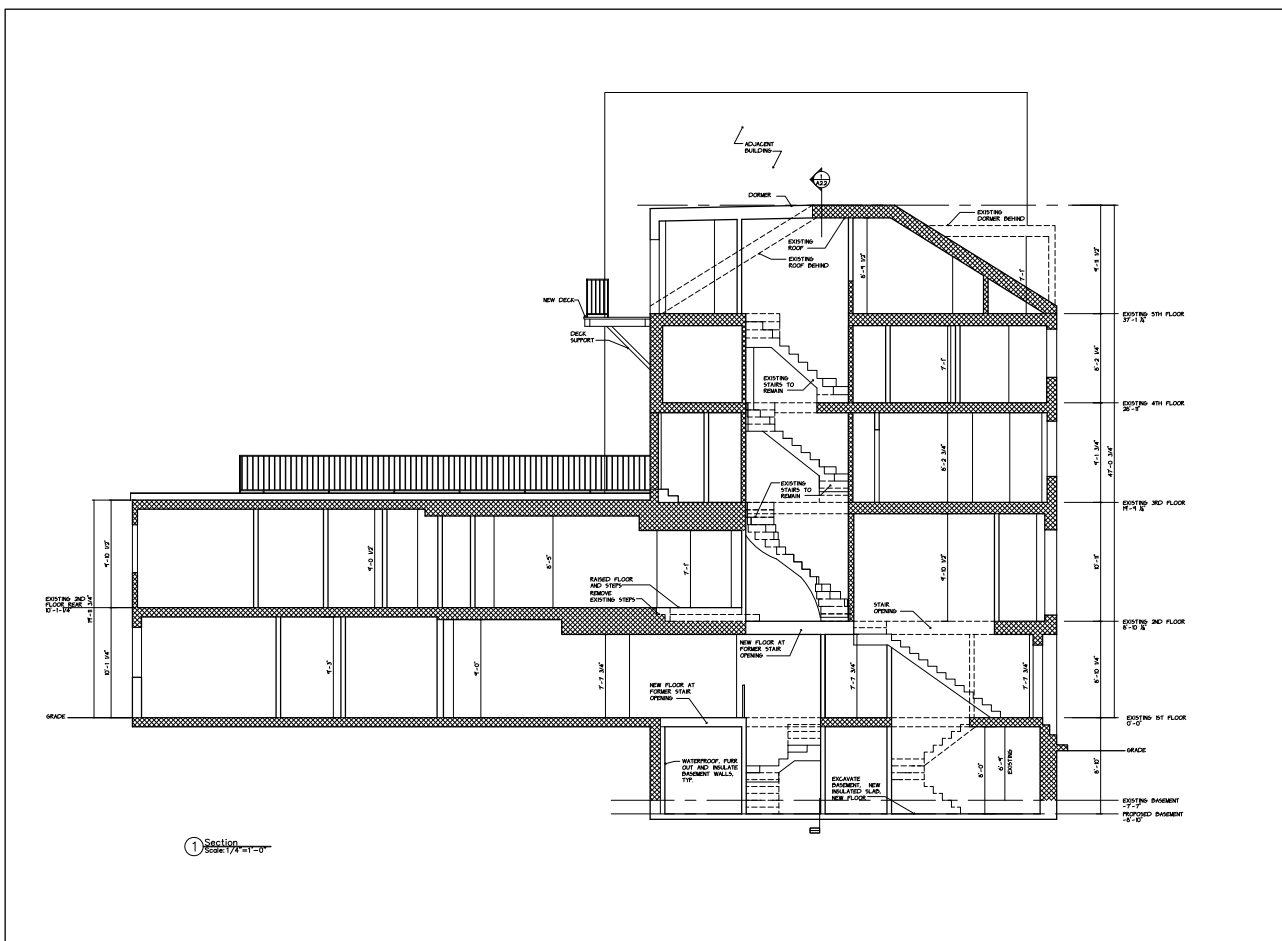
Permit

No.	ISSUE	DATE
01	Permit	04.22.2015

PROJECT #: 11315

DRAWING TITLE:  
 Proposed Sections

A 2.3



1 Section  
 Scale: 1/4"=1'-0"



2015 00022152

Bk: 54217 Pg: 240 Page: 1 of 3

Recorded: 03/24/2015 04:03 PM

ATTEST: Francis M. Roache, Register  
Suffolk County Registry of Deeds

MASSACHUSETTS EXCISE TAX  
Suffolk County District ROD # 001  
Date: 03/24/2015 04:03 PM  
3451 Doc# 00022152  
\$4,500,000.00  
**CANCELLED**

**QUITCLAIM DEED**

**THE CATHEDRAL CHURCH OF ST. PAUL IN THE DIOCESE OF MASSACHUSETTS**, a Massachusetts religious nonprofit corporation, successor by merger to Church of St. John the Evangelist, Inc., having an address of 138 Tremont Street, Boston, Massachusetts 02111, for consideration of Four Million Five Hundred Thousand and 00/100 Dollars (**\$4,500,000.00**) paid, grants to **33-35 BOWDOIN STREET LLC**, a Massachusetts limited liability company, with an address of 28 Temple Street No. 1, Boston, Massachusetts 02114, with quitclaim covenants, two parcels of land, together with all buildings and improvements thereon, situated in Boston, Suffolk County, Massachusetts bounded and described as follows:

*33-35 Bowdoin St., Boston*

PARCEL ONE:

A certain parcel of land with the buildings thereon situated in said Boston bounded:

- EASTERLY on Bowdoin Street, about twenty-three (23) feet;
- SOUTHERLY on other land now or formerly of the grantor, formerly of Bowdoin Street Church, eighty-four (84) feet, eleven and one half (11 ½ ) inches;
- WESTERLY on land now or formerly of Merriam and on a passageway, twenty-one (21) feet, six (6) inches; and
- NORTHERLY on land formerly of Joseph Coolidge, eighty-four (84) feet, seven (7) inches.

