

**#16 PINCKNEY STREET
BEACON HILL
BOSTON, MA 02114**

Index
A1-Project Information & Site Plan Amended 2/13/18
A2-Proposed Floor Plans Amended 2/13/18
A2-Floor Area Ratio Plans Amended 2/13/18



0501678000

Assessing

Parcel ID : 0501678000
 Address : 16 PINCKNEY ST, 02114
 Owner : SIXTEEN PINCKNEY STREET LLC
 More Info : [Assessor's Report](#)
 See Also : [Property Viewer](#)

Zoning

Zoning District : Boston Proper
 Zoning Subdistrict : H-2-65
 Subdistrict Type : Apartment Residential
 Overlays : [Restricted Parking](#),
 Map No. : 1
 Article : [Underlying Zoning](#)

Other Layers

[Historic District](#): Historic Beacon Hill District
[Parking Freeze Zone](#): Boston Proper

Zoning

Zoning District: H-2-65
 Lot Area: 1,000 sf
 Allowable FAR: 2.0
 Max. Allowable Building Height: 65'-0"

Area

	Existing	Proposed
Bsmt	0 sf	356 sf
1st	857 sf	857 sf
2nd	844 sf	844 sf
3rd	650 sf	650 sf
4th	416 sf	416 sf
Total	2,767 sf	3,123 sf

Allowable Area: 2,000 sf

Exterior Walls Type 1 (brick)
 Interior Construction Type 5

Single Family Residence

Proposed Use: Residential R-3 (single family)
 Sprinklered: Yes
 Floors 1-4 will have 2 means of egress via egress doors, or egress stair and existing fire escapes.

Existing Building Analysis

2009 IEBC with MA Amendments
 All new work must comply with materials and methods for new construction (IEBC 602.4)

Energy Conservation

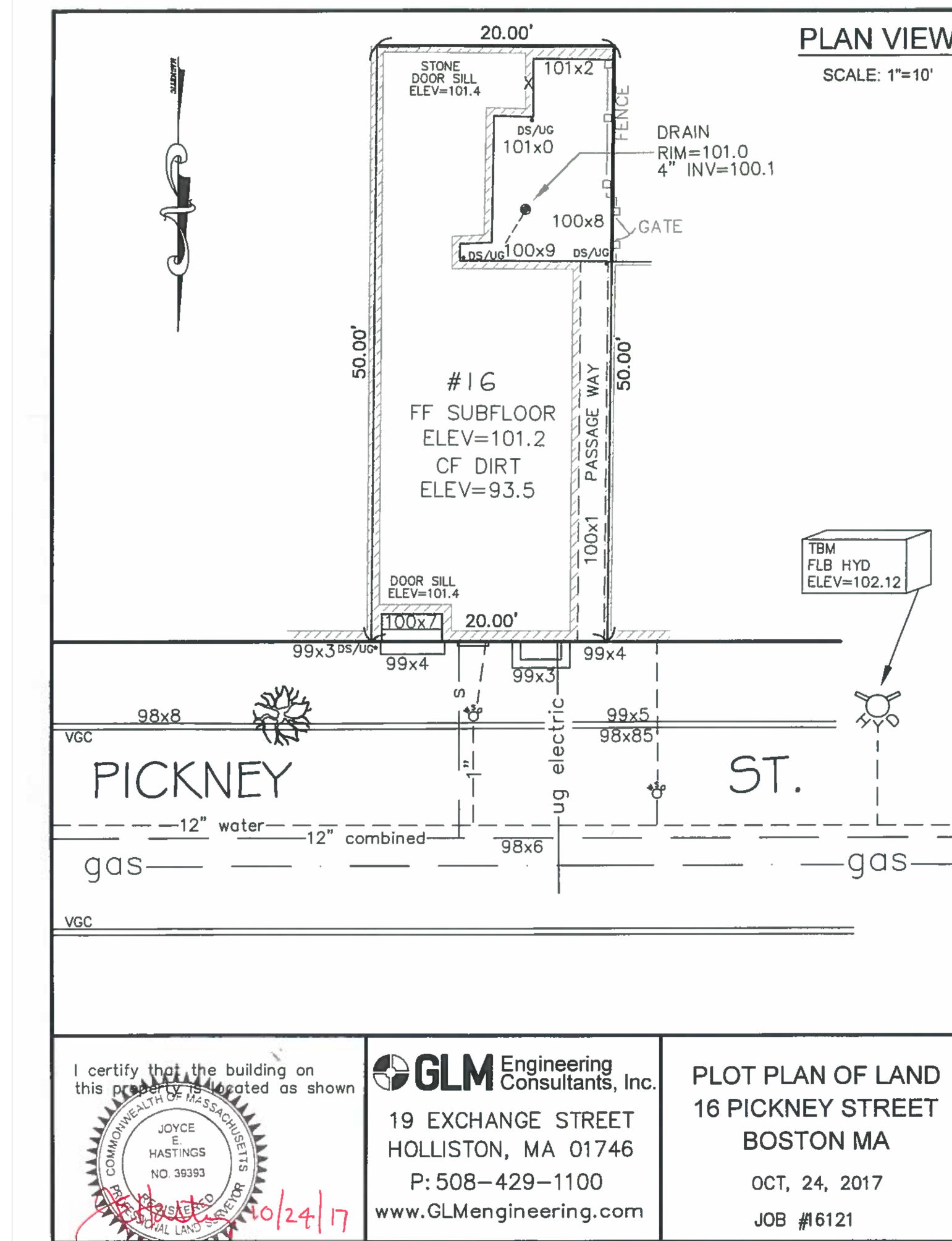
To be specified and verified by HERS rater.

