11 Chestnut Street Boston, MA 02118

781-724-2127 90 highland street stoughton, ma 02072

CONSTRUCTION NOTES

1. THE SCOPE OF WORK FOR THE PROJECT SHALL INCLUDE ALL LABOR, MATERIALS, DEVICES, SUPPLIES, EQUIPMENT, AND OTHER FACILITIES NECESSARY FOR AND INCIDENTAL TO THE EXECUTION AND COMPLETION OF WORK DESCRIBED IN THESE DOCUMENTS.

2. THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENT FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK.

3. THE CONTRACTOR SHALL PAY ALL FEDERAL, STATE, LOCAL AND ALL OTHER TAXES THAT ARE APPLICABLE TO THIS CONTRACT.

4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME GENERALLY FAMILIAR WITH THE JOB SITE AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIESTO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

5. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, THE G.C. SHALL REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE

6, NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.

7. ITEMS LABELED NIC ARE "NOT IN CONTRACT". THE G.C., HOWEVER, IS RESPONSIBLE FOR ALL R.O., NECESSARY BLOCKING AND COORDINATION OF WORK.

8. WHERE A SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.

9. ALL SYSTEMS & MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS, INSTRUCTIONS AND SPECIFICATIONS.

10. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES. COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES, BLOCKING OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.

11. CONTRACTOR TO COORDINATE AND SCHEDULE WORK OF ALL TRADES SO AS TO NOT DELAY AT ANY PHASE OF COMPLETION, CONSTRUCTION DUE TO INTERCONNECTING WORK OR LATE SCHEDULING, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-TRADES ARE FAMILIAR WITH THE COMPLETE CONSTRUCTION DOCUMENTS PACKAGE INCLUDING WORK THAT MAY OR MAY NOT BE

12. ALL WORK SHALL BE PERFORMED WITH THE BEST ACCEPTED PRACTICES OF THE RESPECTED TRADES.

PART OF THEIR SCOPE.

13. ALL MATERIALS TO BE NEW (UNLESS OTHERWISE NOTED ON DRAWINGS), FIRST CLASS, IN EVERY RESPECT, AND SHALL CONFORM TO CONTRACT DOCUMENTS.

14. CONTRACTOR TO COORDINATE CUTTING & PATCHING OF ALL TRADES. MATCH EXISTING MATERIALS AS REQUIRED.

15. CONTRACTOR TO COORDINATE KEYING SYSTEMS AND ALL HARDWARE FUNCTIONS WITH OWNER.

16. CONTRACTOR TO COORDINATE THE INSTALLATION OF ALL ELECTRICAL, ALARM, SECURITY, DATA AND TELEPHONE LINES. CONCEAL ALL NEW UTILITIES IN FINISHED AREAS AS REQUIRED. TELEPHONES TO BE FURNISHED AND INSTALLED BY OWNER.

17. LIFE SAFETY SYSTEMS SHALL BE INSTALLED AS REQUIRED, PER N.F.P.A., AND LOCAL REGULATIONS.

18. CONTRACTOR TO COORDINATE ALL DELIVERY SCHEDULES AND LOCATIONS FOR ALL OWNER FURNISHED ITEMS WITH EACH SUPPLIER. VERIFY SUCH OWNER FURNISHED ITEMS WITH OWNERS REPRESENTATIVE, G.C. TO PROVIDE SOLID WOOD BLOCKING AS REQUIRED.

19. CONTRACTOR SHALL REMOVE ALL TEMPORARY ITEMS, TRASH, TOOLS, AND EXCESS MATERIALS AT THE COMPLETION OF WORK AND LEAVE THE ENTIRE PROJECT SITE IN A NEAT, CLEAN, ACCEPTABLE CONDITION.

20. PRIOR TO TURNING THE COMPLETED PROJECT OVER TO THE OWNER, THE CONTRACTOR SHALL REMOVE ALL GREASE, DUST, DIRT, STAINS, LABELS, FINGERPRINTS AND OTHER FOREIGN MATERIALS FROM SIGHT, AND SWEEP, WET-MOP AND VACUUM ALL FLOORS.

21. THE CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRICAL POWER AND LIGHTING AS REQUIRED.

22. THE GENERAL CONTRACTOR SHALL MAINTAIN A SAFE AND SECURE SITE DURING ALL PHASES OF CONSTRUCTION.

23. ALL WORK PERFORMED SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND REQUIREMENTS, AS WELL AS THE MOST RECENT REQUIREMENTS OF THE APPLICABLE ACCESSIBILITY

24. THE GENERAL CONTRACTOR SHALL SUBMIT A WRITTEN GUARANTEE FOR THEIR MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF OWNER.

25. DISRUPTED ELECTRICAL AND WATER LINES RE-ROUTED DURING PROJECT CONSTRUCTION ARE TO REMAIN IN CONTINUOUS SERVICE.

26. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED,

27. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY VARIATIONS

AS REQUIRED BY CODE AND SOUND CONSTRUCTION PRACTICE.

IN THE WALL PLANE.

DEMOLITION NOTES

1. REMOVE ALL EXISTING FINISHES & REPAIR & PREPARE ALL SURFACES FOR FINISHES

2. MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.

3. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK.

4. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED.

5. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED.

6. ALL WALLS, DOORS, WINDOWS, FURNISHINGS AND EQUIPMENT DENOTED WITH DASHED LINES ARE TO BE REMOVED. REFER TO PROPOSED PLAN LAYOUT FOR CLARIFICATION.

7. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.

8. PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND TEMPORARY RELOCATION OF ALL LIFE SAFETY SYSTEMS INCLUDING FIRE/SMOKE ALARM AS REQUIRED DURING DEMOLITION AND CONSTRUCTION PHASES.

10. ALL EXISTING SIDING, TRIM, FASCIA BOARDS, RAKE BOARDS, CORNER COARDS, ETC IS TO BE

REMOVED AND REPLACE WITH NEW PVC. 11. ALL EXISTING WINDOWS & DOORS INTERIOR & EXTERIOR ARE TO BE REMOVED. REFER TO

PROPOSED PLAN LAYOUT FOR CLARIFICATION.

13. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS &

12. ALL EXISTING ROOF SHINGLES ARE TO BE REMOVED & REPACED WITH NEW PER PLAN.

EXISTING TO REMAIN

EXISTING TO BE REMOVED

DRAWING REFERENCE

DETAIL KEY Room name ROOM NAME/NUMBER

WALL TYPE

WINDOW TYPE

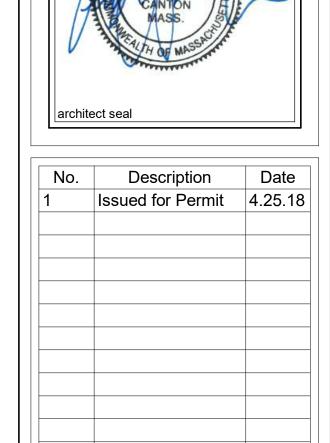
DOOR NUMBER



ABBREVIATIONS

ACST	ACOUSTIC	JAN	JANITOR
AD	AREA DRAIN	JT	JOINT
AGGR	AGGREGATE		
A.C.	AIR CONDITIONING	LAM	LAMINATED
AL	ALUMINUM	LAV	LAVATORY
A.C.T.	ACOUSTICAL CEILING	LP	LOW POINT
TILE		LT WT	LIGHT WEIGHT
ASST.	ASSISTANT		
ATM	AUTOMATED TELLER	M	MEN
MACHINE		MACH	MACHINE
		MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLK'G	BLOCKING	MTL	METAL
ВОТ	BOTTOM	MIN	MINIMUM
B.O.F.	BOTTOM OF FOOTING	MO	MASONRY OPENING
		MP	MID POINT
CAB	CABINET	MSR	MEMBER SERVICE REP.
CAULK	CAULKING		
CB	CATCH BASIN	Ν	NORTH
CEM	CEMENT	NIC	NOT IN CONTRACT
C.L.	CENTER LINE	NO.	NUMBER
CLG	CEILING	NTS	NOT TO SCALE
CLO	CLOSET	ND	NIGHT DEPOSITORY
COL	COLUMN		
CONC	CONCRETE	O.C.	ON CENTER
CONST	CONSTRUCTION	O.D.	OUTSIDE DIAMETER
CORR	CORRIDOR	OFF	OFFICE
CRS	COURSES	OPNG	OPENING
C.T.	CERAMIC TILE	OPP	OPPOSITE
CSR	CUSTOMER SERVICE REP	.	3,,, 3,2,,2
CONF	CONFERENCE	PART	PARTITION
	00.11 2.12.102	PL	PLASTIC LAMINATE
DET	DETAIL	PLAS	PLASTIC
DF	DRINKING FOUNTAIN	POL	POLISHED
DIA	DIAMETER	PT	PRESSURE TREATED
DIW	DIMENSION	PDT	PAINTED
DN	DOWN	101	MINICO
DWG	DRAWING	QT	QUARRY TILE
DW	DISH WASHER	QTY	QUANTITY
DU	DRIVE UP	Q. /	30711117
	SINITY COI	R	RADIUS
ELE	ELEVATION	R	RISER
ELEC	ELECTRIC(AL)	RD	ROOF DRAIN
ELEV	ELEVATOR	REF	REFER/ REFERENCE
ENT	ENTRANCE	REINF	REINFORC(ED/ING)
EQ.	EQUAL	REQ'D	REQUIRED
EQUIP.	EQUIPMENT	RM	ROOM
EWC	ELEC. WATER COOLER	NI	NOOM
EXIST	EXISTING	SAN	SANITARY
EXP	EXPANSION	SEC	SECTION
EXT	EXTERIOR	SIM	SIMILAR
EC	ELEC. CONTRACTOR	SPEC	SPECIFICATION
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
20		ST	STAIR
FC	FIRE CODE	STL	STEEL
FD	FLOOR DRAIN	STOR	STORAGE
FDN	FOUNDATION	STRUC	STRUCTURAL
FEC	FIRE EXTINGUISHER	SUSP	SUSPENDED
CABINET		SECY	SECRETARY
FHC	FIRE HOSE CABINET		
FHR	FIRE HOSE RACK	Т	TREAD
FIN	FINISH	TEL	TELEPHONE
FIX	FIXTURE	ТОВЈ	TOP OF BAR JOIST
FL	FLOOR	TOS	TOP OF SLAB
FLSH'G	FLASHING	TOSTL	TOP OF STEEL
FT <i>G</i>	FOOTING	TOW	TOP OF WALL
GA	GAUGE	TYP	TYPICAL
<i>G</i> .W.B.	GYPSUM WALL BOARD		
GL	GLASS	UL	UNDERWRITERS LABORATORY
<i>G</i> R	GRADE	UNEXEC.	UNEXCAVATED
<i>G</i> YP	GYPSUM	U.N.O.	UNLESS NOTED OTHERWISE
		V.C.T.	VINYL COMPOSITION TILE
HDW	HARDWARE		VIIVE COMI COLLION LIEC
ΗМ	HOLLOW METAL	VENT	VENTILATION
HM HORZ		VENT VERT	VENTILATION VERTICAL
ΗМ	HOLLOW METAL	VENT VERT VEST	VENTILATION VERTICAL VESTIBULE
HM HORZ HP HR	HOLLOW METAL HORIZONTAL HIGH POINT HOUR	VENT VERT VEST VP	VENTILATION VERTICAL VESTIBULE VENT PIPE
HM HORZ HP HR HT	HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT	VENT VERT VEST VP VWC	VENTILATION VERTICAL VESTIBULE VENT PIPE VINYL WALL COVERING
HM HORZ HP HR	HOLLOW METAL HORIZONTAL HIGH POINT HOUR	VENT VERT VEST VP	VENTILATION VERTICAL VESTIBULE VENT PIPE
HM HORZ HP HR HT H.P.	HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HORSE POWER	VENT VERT VEST VP VWC VAC	VENTILATION VERTICAL VESTIBULE VENT PIPE VINYL WALL COVERING VACUUM
HM HORZ HP HR HT H.P.	HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HORSE POWER INSIDE DIAMETER	VENT VERT VEST VP VWC VAC	VENTILATION VERTICAL VESTIBULE VENT PIPE VINYL WALL COVERING VACUUM WOMEN
HM HORZ HP HR HT H.P.	HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HORSE POWER INSIDE DIAMETER INCINERATOR	VENT VERT VEST VP VWC VAC W	VENTILATION VERTICAL VESTIBULE VENT PIPE VINYL WALL COVERING VACUUM WOMEN WITH
HM HORZ HP HR HT H.P. ID INCIN INFO	HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HORSE POWER INSIDE DIAMETER INCINERATOR INFORMATION	VENT VEST VP VWC VAC W W/	VENTILATION VERTICAL VESTIBULE VENT PIPE VINYL WALL COVERING VACUUM WOMEN WITH WOOD
HM HORZ HP HR HT INP. ID INCIN INFO INSUL	HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HORSE POWER INSIDE DIAMETER INCINERATOR INFORMATION INSULATION	VENT VEST VP VWC VAC W W/ WD W/O	VENTILATION VERTICAL VESTIBULE VENT PIPE VINYL WALL COVERING VACUUM WOMEN WITH WOOD WITHOUT
HM HORZ HP HR HT H.P. ID INCIN INFO	HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HORSE POWER INSIDE DIAMETER INCINERATOR INFORMATION	VENT VEST VP VWC VAC W W/	VENTILATION VERTICAL VESTIBULE VENT PIPE VINYL WALL COVERING VACUUM WOMEN WITH WOOD

Drawing List		
No.	Description	
A0.1	Title Sheet	
A1.0	Existing/Demo Floor Plans	
A1.1	Existing/Demo Floor Plans	
A2.0	Proposed Floor Plans	
A2.1	Proposed Floor Plans	
A3.0	Proposed Reflected Ceiling Plans	
A3.1	Proposed Reflected Ceiling Plans	
A4.0	Basement Interior Elevations	
A4.1	1st Floor Interior Elevations	
A4.2	2nd Floor Interior Elevations	
A4.3	3rd Floor Interior Elevations	
A4.4	4th Floor Interior Elevations	
A4.5	5th Floor Interior Elevations	