PARCEL TWO:

A certain parcel of land situated in the westerly part of said Boston and bounded and described as follows:

- EASTERLY on Bowdoin Street, there measuring ninety (90) feet;
- SOUTHERLY on land formerly owned by Samuel Parkman, to the stone wall which separates the premises from the land of now or formerly of Nichols, Hodgkins and G. Homer there measuring ninety-six (96) feet, ten (10) inches;

*Law Offices of David J. Murphy, P.C.  
160 Federal St., 13th Floor  
Boston, MA 02110*

968234

WESTERLY by said stone wall and other land now or formerly of the grantor to the Estate of Thomas Redman's heirs, there measuring sixty-eight (68) feet, one (1) inch, more or less, then turning at right angles and running

WESTERLY there measuring two (2) feet; then turning at right angles and running

NORTHERLY and bounded westerly by the said Estate of Redman's heirs, there measuring twenty-one (21) feet, nine (9) inches; then turning and running

EASTERLY and bounded northerly by land now or formerly of the late Dr. George Parkman and Parcel One of the grantor, one hundred five (105) feet, six (6) inches, more or less, to said Bowdoin Street, be the same, more or less.

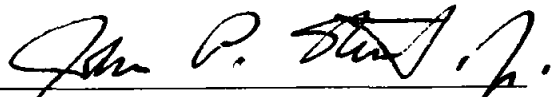
Parcel One and Parcel Two are conveyed subject and together with the benefit of all restrictions, rights, conditions, easements, reservations and other matters of record insofar as the same are in effect and applicable.

The grantor is exempt from federal income tax under section 501 of the Internal Revenue Code and, accordingly, is exempt from the Massachusetts corporate excise tax.

Parcel One and Parcel Two are a portion of the premises conveyed to the Church of St. John the Evangelist, Inc. by deed of the Society of St. John the Evangelist dated November 20, 1985 and recorded with the Suffolk County Registry of Deeds, Book 12096, Page 252. See also Articles of Merger of Church of St. John the Evangelist, Inc. and The Cathedral Church of St. Paul in the Diocese of Massachusetts recorded herewith.


EXECUTED as a sealed instrument this 24 day of MARCH, 2015.

THE CATHEDRAL CHURCH OF ST. PAUL  
IN THE DIOCESE OF MASSACHUSETTS


By:   
John P. Streit, Jr., Dean

COMMONWEALTH OF MASSACHUSETTS  
COUNTY OF

Before me, the undersigned notary public, on this 24<sup>th</sup> day of MARCH, 2015, personally appeared John P. Streit, Jr. who is personally known to me or was proved to me through a current document issued by a federal or state government agency bearing a photographic image of the signatory's face and signature, to be the person whose name is signed to the foregoing instrument and acknowledged to me that he signed it as his free act and deed and free act and deed of The Cathedral Church of St. Paul in the Diocese of Massachusetts, in his capacity as Dean of The Cathedral Church of St. Paul in the Diocese of Massachusetts voluntarily for its stated purpose.



[notary seal]



BRUCE I. MILLER  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
August 3, 2018

ADDRESS OF PREMISES: 33-35 Bowdoin Street, Boston, Massachusetts

SUFFOLK REGISTRY OF DEEDS  
OFFICE OF THE CLERK

98 DEC -7 AM 11: 11

107

*Paul J. [unclear]*

REGISTERED - PRESERVATION RESTRICTION AGREEMENT  
between the COMMONWEALTH OF MASSACHUSETTS  
by and through the MASSACHUSETTS HISTORICAL COMMISSION  
and the Church of Saint John the Evangelist, Inc.

The parties to this Agreement are the Commonwealth of Massachusetts, by and through the Massachusetts Historical Commission located at the Massachusetts Archives Building, 220 Morrissey Boulevard, Boston, Massachusetts 02125, hereinafter referred to as the Commission, and the Church of Saint John the Evangelist, Inc. 35 Bowdoin Street, Boston, Ma. 02114 hereinafter referred to as the Grantor.

WHEREAS, the Grantor is the owner in fee simple of certain real property with improvements known as the Church of Saint John the Evangelist, thereon as described in a deed dated November 20, 1985, from The Society of St. John the Evangelist to the Church of St. John the Evangelist, Inc. recorded with the Suffolk County Registry of Deeds on December 5, 1985, (Exhibit A), and which is located at 35 Bowdoin Street, hereinafter referred to as the Premises.

WHEREAS, the Grantor wishes to impose certain restrictions, obligations and duties upon it as the owner of the Premises and on the successors to its right, title and interest therein, with respect to maintenance, protection, and preservation of the Premises in order to protect the architectural, archaeological and historical integrity thereof; and

WHEREAS, the Premises is listed in the State Register of Historic Places as a contributing property to the Beacon Hill National Register Historic District; and

WHEREAS, the preservation of the Premises is important to the public for the enjoyment and appreciation of its architectural, archaeological and historical heritage and will serve the public interest in a manner consistent with the purposes of M.G.L. chapter 184, section 32, hereinafter referred to as the Act; and

WHEREAS, the Commission is a government body organized under the laws of the

184



Commonwealth of Massachusetts and is authorized to accept these preservation restrictions under the Act;

NOW, THEREFORE, for good and valuable consideration, the Grantor conveys to the Commission the following preservation restrictions which shall be for a period in Perpetuity to the Premises.

