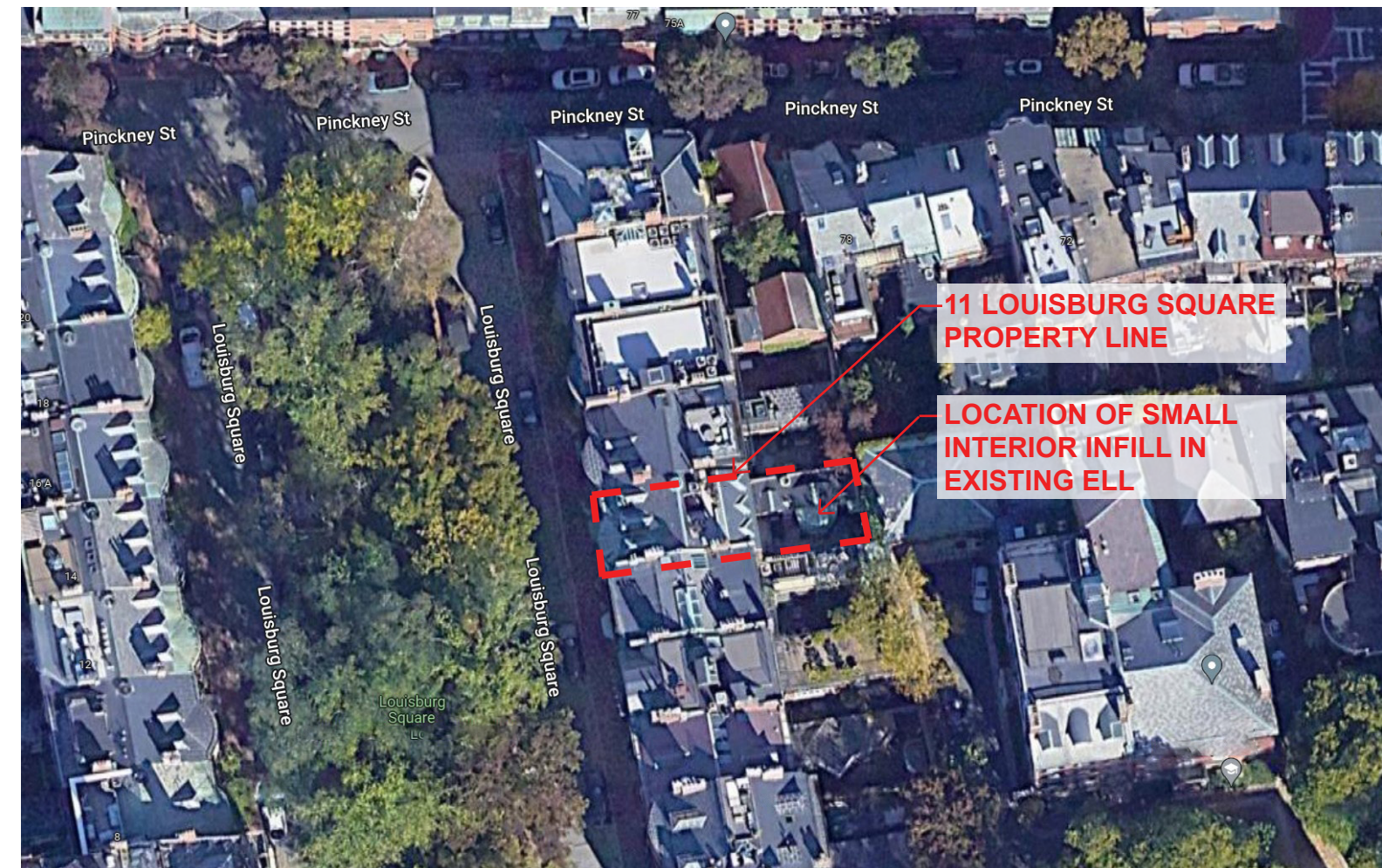




11 LOUISBURG SQUARE

GENERAL PROJECT SUMMARY

Renovation of a 5-story single-family townhouse maintaining and restoring historical features, updating Kitchen, Bathrooms and Mechanical systems. With the BHAC Approval, the Long Form Permit was approved by ISD including addendum to change the existing deteriorated fenestration of the exterior wall of the Ell atrium maintaining existing footprint, size and shape. Addendum II, which requires the zoning variance, is proposing to infill the floor area at the 2nd level in the existing Ell by an approximately 8' x 8' area. The new fenestration and structural components will be designed and constructed as a thermally-efficient system and will be historically appropriate in style. (The desire to infill this floor generated as one consideration to improve the energy efficiency in heating and cooling of this space).