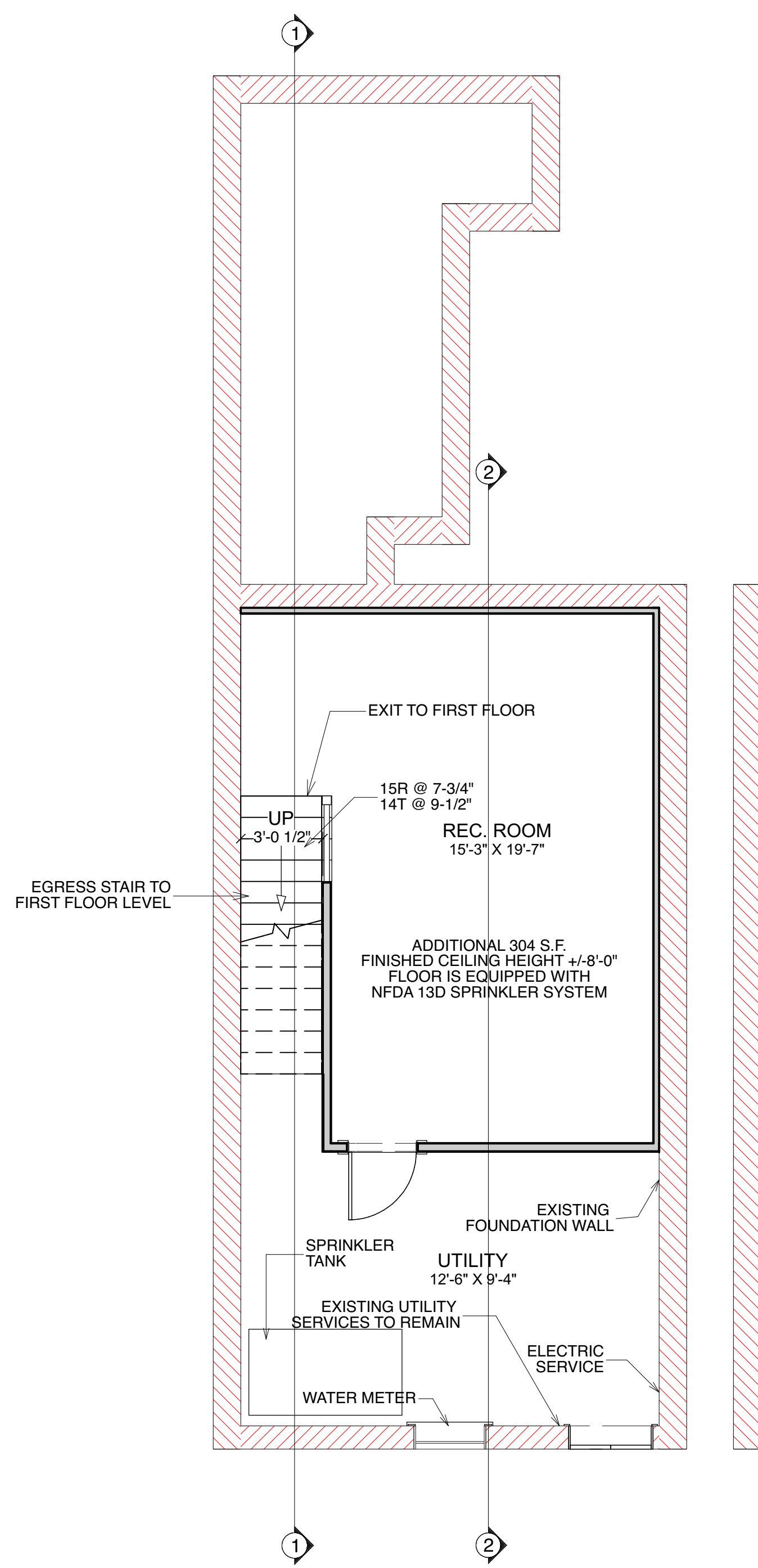
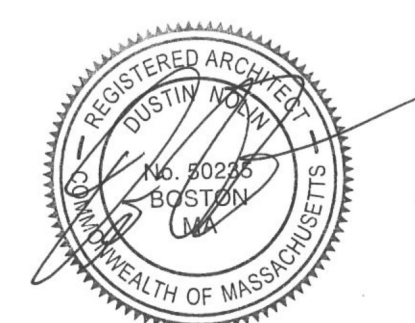
Narrative