These preservation restrictions are set forth so as to ensure the preservation of those characteristics which contribute to the architectural, archaeological and historical integrity of the Premises which have been listed on the National and/or State Registers of Historic Places, under applicable state and federal legislation.

Characteristics which contribute to the architectural, archaeological and historical integrity of the Premises include, but are not limited to, the artifacts, features, materials, appearance, and workmanship of the Premises, including those characteristics which originally qualified the Premises for listing in the National and/or State Registers of Historic Places.

The terms of the Preservation Restriction are as follows:

1. Maintenance of Premises: The Grantor agrees to assume the total cost of continued maintenance, repair and administration of the Premises so as to preserve the characteristics which contribute to the architectural, archaeological and historical integrity of the Premises in a manner satisfactory to the Commission according to the Secretary of the Interior's "Standards for the Treatment of Historic Properties." The Grantor may seek financial assistance from any source available to it. The Commission does not assume any obligation for maintaining, repairing or administering the Premises.

2. Inspection: The Grantor agrees that the Commission may inspect the Premises from time to time upon reasonable notice to determine whether the Grantor is in compliance with the terms of this Agreement.

3. Alterations: The Grantor agrees that no alterations shall be made to the Premises, including the alteration of any interior, unless (a) clearly of minor nature and not affecting the characteristics which contribute to the architectural, archaeological or historical integrity of the Premises, or (b) the Commission has previously determined that it will not impair such characteristics after reviewing

plans and specifications submitted by the Grantor, or (c) required by casualty or other emergency promptly reported to the Commission. Ordinary maintenance and repair of the Premises may be made without the written permission of the Commission. For purposes of this section, interpretation of what constitutes alterations of a minor nature and ordinary maintenance and repair is governed by the Restriction Guidelines which are attached to this Agreement and hereby incorporated by reference.

4. Assignment: The Commission may assign this Agreement to another governmental body or to any charitable corporation or trust among the purposes of which is the maintenance and preservation of historic properties only in the event that the Commission should cease to function in its present capacity.

5. Validity and Severability: The invalidity of M.G.L. c. 184 or any part thereof shall not affect the validity and enforceability of this Agreement according to its terms. The invalidity or unenforceability of any provision of this Agreement shall not affect the validity or enforceability of any other provision of this Agreement.

6. Recording: The Grantor agrees to record this Agreement with the appropriate Registry of Deeds and file a copy of such recorded instrument with the Commission.

7. Other Provisions: None applicable

The burden of these restrictions enumerated in paragraphs 1 through 7, inclusive, shall run with the land and be binding upon future owners of an interest therein.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this 18th day of August, 1998.

Rev. Jeannette Myers, Pastor  
Jeff Galt, Senior Warden  
David Wheat, Clerk

COMMONWEALTH OF MASSACHUSETTS

Suffolk County, ss.

August 18, 1998

Then personally appeared the above named Rev. Jeannette Myers, Jeffrey Mills, Sr. Warden, David Wheat, Clerk and acknowledged the foregoing instrument to be the free act and deed of The Church of St. John the Evangelist before me.

Notary Public Cynthia D. Pope  
My Commission Expires 2003

CYNTHIA D. POPE  
Notary Public  
My Comm. Expires Sept. 28, 2003

APPROVAL BY THE MASSACHUSETTS HISTORICAL COMMISSION

The undersigned hereby certifies that the foregoing preservation restrictions have been approved pursuant to Massachusetts General Laws, Chapter 184, section 32.

MASSACHUSETTS HISTORICAL COMMISSION

By Judith B. McDonough  
Judith B. McDonough  
Executive Director  
Massachusetts Historical Commission

COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss. November 2, 1998

Then personally appeared the above named Judith B. McDonough and acknowledged the foregoing instrument to be the free act and deed of the Massachusetts Historical Commission, before

Notary Public

Eleanore Fitzgerald  
My Commission Expires 10/9/2003

RESTRICTION GUIDELINES

The purpose of the Restriction Guidelines is to clarify paragraph three of the terms of the preservation restriction which deals with alterations to the premises. Under this section permission from the Massachusetts Historical Commission is required for any major alteration. Alterations of a minor nature which are part of ordinary maintenance and repair do not require MHC review.

In an effort to explain what constitutes a minor alteration and what constitutes a major change which must be reviewed by the MHC, the following list has been developed. By no means is this list comprehensive: it is only a sampling of some of the more common alterations which may be contemplated by building owners.

PAINT

Minor - Exterior or interior hand scraping and repainting of non-decorative and non-significant surfaces as part of periodic maintenance.

Major - Painting or fully stripping decorative surfaces or distinctive stylistic features including murals, stenciling, wallpaper, ornamental woodwork, stone, decorative or significant original plaster.

WINDOWS AND DOORS

Minor - Regular maintenance including caulking, painting and necessary reglazing. Repair or in-kind replacement of existing individual decayed window parts.

Major - Wholesale replacement of units; change in fenestration or materials; alteration of profile or setback of windows. The addition of storm windows is also considered a major change, however, with notification it is commonly acceptable.