INTERIOR VIA SECOND FLOOR



EXTERIOR VIA SECOND FLOOR

11 LOUISBURG SQUARE FLOOR AREA RATIO SUMMARY			
	GROSS FLOOR AREA (SQ. FT.)	LOT AREA (SQ. FT.)	FLOOR AREA RATIO (F.A.R.)
EXISTING	6578	1922	3.42
PROPOSED	6646	1922	3.46

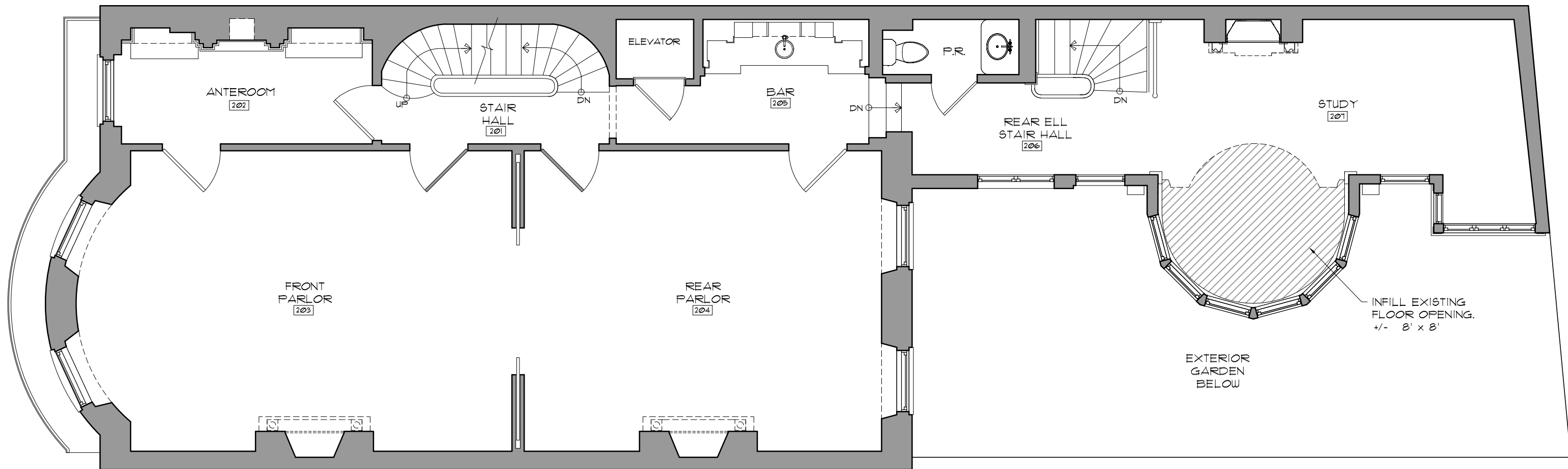
FLOOR AREA DEFINITION PER BOSTON ZONING CODE:

Floor area, gross. The sum of areas of the several floors of the structure, as measured by the exterior faces of the walls, including fully enclosed porches and the like as measured by the exterior limits thereof, but excluding

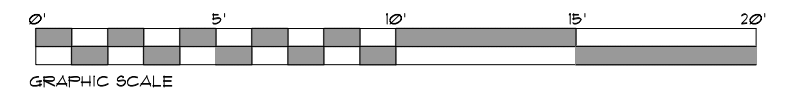
(a) garage space which is in the basement of a building or, in the case of garage space accessory to a dwelling, is at grade,

(b) basement and cellar areas devoted exclusively to uses accessory to the operation of the structure, and

(c) areas elsewhere in the structure devoted to housing mechanical equipment customarily located in the basement or cellar such as heating and air conditioning equipment, plumbing, electrical equipment, laundry facilities and storage facilities, provided, however, that in an H-2-45, H-2-65, H-3-65, L-2-65 or B-3-65 district no area in an existing structure previously included in gross floor area and no area in any addition to an existing structure, except areas not used or designed to be used for human occupancy, such as attics, basements, cellars or space under sloping eaves, shall be excludable from gross floor area as area for storage facilities or laundry facilities.