Proposed finishing of an existing unfinished basement level which was lowered approximately 18"-24" to provide +/-8'-0" of finished ceiling height. Only alteration being requested is the inclusion of the finished rec. room area as floor area. The existing building exceeds the allowable FAR by 786 s.f. (2,000 s.f. allowed, 2,767 s.f. existing). The basement provide an additional 356 s.f. towards the FAR calculation.

General Notes

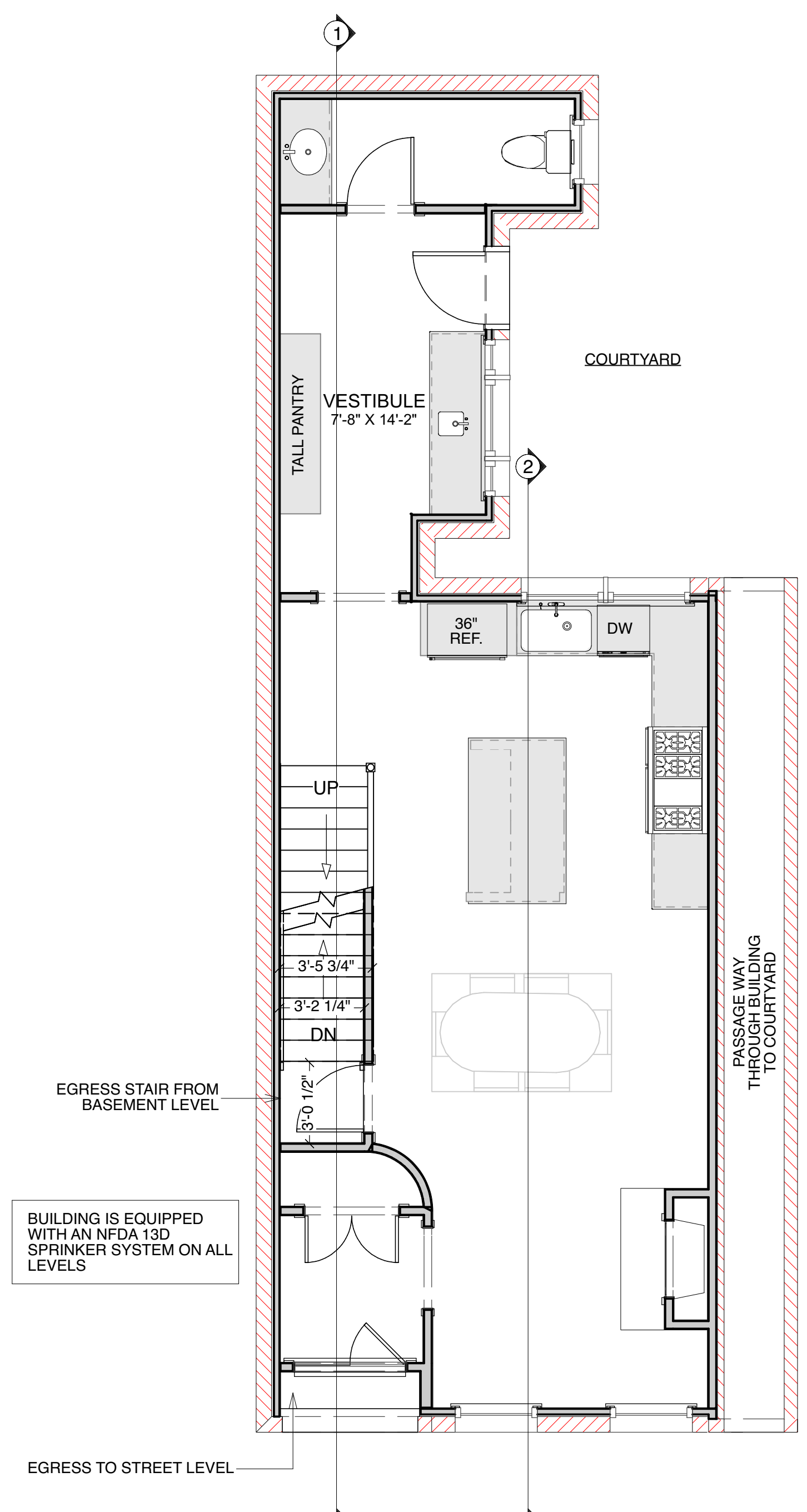
1. Unless otherwise noted all dimensions are from rough frame face to rough frame face
2. G.C. to field verify all dimensions prior to construction and notify architect or any discrepancies or unforeseen conditions.
3. The G.C. shall be responsible for providing all design/building systems including mechanical, electrical, plumbing, and fire sprinkler systems per Massachusetts Building Code and for procuring all permits and sign-off inspections.
4. G.C. is responsible for obtaining and paying for all permits required for this project.
5. G.C. is responsible for repairing any work damaged by his forces while performing all work.