EXTERIOR

Minor - Spot repair of existing cladding and roofing including in-kind replacement of clapboards, shingles, slates, etc.

Major - Large scale repair or replacement of cladding or roofing. Change involving inappropriate removal or addition of materials or building elements (i.e. removal of chimneys or cornice detailing; installation of architectural detail which does not have a historical basis); altering or demolishing building additions; spot repointing of masonry. Structural stabilization of the property is also considered a major alteration.

LANDSCAPE/OUTBUILDINGS

Minor - Routine maintenance of outbuildings and landscape including lawn mowing, pruning, planting, painting, and repair.

Major - Moving or subdividing buildings or property; altering of property; altering or removing significant landscape features such as gardens, vistas, walks, plantings; ground disturbance affecting archaeological resources.

WALLS/PARTITIONS

Minor - Making fully reversible changes (i.e. sealing off doors in situ, leaving doors and door

openings fully exposed) to the spatial arrangement of a non-significant portion of the building.

Major - Creating new openings in walls or permanently sealing off existing openings; adding permanent partitions which obscure significant original room arrangement; demolishing existing walls; removing or altering stylistic features; altering primary staircases.

#### HEATING/AIR CONDITIONING/ELECTRICAL/PLUMBING SYSTEMS

Minor - Repair of existing systems.

Major - Installing or upgrading systems which will result in major appearance changes (i.e. dropped ceilings, disfigured walls or floors, exposed wiring, ducts, and piping); the removal of substantial quantities of original plaster or other materials in the course of construction.

Changes classified as major alterations are not necessarily unacceptable. Under the preservation restriction such changes must be reviewed by the MHC and their impact on the historic integrity of the premise assessed.

It is the responsibility of the property owner to notify the MHC in writing when any major alterations are contemplated. Substantial alterations may necessitate review of plans and specifications.

The intent of the preservation restriction is to enable the Commission to review proposed alterations and assess their impact on the integrity of the structure, not to preclude future change. MHC staff will attempt to work with property owners to develop mutually satisfactory solutions which are in the best interests of the property.

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DEED

REC 270

KNOW ALL MEN BY THESE PRESENTS that THE SOCIETY OF ST. JOHN THE EVANGELIST, a religious corporation duly organized under the laws of the Commonwealth of Massachusetts and located at 980 Memorial Drive, Cambridge, Middlesex County, Massachusetts, for consideration less than One Hundred (\$100.00) Dollars, grants to CHURCH OF ST. JOHN THE EVANGELIST, INC., a Massachusetts religious corporation, located at 33 Bowdoin Street, Boston, Suffolk County, Massachusetts, WITH QUITCLAIM COVENANTS, the land in Boston, Suffolk County, as follows:

PARCEL ONE

A certain parcel of land with the buildings thereon situated in said Boston bounded:

- EASTERLY on Bowdoin Street about twenty-three (23) feet;
- SOUTHERLY on other land of the Grantor formerly of the Bowdoin Street Church, eighty-four (84) feet, eleven and one half (11 1/2) inches;
- WESTERLY on land now or formerly of Merriam and on a passageway) twenty-one (21) feet, six (6) inches; and
- NORTHERLY on land formerly of Joseph Coolidge, eighty-four (84) feet, seven (7) inches,

or however otherwise bounded, measured or described, with the rights, easements, privileges and appurtenances thereto belonging.

Being the same premises conveyed to said The Society of St. John the Evangelist by deed of Edward W. Osborne, Duncan Convers and William H. Longridge, trustees, dated May 14, 1900 and recorded with Suffolk County Registry of Deeds at Book 2738, Page 625.

33-35 Bowdoin Street) Boston, Massachusetts  
(41-46 Temple Street )

RECEIVED

ADDRESS OF PREMISES:  
DEC 5 1 37 PM '85

*Paul H. Terry*  
REGISTRY

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12096 253

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PARCEL TWO

A certain parcel of land situated in the westerly part of said Boston and bounded and described as follows:

- EASTERLY on Bowdoin Street, there measuring ninety (90) feet;
- SOUTHERLY on land formerly owned by Samuel Parkman, to the stone wall which separates the premises from the land of Nichols, Hodgkins and G. Homer (or formerly owned by them) there measuring ninety-six (96) feet, ten (10) inches;
- WESTERLY by said stone wall and Parcels Three and Four to the Estate of Thomas Redman's heirs, there measuring sixty-eight (68) feet, one (1) inch, more or less, then turning at right angles and running
- WESTERLY there measuring two (2) feet; then turning at right angles and running
- NORTHERLY and bounded westerly by the said Estate of Redman's heirs, there measuring twenty one (21) feet, nine (9) inches; then turning and running
- EASTERLY and bounded northerly by land of the late Dr. George Parkman and Parcel One, one hundred five (105) feet, six (6) inches, more or less, to said Bowdoin Street, be the same more or less,

or however otherwise bounded or described, together with the buildings upon the same, and all the privileges and rights and easements thereto belonging.

PARCEL THREE

A certain parcel of land with the buildings thereon bounded and described as follows:

- WESTERLY by Temple Street, twenty-five (25) feet, six (6) inches;
- SOUTHERLY by land formerly of George Homer being Parcel Four, forty-nine (49) feet and six hundred thirty one one thousandths (631/1000) of a foot;
- EASTERLY on land late of the Bowdoin Congregational Society and now of the Grantor, being Parcel Two on a line partly straight and partly curved, twenty-six (26) feet and three (3) inches; and



NORTHERLY by land formerly of Matthew Bailey fifty (50) feet and five hundred sixty-five one thousandths ( $\frac{565}{1000}$ ) of a foot, more or less in each case as to the length of the line or however otherwise bounded or described.