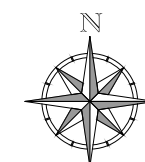
2 SECOND FLOOR PLAN
FULL: 3/8" = 1'-0", HALF: 3/16" = 1'-0"



**PAULI & URIBE
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Boston, Massachusetts, 02108
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11 LOUISBURG SQUARE

BEACON HILL, BOSTON, MA 02108



SHEET TITLE:
SECOND FLOOR PLAN
INDICATING INFILL IN
EXISTING ELL

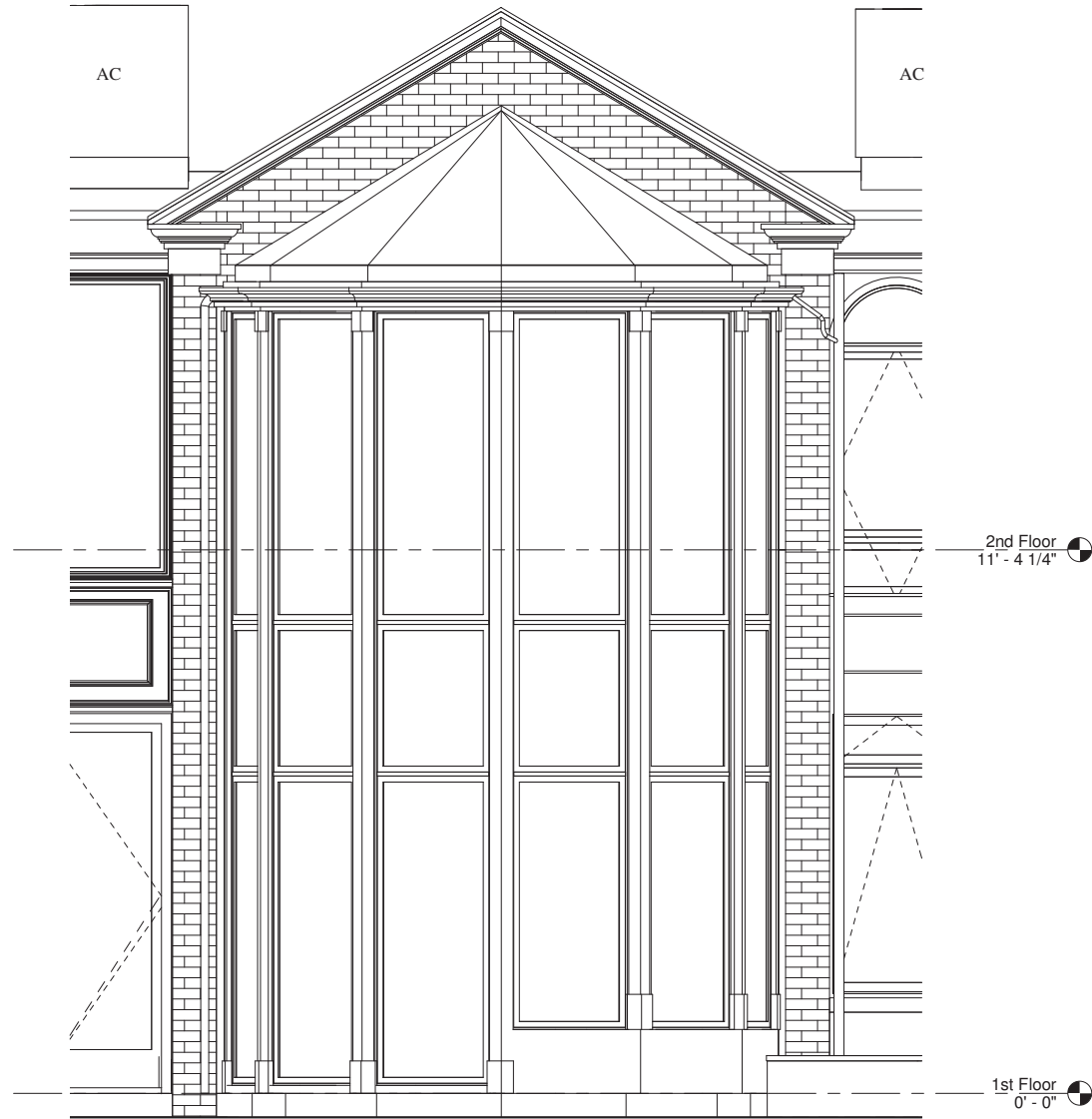
DATE: JANUARY 31, 2023