Singh Residence

Interior Renovation 11 Chestnut Street

Boston, MA

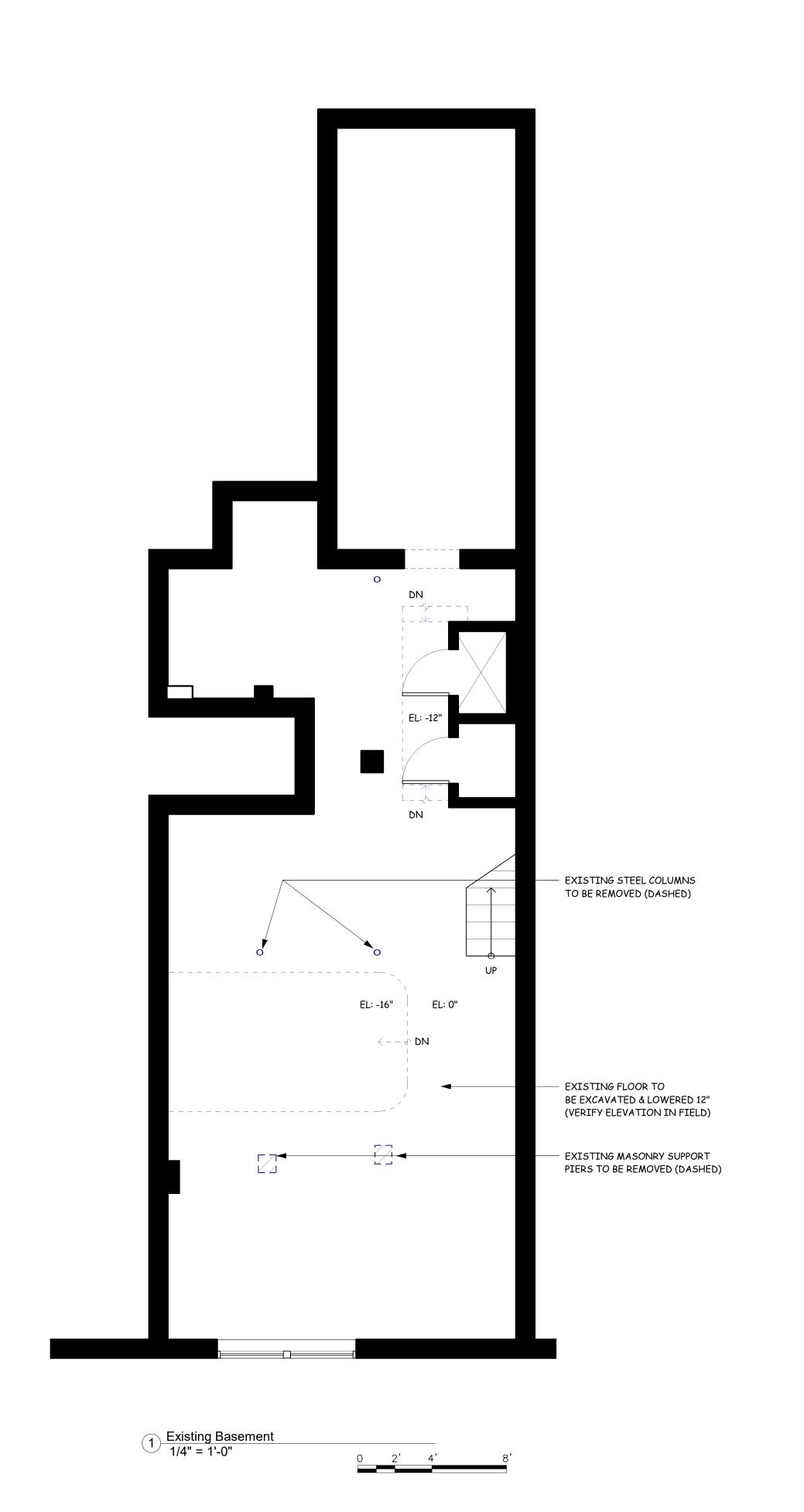
Title Sheet

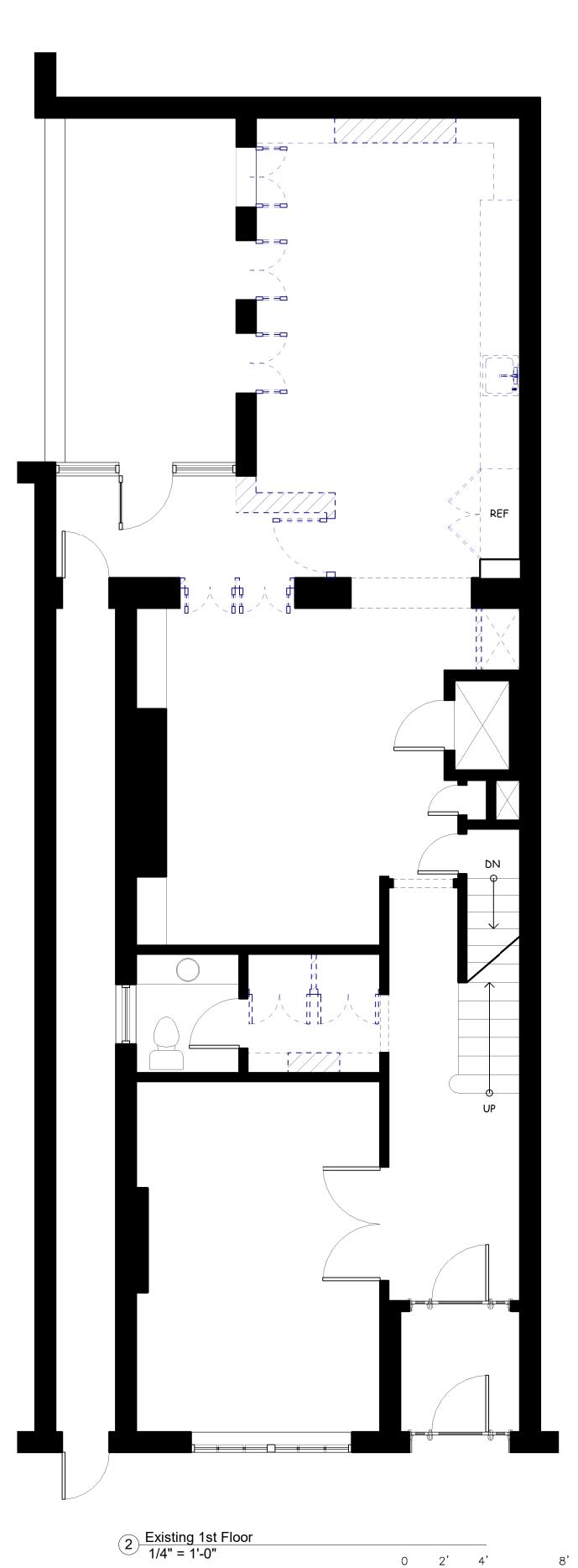
2018-009 Project Number 4.25.18 VJS Drawn By Checked By