Said Parcels Two and Three being the same premises conveyed to said The Society of St. John the Evangelist by deed of Charles G. Grafton and Richard M. Benson, surviving joint tenants, dated April 6, 1900, and recorded with Suffolk County Registry of Deeds at Book 2707, Page 582, and by deed of the Parish of the Advent, dated April 18, 1901 and recorded with said Deeds at Book 2751, Page 469.

PARCEL FOUR

A certain parcel of land with the improvements thereon, situated on Temple Street in said Boston and described as follows:

WESTERLY by said Temple Street, there measuring about twenty-five (25) feet and six (6) inches;

SOUTHERLY by land formerly of John Bacon and late of Ebenezer B. Nichols, there measuring about fifty-two (52) feet;

EASTERLY by land formerly of the Trustees of the Parish of the Advent and now of the Grantor being Parcel Two, on a line which is partly straight and in part curved, there measuring about twenty-six (26) feet and three (3) inches; and

NORTHERLY by house and land formerly of said Parish of the Advent, being Parcel Three there measuring about fifty (50) feet;

be any or all of said measurements more or less, or however otherwise the said premises may be bounded and described.

Being the same premises conveyed to The Society of St. John the Evangelist by deed of William Hoag, Administrator of the Estate of Sarah Carleton Lord, dated September 15, 1915 and

recorded with Suffolk County Registry of Deeds at Book 3920, page 386, and by deed of Henry T. Arnold and William Hoag, Administrators of the Estate of Russell S. Lord, dated September 15, 1915 and recorded with said Deeds at Book 3920, Page 387.

Parcels Three and Four are subject to a lease to Suffolk University for ten (10) years commencing September 15, 1979, notice of which was recorded with said Deeds in Book 9261 at Page 144.

No transfer stamps are affixed hereto, none being required by law.

This deed creates no new boundaries.

IN WITNESS WHEREOF, The Society of St. John the Evangelist has hereunto fixed its common seal, it having no corporate seal and has caused this instrument to be signed, acknowledged and delivered in its name and behalf by M. Thomas Shaw, its President, and Robert A. Rea, its Treasurer, thereunto duly authorized, this 20<sup>th</sup> day of November, 1985.

THE SOCIETY OF ST. JOHN THE EVANGELIST

BY: M. Thomas Shaw  
M. Thomas Shaw, President

BY: Robert A. Rea  
Robert A. Rea, Treasurer

COMMONWEALTH OF MASSACHUSETTS

Mullins, ss. November 20, 1985

Then personally appeared the above named M. Thomas Shaw, President of The Society of St. John the Evangelist, and Robert A. Rea, Treasurer of The Society of St. John the Evangelist, and acknowledged the foregoing to be the free act and deed of said corporation.

Before me,

[Signature]  
Notary Public  
My Commission Expires 11/20/88  
[Seal]

THIS IS A TRUE COPY OF AN INSTRUMENT  
RECORDED IN THE SUFFOLK COUNTY  
REGISTRY OF DEEDS AT THE BOOK AND  
PAGE ON THE FIRST PAGE HEREOF.

ATTEST:

AUG 21 1998

*Paul P. Tierney*  
PAUL H. TIERNEY, ESQ.  
REGISTER OF DEEDS

28304 096

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2002 APR -3 AM 10:16

*[Signature]*  
**ORDER OF TAKING**

PROPERTY ADDRESS: 44-46 Temple Street, Boston, MA

WHEREAS, on the 8<sup>th</sup> day of February, 2002 the Commissioner of the City of Boston Parks and Recreation Department gave written notice to the Director of the Public Facilities Department that she recommended the acquisition by the City of Boston for Parks and Recreation Department purposes, the two parcels of land owned by Suffolk University located at 44-46 Temple Street in the Beacon Hill district of the City of Boston; and

WHEREAS, on the 14<sup>th</sup> day of March, 2002 the Director of the Public Facilities Department made a written recommendation to the Public Facilities Commission to select the aforementioned site for Parks and Recreation Department purposes and the Public Facilities Commission voted to approve the site selection;

NOW THEREFORE this Commission, pursuant to the authority set out in St. 1966, Chapter 642 and every other power thereunto enabling, being of the opinion that public convenience and necessity so require, does hereby order that the following described parcels of land be taken in fee simple by eminent domain in the name of the City of Boston for Parks and Recreation purposes inclusive of trees standing thereon and structures affixed thereto:

The parcels of land containing 2,567 square feet located at 44-46 Temple Street in the Beacon Hill District of the City of Boston (Ward 3, Assessor's Parcels 00009-000 and 00010-000), more particularly described as Parcels One and Two in a Quitclaim Deed from the Church of St. John the Evangelist, Inc. to Suffolk University dated February 6, 2002 and recorded with the Suffolk County Registry of Deeds on February 8, 2002 in Book 27967 at Page 81.


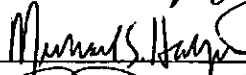

The parcels are taken subject to and with the benefit of any and all restrictions, easements or other rights of record insofar as the same are now in force and applicable, including, without limitation, those restrictions, easements, provisions and other rights of record as set forth in said deed recorded in Book 27967, Page 81. The Commission further acknowledges and states that it is acquiring the above described parcels of land for the purpose of establishing a public park thereon, and as a natural, scenic, historical and aesthetic resource that shall be subject to, and have the protection of, the provisions of Article 97 of the Articles of Amendment to the Constitution of the Commonwealth of Massachusetts.