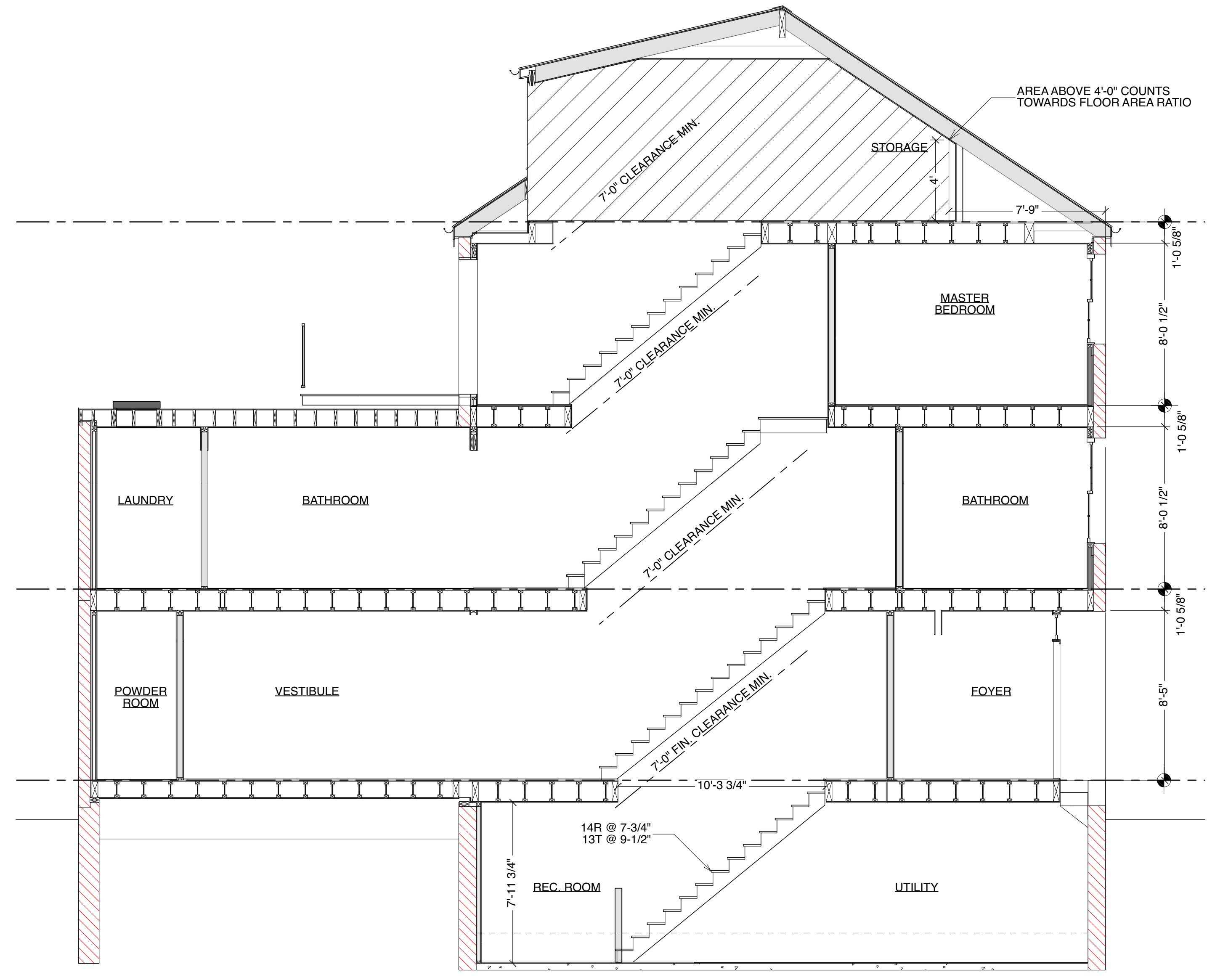


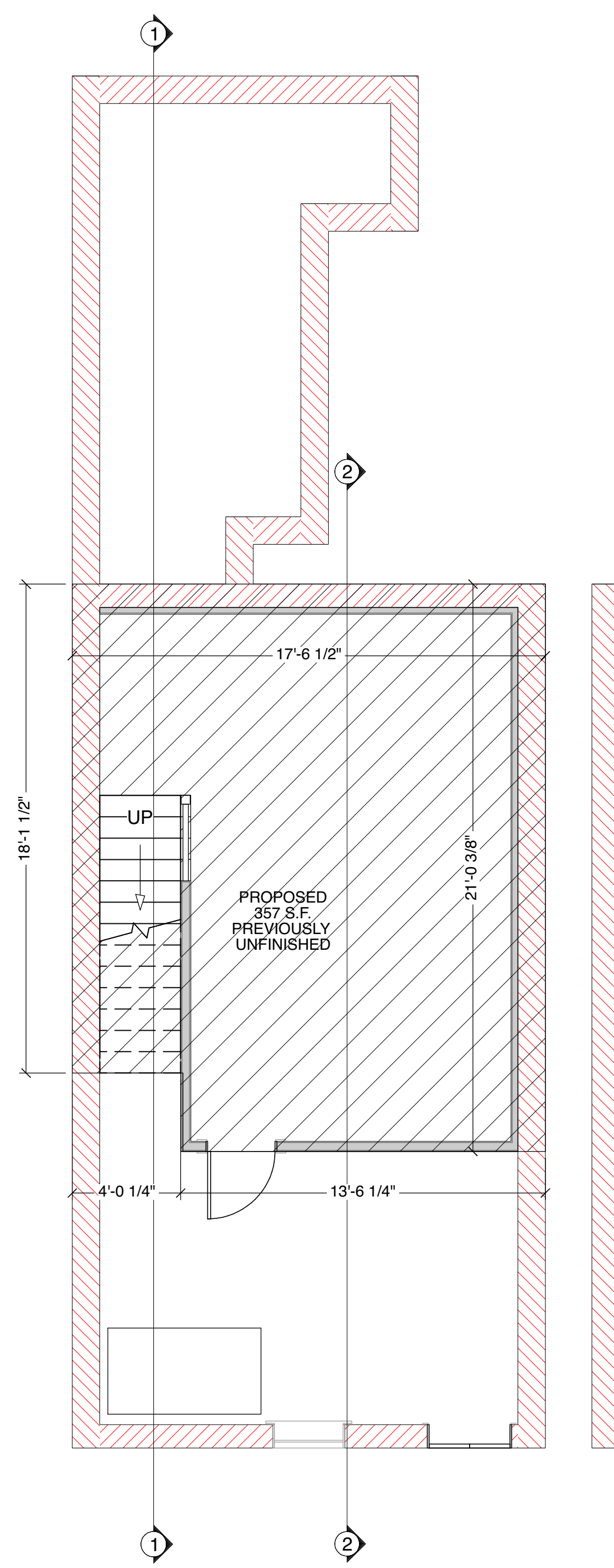
1 BASEMENT PLAN

ONLY ONE EXIT FROM STORY REQUIRED
FOR R-3 OCCUPANCY WITH AUTOMATIC
SPRINKLER SYSTEM PER IBC 1021.1
EXCEPTION #4 AND IBC 1021.2.