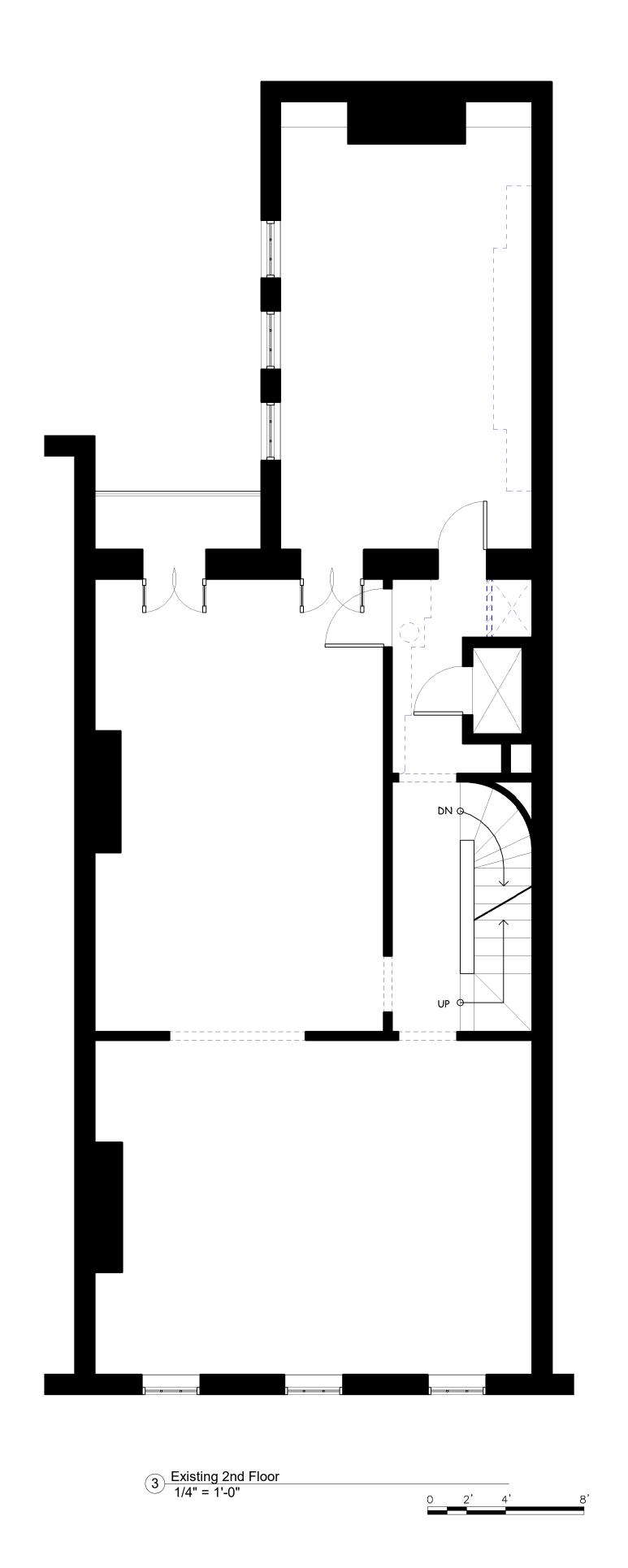
As indicated

DO NOT SCALE DRAWING, USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE

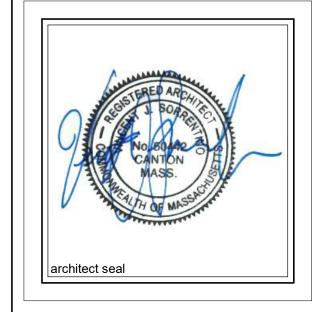
1/2" G.W.B. EACH SIDE 2x4 WOOD STUDS @ 16" O.C. SOUND INSUL AS REQUIRED MIOSTURE RESISTANT G.W.B AT JANITOR/RESTROOM PARTITIONS WALL TYPE 1 TYPICAL INTERIOR WALL











1 Issued for Permit 4.2	ate
	5.18

Singh Residence

Interior Renovation

11 Chestnut Street
Boston, MA

Existing/Demo Floor Plans

2018-009

Date 4.25.18

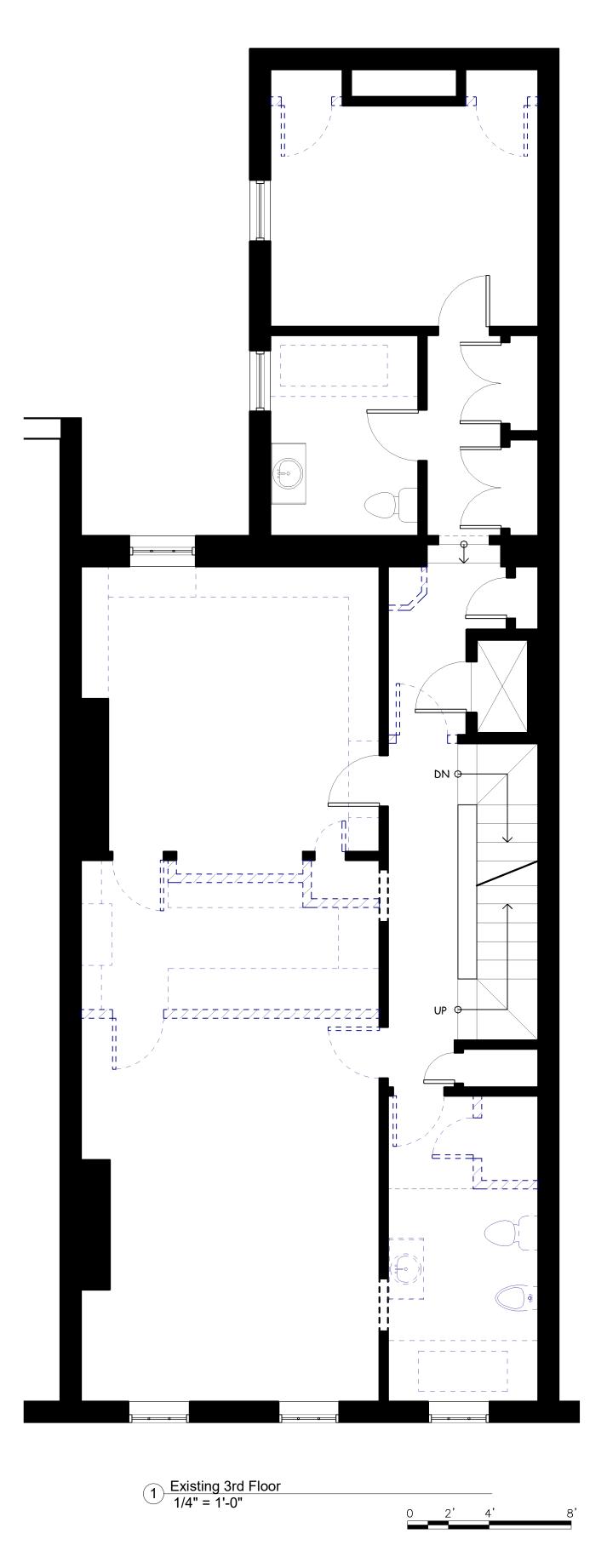
Drawn By VJS

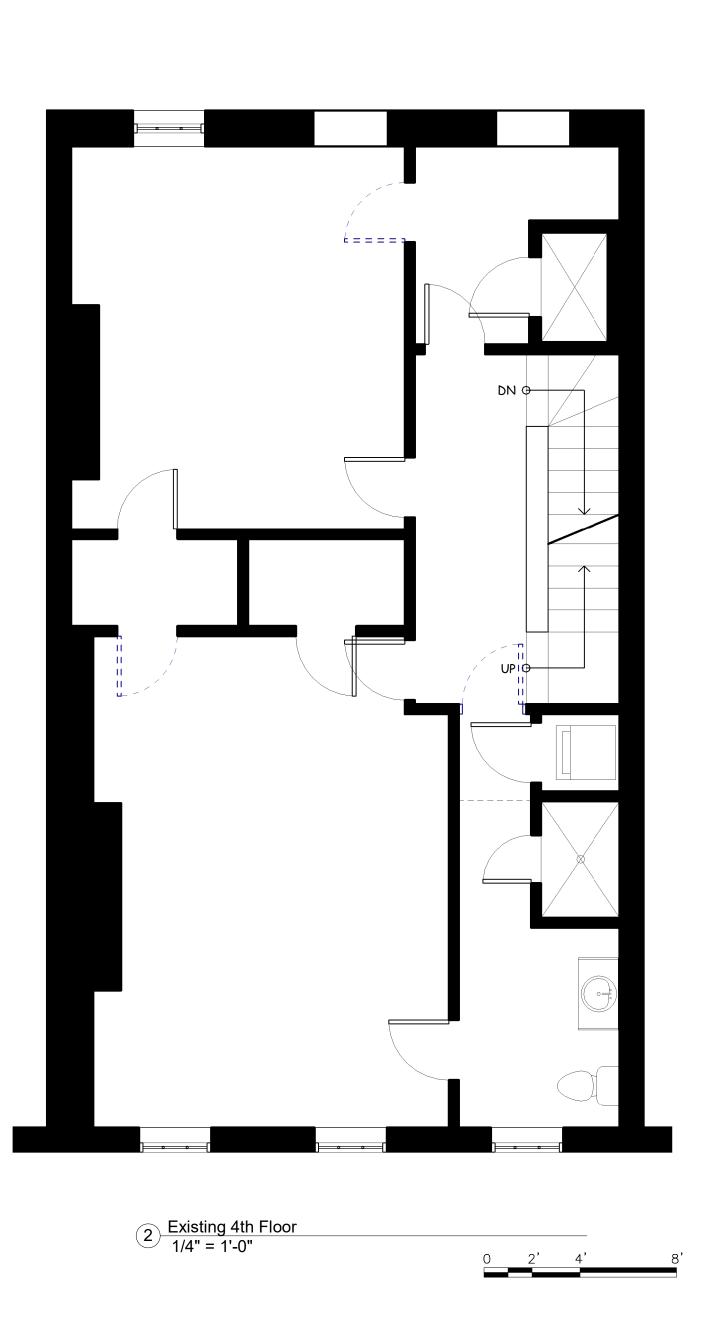
Checked By VJS

Project Number

A1.0

Scale 1/4" = 1'-0"





DEMOLITION NOTES

1. REMOVE ALL EXISTING FINISHES & REPAIR & PREPARE ALL SURFACES FOR FINISHES

2. MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.

3. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK.

4. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED.

5. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED.

6. ALL WALLS, DOORS, WINDOWS, FURNISHINGS AND EQUIPMENT DENOTED WITH DASHED LINES ARE TO BE REMOVED. REFER TO PROPOSED PLAN LAYOUT FOR CLARIFICATION.

7. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.

8. PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND TEMPORARY RELOCATION OF ALL LIFE SAFETY SYSTEMS INCLUDING FIRE/SMOKE ALARM AS REQUIRED DURING DEMOLITION AND CONSTRUCTION PHASES.

10. ALL EXISTING SIDING, TRIM, FASCIA BOARDS, RAKE BOARDS, CORNER COARDS, ETC IS TO BE REMOVED AND REPLACE WITH NEW PVC.

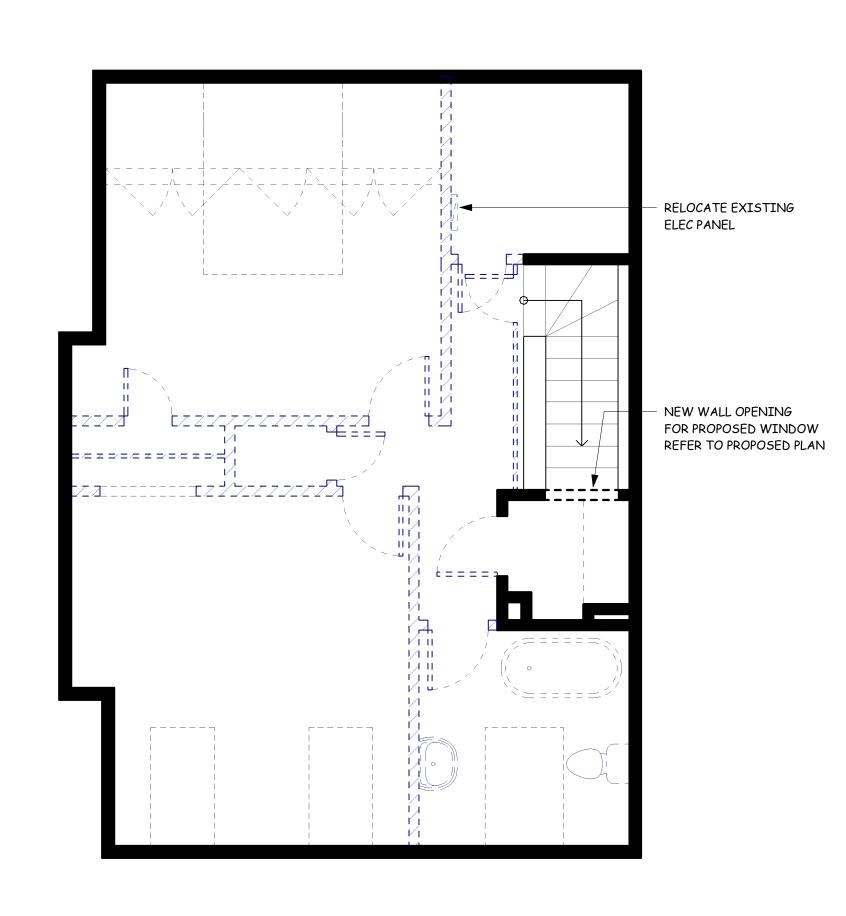
11. ALL EXISTING WINDOWS & DOORS INTERIOR & EXTERIOR ARE TO BE REMOVED. REFER TO PROPOSED PLAN LAYOUT FOR CLARIFICATION.

12. ALL EXISTING ROOF SHINGLES ARE TO BE REMOVED & REPACED WITH NEW PER PLAN.

13. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS.