*[Handwritten mark]*

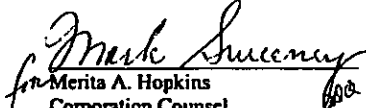
*[Handwritten mark]*

Return to: Paul D. Roche, Esq.  
City of Boston Public Facilities Dept.  
26 Court Street, 11th Floor  
Boston, MA 02108

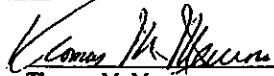
WITNESS our hands and seals this 28<sup>th</sup> day of March, 2002.

 (PUBLIC)  
 (FACILITIES)  
 (COMMISSION)

Approved as to form:

  
 for Merita A. Hopkins  
 Corporation Counsel  
 City of Boston

Approved:

  
 Thomas M. Menino  
 Mayor of Boston

COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss

March 28, 2002

Then personally appeared before me the above named members of the City of Boston Public Facilities Commission and acknowledged the foregoing to be their free act and deed and the free act and deed of the City of Boston Public Facilities Commission.

  
 Notary Public  
 My Commission Expires: May 30, 2008



28304 098  
**DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT**

BOSONS PUBLIC FACILITIES DEPARTMENT  
THOMAS M. MENINO, MAYOR  
CHARLOTTE COLEAR RUTHE, CHIEF AND DIRECTOR

In Public Facilities Commission  
March 28, 2002

**VOTE:** To execute an Order of Taking for Parks and Recreation Department purposes for the parcels of land, inclusive of trees and structures standing thereon or affixed thereto, located at 44-46 Temple Street in the Beacon Hill District of the City of Boston, containing 2,567 square feet of land (Ward 3, Assessor's Parcels 00009-000 and 00010-000). Said parcels are more particularly described as Parcels One and Two on a Quitclaim Deed from the Church of St. John the Evangelist, Inc. to Suffolk University dated February 6, 2002 and recorded on February 8, 2002 with the Suffolk County Registry of Deeds in Book 27967 at Page 81; and

**FURTHER VOTED:** In authorizing the taking of these parcels in the name and on behalf of the City of Boston, the Public Facilities Commission acknowledges that the City is acquiring the parcels as a public park and as a natural, scenic, historic and esthetic resource that shall be subject to the provisions of Article 97 of the Articles of Amendment to the Constitution of the Commonwealth of Massachusetts; and

**FURTHER VOTED:** That the undermentioned be awarded the sum of money set against its name as full compensation for damages in its estate by the taking of the above-described parcels by the City of Boston for Parks and Recreation Department purposes.

<u>OWNER</u>	<u>MORTGAGEES</u>	<u>AWARD OF DAMAGES</u>	<u>CITY SHARE OF TAXES</u>
Suffolk University	None	\$100,000.00	Exempt

*Robt. Murray* (PUBLIC)

*Maura S. Halpin* (FACILITIES)

*Bill D...* (COMMISSION)



27967 081

332

QUITCLAIM DEED

CHURCH OF ST. JOHN THE EVANGELIST, INC., a Massachusetts religious corporation located at 33 Bowdoin Street, Boston, Massachusetts, 02114

in consideration of Four Hundred Seventy-Five Thousand and 00/100 Dollars (\$475,000.00) paid

grants to

SUFFOLK UNIVERSITY, a Massachusetts nonprofit institution of higher education located at 8 Ashburton Place, Boston, Massachusetts, 02118

with QUITCLAIM COVENANTS

the land in Boston, Suffolk County, Massachusetts as follows:

RECORDS SECTION  
SUFFOLK COUNTY  
REGISTER OF DEEDS

SUFFOLK REGISTRY  
RECORDS SECTION  
2002 FEB - 8 PM 1:26

Property Address: 44-46 Temple Street, Boston, MA

Parcel One

A certain parcel of land with the buildings thereon bounded and described as follows:

- WESTERLY by Temple Street, twenty-five (25) feet, six (6) inches;
- SOUTHERLY by land formerly of George Homer being Parcel Two described below, forty-nine (49) feet and six hundred thirty one thousandths (631/1000) of a foot;
- EASTERLY on land late of the Bowdoin Congregational Society and now or formerly of the Church of St. John the Evangelist, Inc., being Parcel Two in a deed to said Church from The Society of St. John the Evangelist dated November 20, 1985 and recorded with the Suffolk County Registry of Deeds in Book 12096, Page 252 on a line partly straight and partly curved, twenty-six (26) feet and three (3) inches; and
- NORTHERLY by land formerly of Matthew Bailey fifty (50) feet and five hundred sixty-five one thousandths (565/1000) of a foot;

more or less in each case as to the length of the line or however otherwise bounded or described.

Parcel Two

A certain parcel of land with the improvements thereon situated on Temple Street in said Boston and described as follows:

- WESTERLY by said Temple Street, there measuring about twenty-five (25) feet and six (6) inches;

345922.4

RETURN TO:  
ANNA R. ACKERBERG, ESQ.  
FOLEY, HOAG & ELIOT LLP  
ONE POST OFFICE SQUARE  
BOSTON, MASS. 02109-2170

25/8

- SOUTHERLY** by land formerly of John Bacon and late of Ebenezer B. Nichols, there measuring about fifty-two (52) feet;
- EASTERLY** by land formerly of the Trustees of the Parish of the Advent and now or formerly of the Church of St. John the Evangelist, Inc., being Parcel Two in a deed to said Church from The Society of St. John the Evangelist dated November 20, 1985 and recorded with the Suffolk County Registry of Deeds in Book 12096, Page 252, and a line which is partly straight and in part curved, there measuring about twenty-six (26) feet and three (3) inches; and
- NORTHERLY** by house and land formerly of said Parish of the Advent, being Parcel One described above there measuring about fifty (50) feet;

be any or all of said measurements more or less, or however otherwise the said premises may be bounded and described.