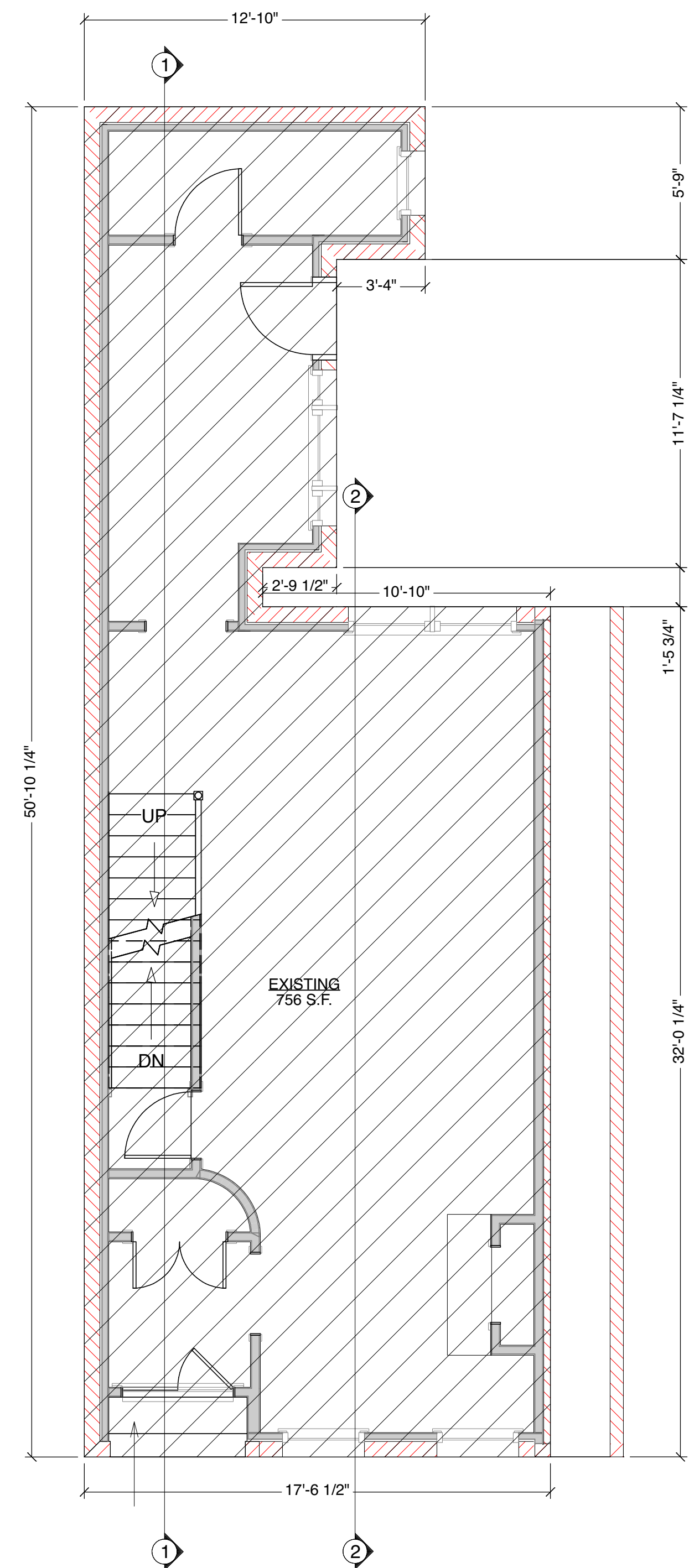


2 FIRST FLOOR PLAN

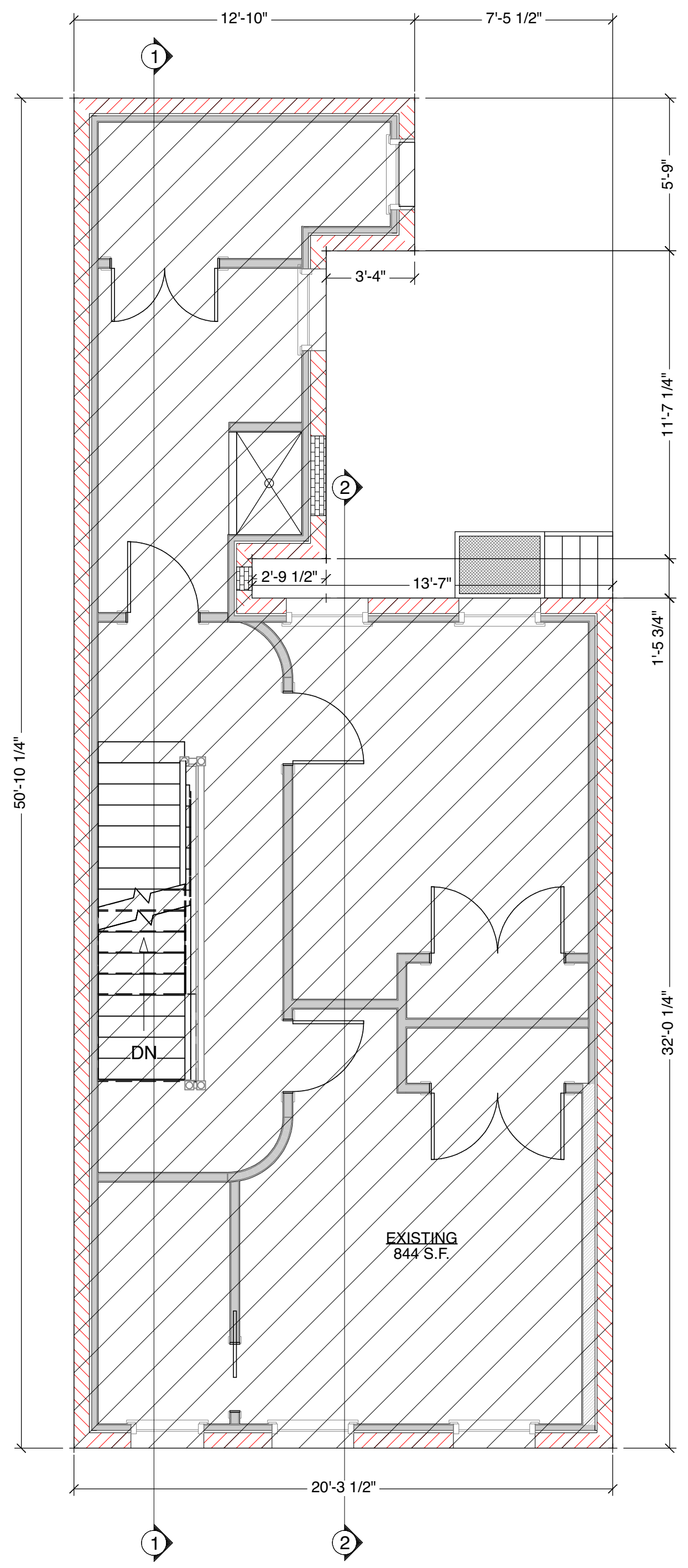