EXISTING TO REMAIN

EXISTING TO BE REMOVED









No.	Description	Date
1	Issued for Permit	4.25.1

Singh Residence

Interior Renovation

11 Chestnut Street
Boston, MA

Existing/Demo Floor Plans

Project Number 2018-009

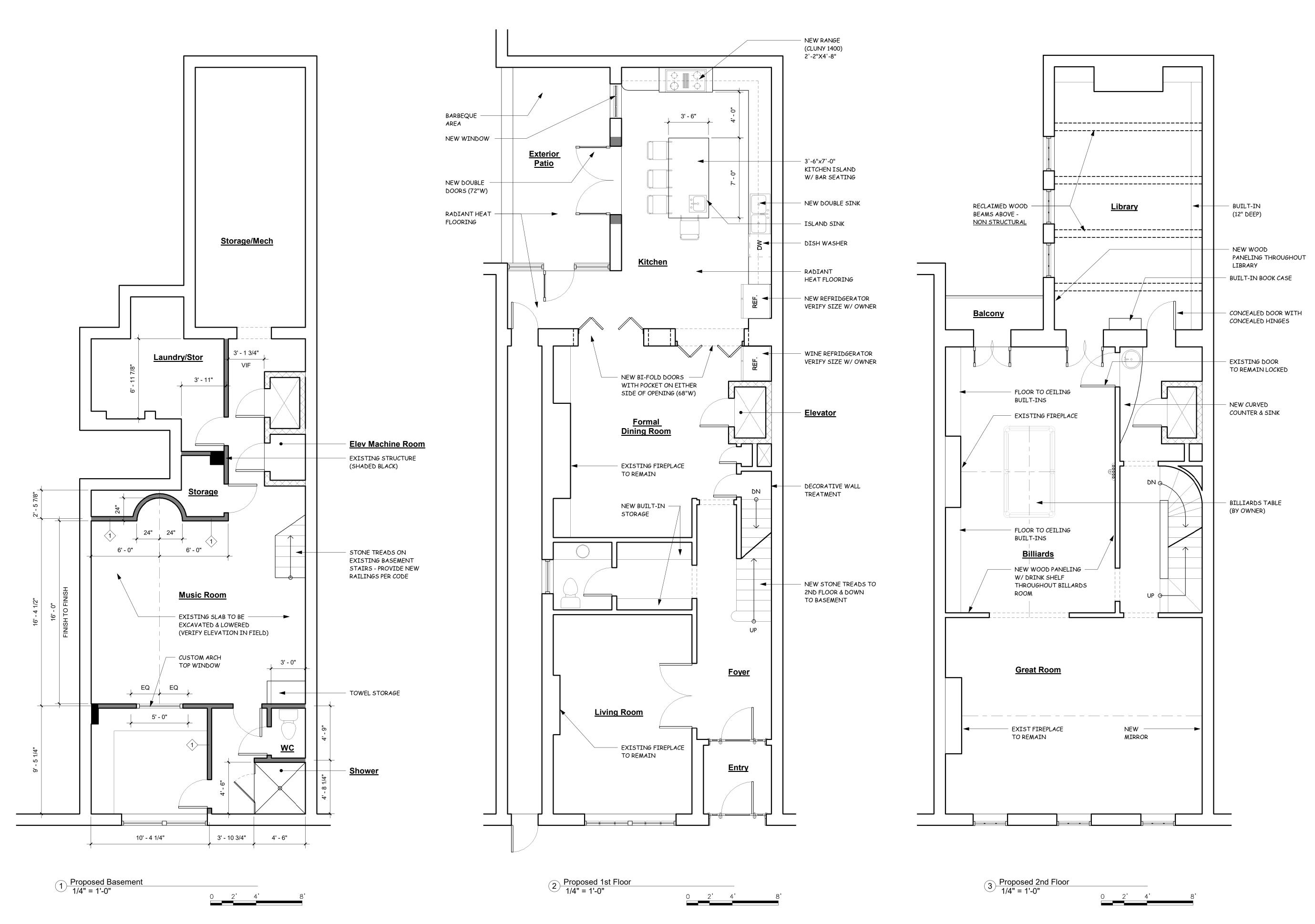
Date 4.25.18

Drawn By VJS

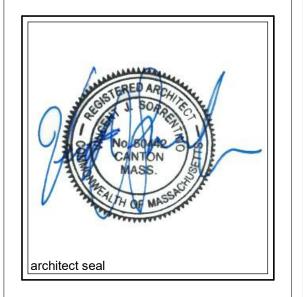
Checked By VJS

A1.1

Scale 1/4" = 1'-0"