Parcels One and Two (the "Premises") being a portion of the same premises conveyed to the Grantor by deed of The Society of St. John the Evangelist recorded in the Suffolk County Registry of Deeds, in Book 12096, Page 252.

This conveyance is made for park and open space purposes and is acquired for the purpose of conveying the Premises to the City of Boston. Upon such conveyance to the City of Boston, the Premises shall be used and enjoyed for all purposes for which public parks are used in the City of Boston, and shall have the benefits and protections afforded to parks and open spaces pursuant to Article 97 of the Amendments to the Constitution of the Commonwealth of Massachusetts.

The Premises shall also be subject to an agreement on use and maintenance as may be agreed to between, among others, the City of Boston and the Grantee, and shall in any event remain subject to that certain Preservation Restriction Agreement between the Massachusetts Historical Commission and Grantor dated August 18, 1998 and recorded with the Suffolk County Registry of Deeds in Book 23193, Page 82. Grantee specifically covenants with the Grantor, for the benefit of Grantor's remaining adjacent land, that the Premises shall be used for park and open space purposes.

Grantor hereby reserves from this conveyance, for the benefit of Grantor's remaining adjacent land, the following: (i) an easement for emergency access from the rear door of the building on Grantor's property adjacent to the eastern boundary of the Premises to Temple Street; and (ii) an easement ten (10) feet wide along the entire rear wall of the church building on said Grantor's property for repair to and maintenance of said building. Said conveyance is otherwise made subject to and has the benefit of all rights, reservations and other restrictions of record, insofar as the same are in force and effect.



Grantor represents and warrants that the conveyance herein does not constitute all or substantially all of Grantor's assets in the Commonwealth of Massachusetts.

Executed as a sealed instrument this 6<sup>th</sup> day of February, 2002.

Church of St. John the Evangelist, Inc.

By: [Signature]  
Name: John H. B.  
Its: Senior Warden

By: [Signature]  
Name: Lorraine Dee  
Its: Treasurer

THE COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss

2/6, 2002

Then personally appeared the above-named John H. B., Senior Warden of Church of St. John the Evangelist, Inc. and acknowledged the foregoing instrument to be his/her free act and deed and the free act and deed of said Church of St. John the Evangelist, Inc. before me,

[Signature]  
Notary Public  
My commission expires Nov. 15, 2007

THE COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss

2/6, 2002

Then personally appeared the above-named Lorraine Dee, Treasurer of Church of St. John the Evangelist, Inc. and acknowledged the foregoing instrument to be his/her free act and deed and the free act and deed of said Church of St. John the Evangelist, Inc. before me,

[Signature]  
Notary Public  
My commission expires:



DOROTHY F. LOPES  
NOTARY PUBLIC  
Commonwealth of Massachusetts  
Middlesex County  
My Commission Expires Nov. 15, 2007

**33/35 Bowdoin Street**  
Boston, MA 02114

Project 41415.01  
Date 10/6/15

**FAR Calculations**

Prepared by  
Finegold Alexander

Prepared for  
AD MELIORA  
Rhino Capital

**33/35 Combined**

Floor 0	7,180
Floor 1	8,599
Floor 2	4,655
Floor 3	4,174
Floor 4	1,407
Floor 5	739

GSF	26,754
Parcel	10,696
<b>FAR</b>	<b>2.50</b>

**33/35 Combined**  
Without Dormers

Floor 0	7,180
Floor 1	8,599
Floor 2	4,655
Floor 3	3,724
Floor 4	1,407
Floor 5	739

GSF	26,304
Parcel	10,696
<b>FAR</b>	<b>2.46</b>

**35 Bowdoin Street**

Floor 0	6,362
Floor 1	6,915
Floor 2	2,997
Floor 3	3,333
Floor 4	566

GSF	20,173
Parcel	8,896
<b>FAR</b>	<b>2.27</b>

**35 Bowdoin Street**  
Without Dormers

Floor 0	6,362
Floor 1	6,915
Floor 2	2,997
Floor 3	2,883
Floor 4	566

GSF	19,723
Parcel	8,896
<b>FAR</b>	<b>2.22</b>

**33 Bowdoin Street**

Floor 0	818
Floor 1	1,684
Floor 2	1,658
Floor 3	841
Floor 4	841
Floor 5	739

GSF	6,581
Parcel	1,800
<b>FAR</b>	<b>3.66</b>

This form must be completed and signed by the owner-of-record, their attorney and/or authorized agent. If form is not signed by property owner, please attach a signed letter of authorization designating the authorized agent.



# APPEAL

under Boston Zoning Code

August 31, 2015

Boston, Massachusetts ....., 2015 .....

To the Board of Appeal in the Inspection Services Department of the City of Boston:

Michael P. Ross, Esq., Attorney for the Applicants Jan Steembruge and Michael Olsen

The undersigned, being .....  
The Owner(s) or authorized agent

of the lot at .....  
33-35 Bowdoin Street 03 Boston Proper - H-2-65  
number street ward district

hereby appeal(s) under St. 1956, c. 665, s. 8, to the Board of Appeal in the Inspectional Services Department of the City of Boston the action taken by Inspectional Services Commissioner as outlined in the attached refusal letter.