SCALE: AS NOTED

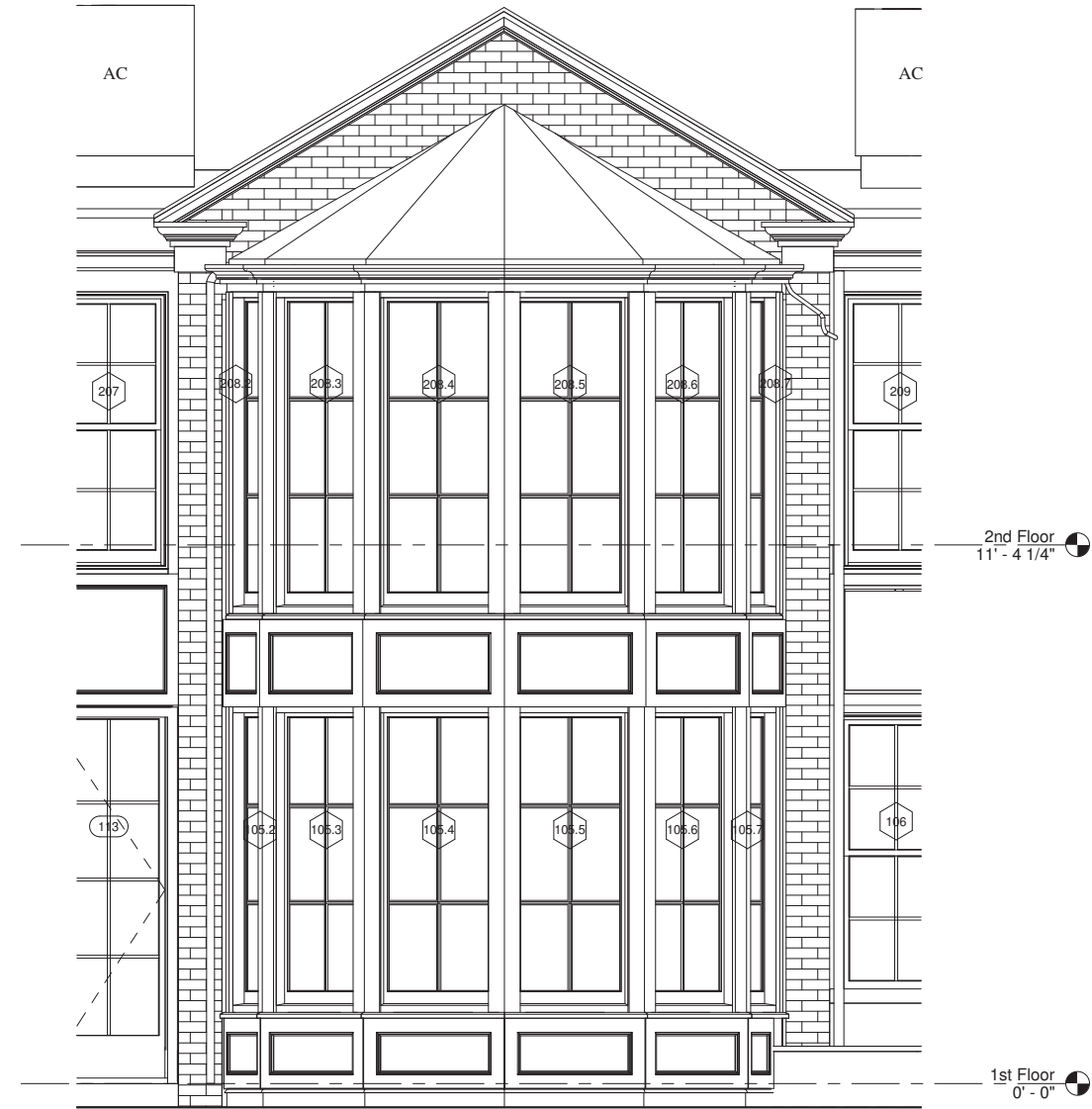
DRAWN: JGUR & RJP

CHECKED: JGUR & MZF

SHEET NO.
A-1



① EXISTING ELL ELEVATION - NORTH
 (ADDENDUM I)
 1/2" = 1'-0"



② PROPOSED ELL ELEVATION - NORTH
 (ADDENDUM I)
 1/2" = 1'-0"



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 BEACON HILL, BOSTON, MA 02108

SHEET TITLE:
 ELL NORTH ELEVATION
 DATE: JANUARY 26, 2023
 SCALE: AS NOTED
 DRAWN: JM
 CHECKED: JGUR & MZP

SHEET NO.

A-2