No.	Description	Date
1	Issued for Permit	4.25.18

Singh Residence

Interior Renovation

11 Chestnut Street
Boston, MA

Proposed Floor Plans

2018-009

VJS

Date 4.25.18

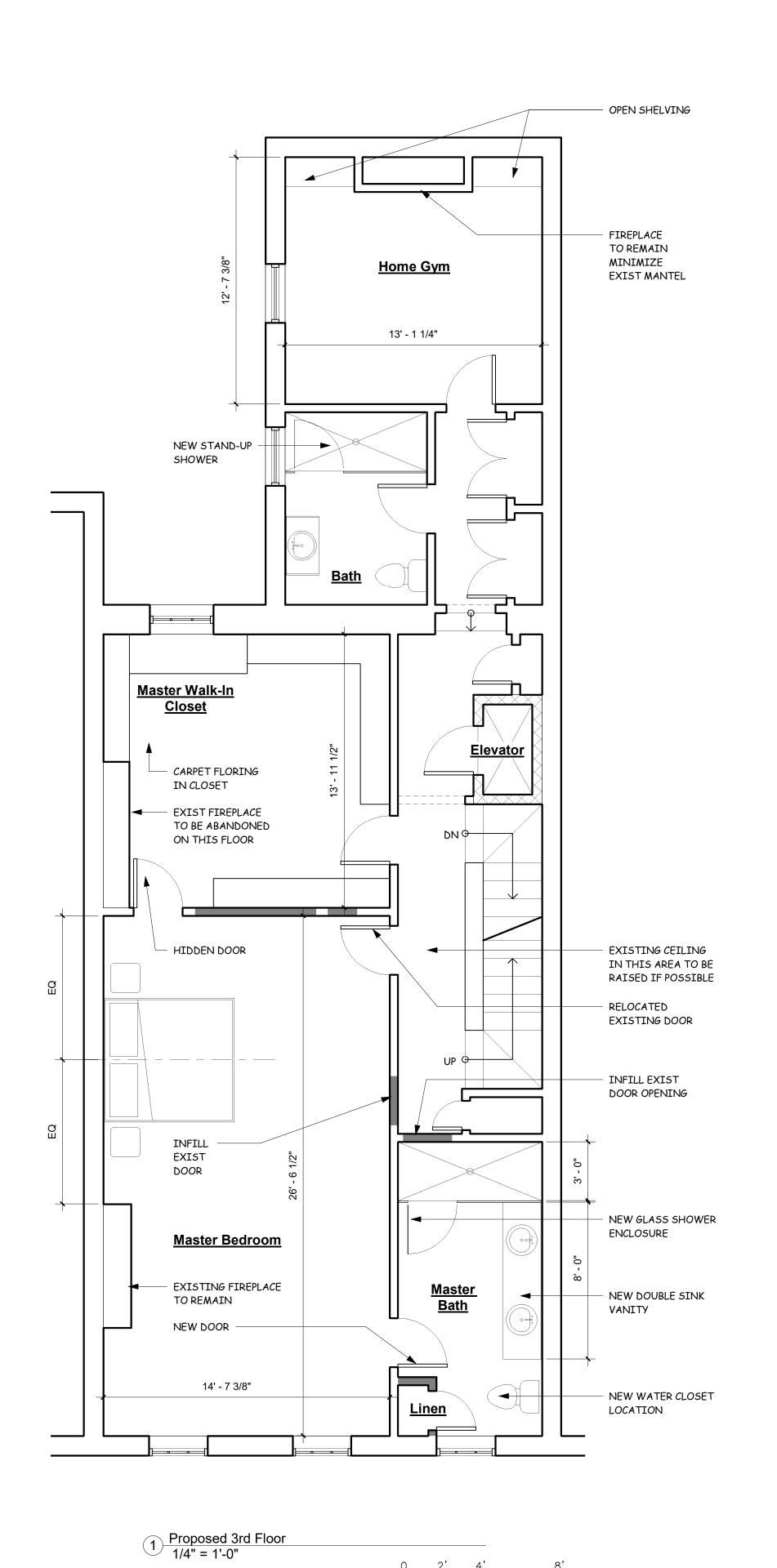
Drawn By VJS

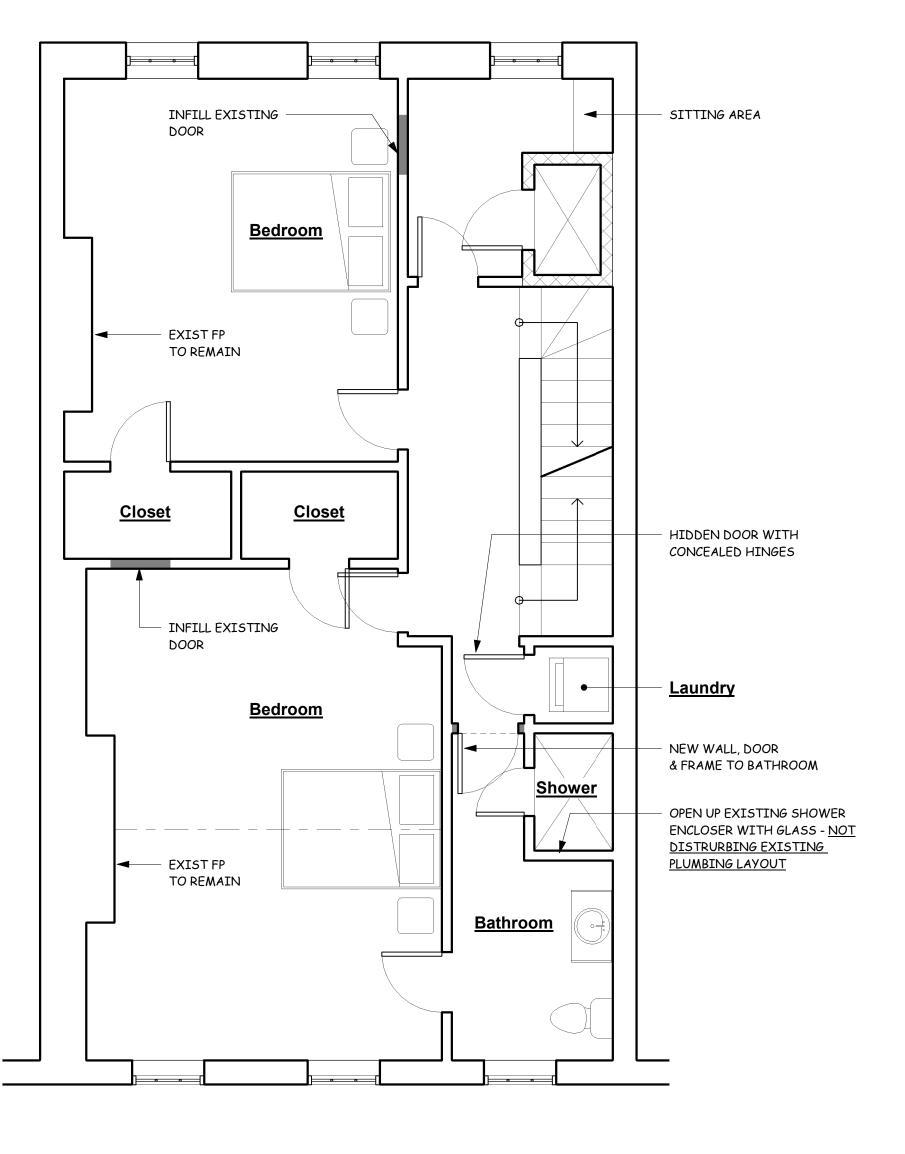
Project Number

Checked By

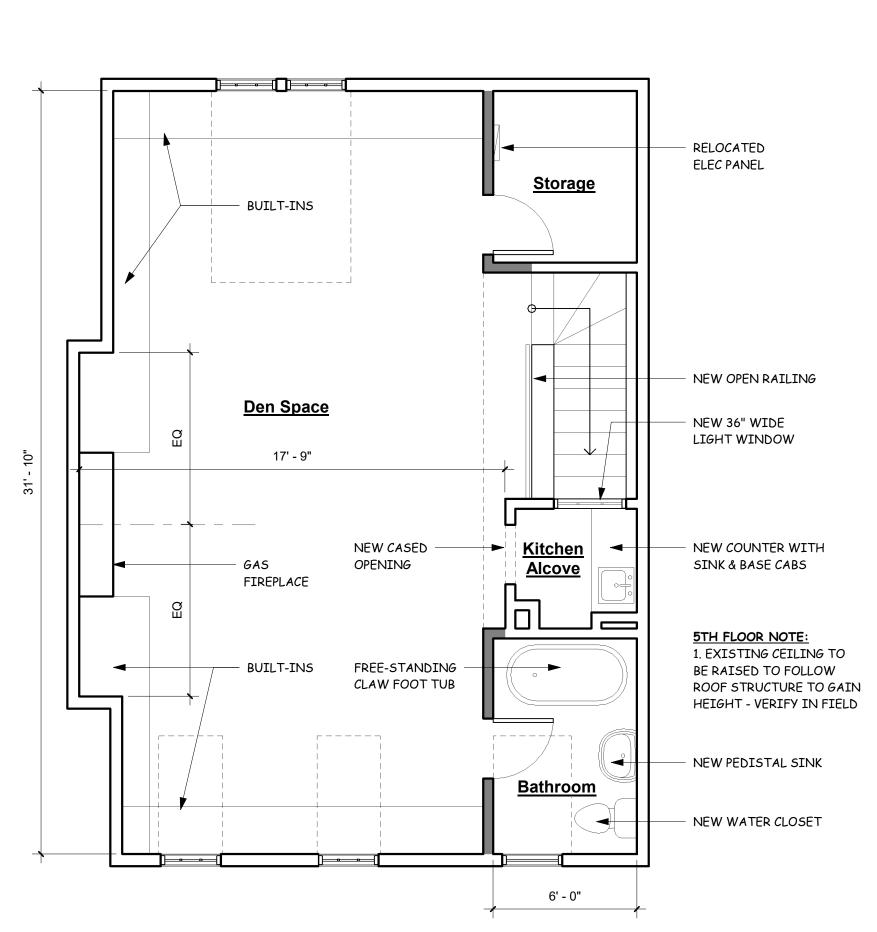
A2.0

Scale 1/4" = 1'-0"



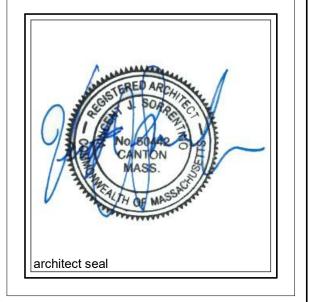


2 Proposed 4th Floor 1/4" = 1'-0"



3 Proposed 5th Floor 1/4" = 1'-0"





No.	Description	Date
1	Issued for Permit	4.25.1

Singh Residence

Interior Renovation 11 Chestnut Street Boston, MA

Proposed Floor Plans

Project Number	2018-009
Date	4.25.18
Drawn By	VJS
Checked By	VJS

CEILING NOTES

1. WHERE BEAMS, PIPES AND OR OTHER CONSTRUCTION DETAILS PREVENT THE USE OF STANDARD RECESSED FIXTURES, SHALLOW RECESSED FIXTURES SHALL BE USED. (FIXTURE CUTS SHALL BE SUBMITTED FOR APPROVAL BY ARCHITECT OR ENGINEER.)

2. THE G.C. AND ELECTRICAL CONTRACTORS SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCES OF ALL DUCTWORK, LIGHTING AND OTHER CEILING HEIGHTS SHOWN ON THE CONTRACT DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION.

3. SUSPENDED CEILING HEIGHTS SHALL BE AS SHOWN ON ARCHITECTS REFLECTED CEILING PLAN AND ANY DEVIATION FROM HEIGHTS SHOWN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL

4. PRIOR TO CLOSING UP ANY CEILING, ANY PLENUM SYSTEMS (HVAC, PLUMBING & ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY CONTRACTORS, ENGINEERS AND PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.

5. ALL JOINTS IN THE TILE FIELD SHALL BE SQUARE, LEVEL AND PERFECTLY ALIGNED WITH EACH OTHER AND WITH RECESSED LIGHTING FIXTURES.

6. CEILING CONTRACTOR TO COORDINATE ACCESS TILES/PANELS WITH OTHER TRADES.

7. ALL DIFFUSERS AND REGISTERS IN ALL AREAS SHALL BE SET PER STARTING POINTS ON THE ARCHITECTS REFLECTED CEILING PLANS

8, ALL DRYWALL SOFFITS AND FASCIAS ARE TO BE COMPLETED AS INDICATED ON PLANS.

9. ALL LIGHTING, CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. SHALL BE LOCATED IN THE CENTER OF CEILING TILES.