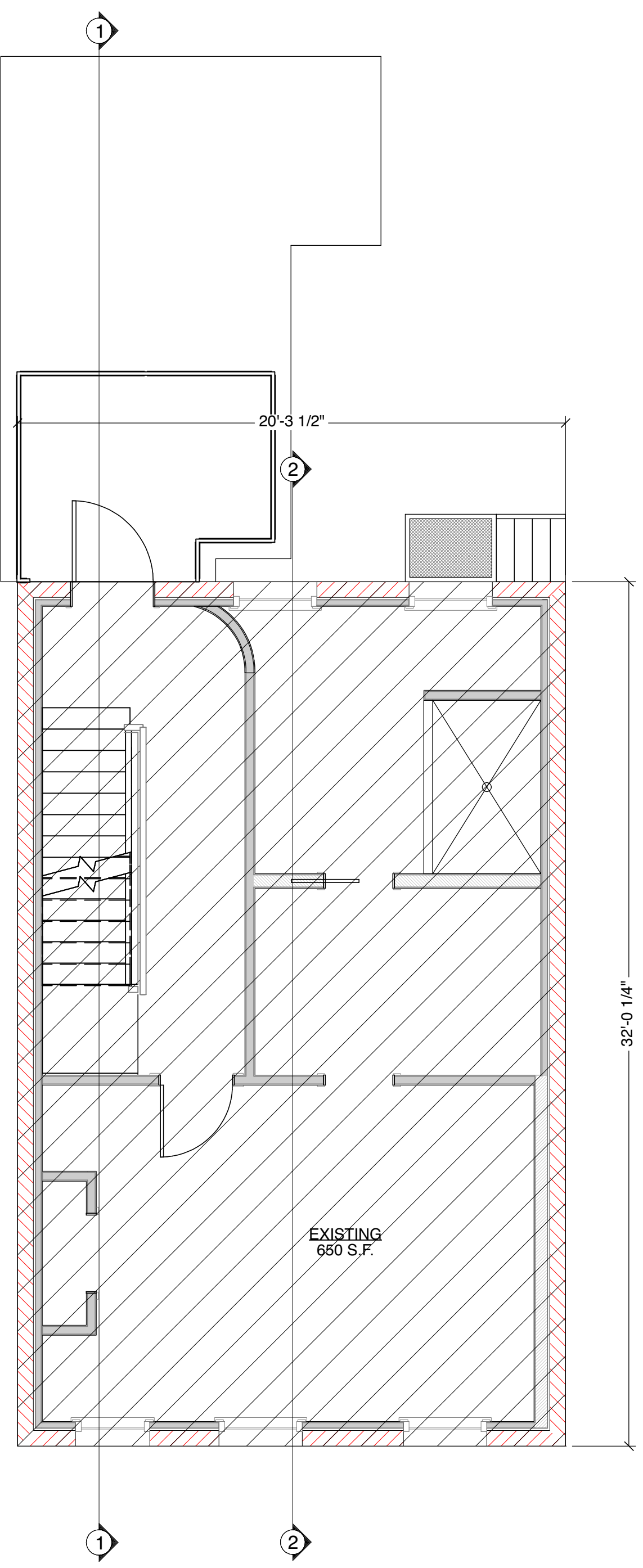
1 BASEMENT PLAN
PROPOSED FAR



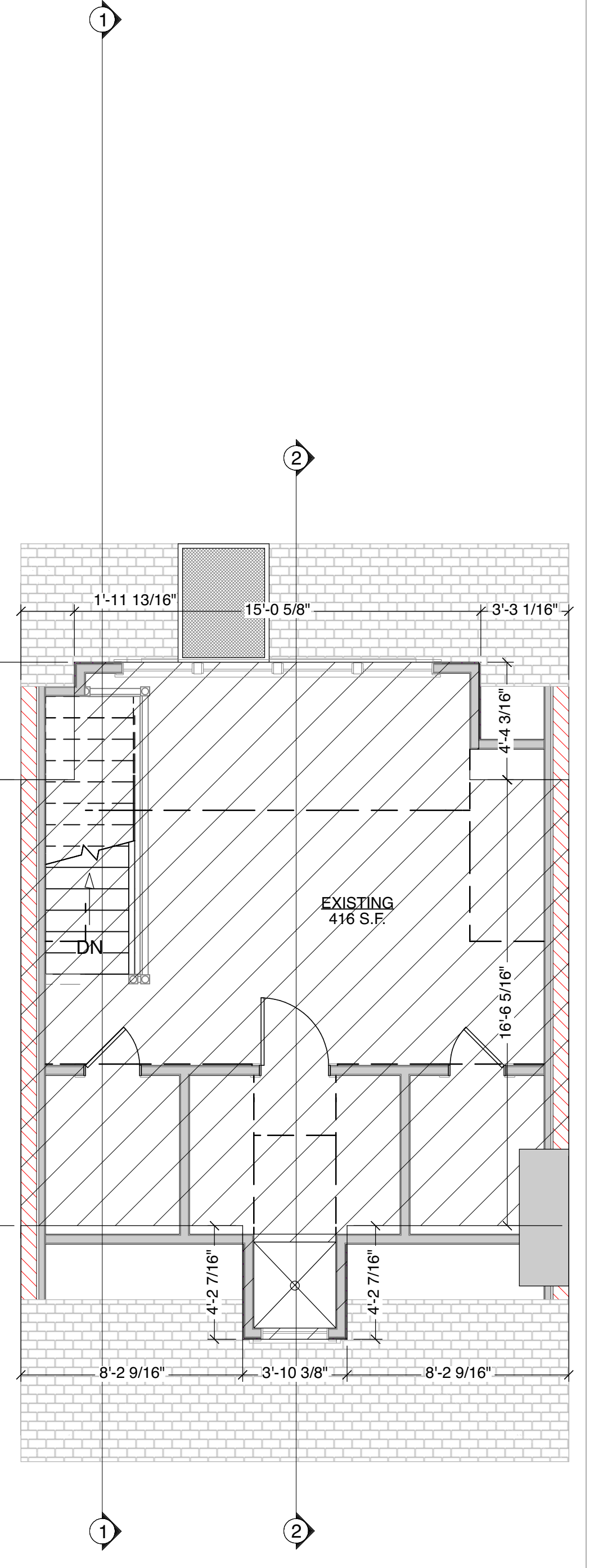
2 FIRST FLOOR
EXISTING FAR



3 SECOND FLOOR
EXISTING FAR



4 THIRD FLOOR
EXISTING FAR



5 FOURTH FLOOR
EXISTING FAR