### DESCRIBE IN DETAIL THE REASON(S) FOR THIS APPEAL

The Applicant proposes to combine the parcels and buildings at 33 and 35 Bowdoin Street, renovate and change occupancy to five (5) residential units, extend the living space into the basement of the combined buildings, with rear dormers and roof decks on both and Professional Office Use on the floor of 35 Bowdoin Street. As such, the Applicant respectfully requests relief from the Zoning Board of Appeals (the "Board") pursuant to Article 7 and Article 27D in the form of a use variance, dimensional variances and an interim planning permit.

### STATE REASONS FOR THIS PROPOSAL

The Applicants proposed addition will allow the Applicant, the owner of the existing buildings located at 33-35 Bowdoin Street, Boston, MA 02108 (the "Property"), to provide enhanced services, including the addition of office space and residences, to the existing and future tenants of the Property. Further, the Applicant will enhance the overall quality of the surrounding neighborhood by improving the Property and its amenities.

### PROVIDE REASONS WHY BOARD SHOULD GRANT RELIEF

The proposed changes to the Property will serve as a benefit to the City of Boston as it provides enhanced services to the surrounding community and existing and future tenants of the Property. The Applicant has designed the proposed changes to the Property in a manner that will be in keeping with the neighborhood. Further, the conditions specific to this Property allow for the proposed changes, denial of this request would deprive the Applicant of the reasonable use of the structure and as such the granting of the requested relief is reasonable and will be in harmony with the general purpose and intent of this code. The preservation and reuse of the existing historic church and rectory located on the Property is in keeping with the quality of the surrounding neighborhood. Given the complex nature of the project, the requested relief is necessary in order to

COMMENTS repurpose the church and rectory structures for viable office and housing use.

OWNER .....  
AUTHORIZED AGENT .....  
Michael P. Ross, Esq., Attorney for Applicant  
ADDRESS Prince Lobel Tye, LLP  
100 Cambridge Street, Suite 2200  
Boston, MA 02114  
TELEPHONE 617-456-8149  
FAX 617-456-8100



**Boston Inspectional Services Department  
Planning and Zoning Division**

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Martin J. Walsh  
Mayor

**ZONING CODE REFUSAL**

Gary P. Moecia  
Inspector of Buildings

DANIEL GLISSMAN  
100 CAMBRIDGE STREET  
SUITE 2200  
BOSTON, MA 02114

August 19, 2015

**Location:** 33-35 BOWDOIN ST BOSTON MA 02114  
**Ward:** 03  
**Zoning District:** Boston Proper  
**Zoning Subdistrict:** H-2-65  
**Appl. # :** ALT499699  
**Date Filed:** July 28, 2015  
**Purpose:** Modify the existing building by renovating and remodeling the existing church and apartments. The Change the use and occupancy of the existing building from a church use to five (5)residences and offices, and add a dormer along the existing roof of the church. Change the use and occupancy of the existing attached residences from "Vicars residence" to 3 residential units, extend the living area into the basement of the existing apartments and add a new rear dormer and roof deck. All work will be done pursuant to the plans provided herein. This Occupancy to now be 5 Apartments and Offices (offices on second and third floors and two residences on first and fourth floors of church building and three residences on side building (Vicars residence).

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

<u>Violation</u>	<u>Violation Description</u>	<u>Violation Comments</u>
Art. 08 Sec. 07	Use: Forbidden	Office Use (Forbidden)
Art. 15 Sec. 15-1	Floor Area Ratio Excessive	
Art. 20 Sec. 01	Rear Yard Insufficient	
Art. 23 Section 1 **	Off-Street Parking (Residential) Insufficient	
Art. 27D	27D-5 Downtown IPOD	27D-17 IPOD Enforcement
Art. 27D Sec. 27D-7.2	Enhanced Height & Floor Area Ratio	

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485.

Luis Santana  
(617)961-3286  
for the Commissioner

Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.

PRINCE LOBEL TYE LLP  
GENERAL OPERATING ACCOUNT  
100 CAMBRIDGE STREET, SUITE 2200  
BOSTON, MA 02114

CITIBANK  
CITIBANK, N.A. BR. #728  
111 HUNTINGTON AVENUE, FL. 30  
BOSTON, MA 02199  
51-7261/2211

47926

Citi Private Bank

(617) 456-8029

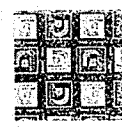
DATE August 31, 2015

AMOUNT

Nine hundred and 00/100\*\*\*\*\* \$ \*\*\*900.00\*\*\*

PAY  
TO THE  
ORDER  
OF

City of Boston  
P.O. Box 55801  
Boston, MA 02205-5801



NOT VALID WITHOUT HOLOGRAM

VOID AFTER 180 DAYS



⑈047926⑈ ⑆221172610⑆ 1255451377⑈

PRINCE LOBEL TYE LLP

47926

Payee: City of Boston  
Vendor ID: 11923

Check Date: Aug 31/15

<u>Invoice Num</u>	<u>Invoice Date</u>	<u>Reference</u>	<u>Invoice Amount</u>	<u>Payment Amt</u>
0500-0501-3375	Aug 31/15	050005013375	\$900.00	\$900.00
Totals:			\$900.00	\$900.00