REFLECTED CEILING PLAN KEY

6" DIA. RECESSED LED FIXTURE

SUSPENDED DECORATIVE FIXTURE - TBD







No.	Description	Date
1	Issued for Permit	4.25.18

Singh Residence

Interior Renovation

11 Chestnut Street
Boston, MA

Proposed Reflected Ceiling Plans

Date 4.25.18

Drawn By VJS

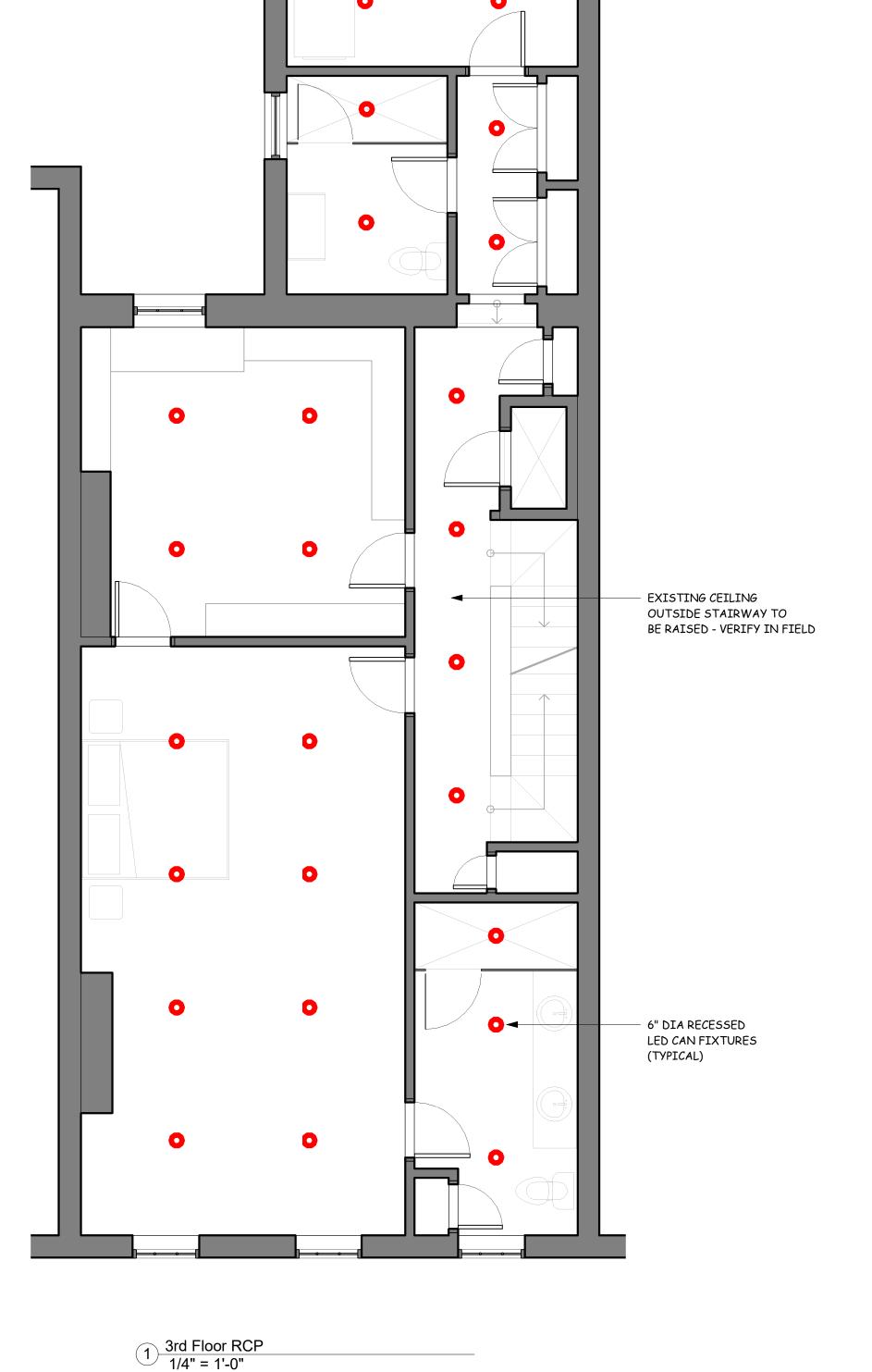
2018-009

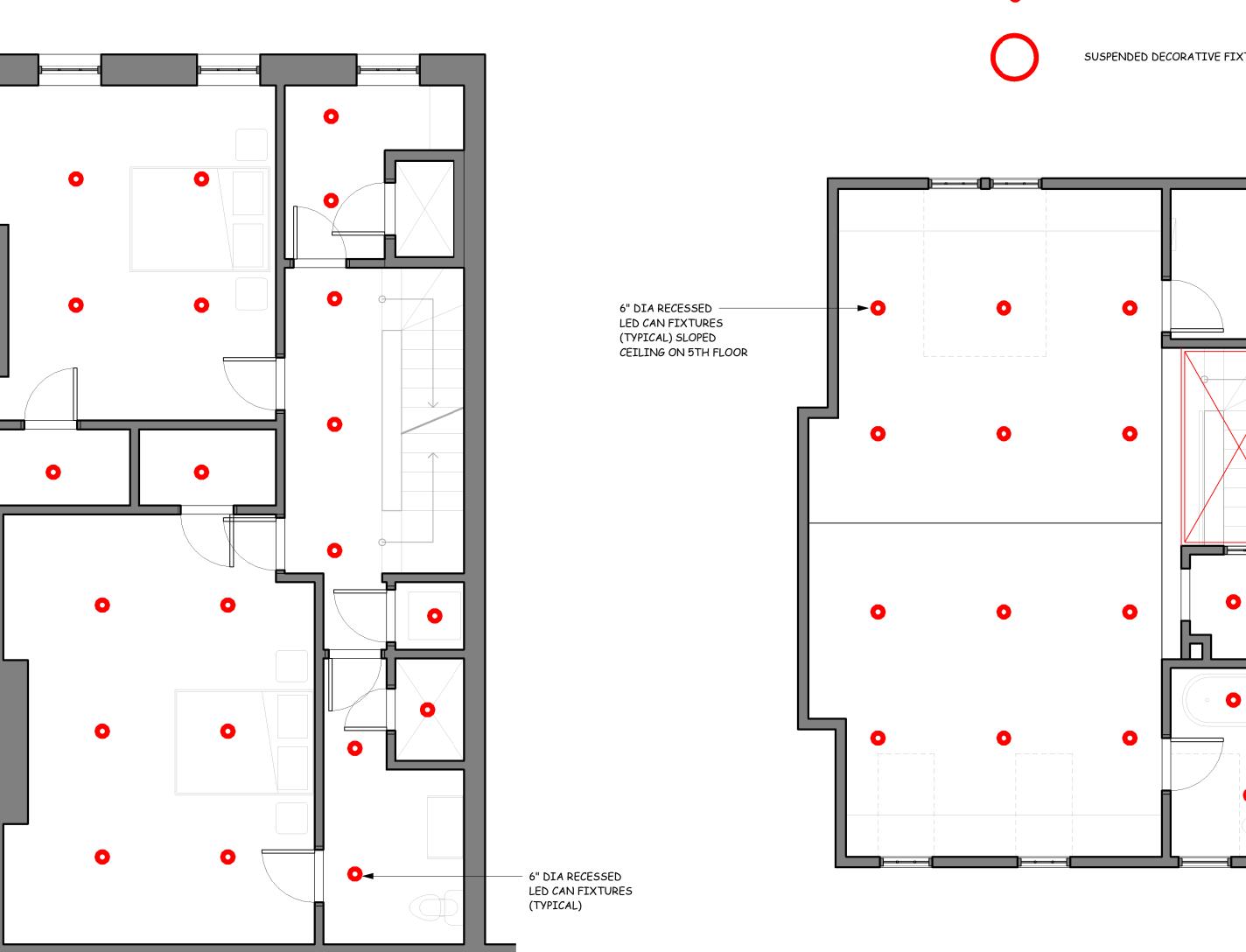
A3.0

Project Number

Checked By

Scale 1/4" = 1'-0"





2 4th Floor RCP 1/4" = 1'-0"

CEILING NOTES

1. WHERE BEAMS, PIPES AND OR OTHER CONSTRUCTION DETAILS PREVENT THE USE OF STANDARD RECESSED FIXTURES, SHALLOW RECESSED FIXTURES SHALL BE USED. (FIXTURE CUTS SHALL BE SUBMITTED FOR APPROVAL BY ARCHITECT OR ENGINEER.)

2. THE G.C. AND ELECTRICAL CONTRACTORS SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCES OF ALL DUCTWORK, LIGHTING AND OTHER CEILING HEIGHTS SHOWN ON THE CONTRACT DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION.

3. SUSPENDED CEILING HEIGHTS SHALL BE AS SHOWN ON ARCHITECTS REFLECTED CEILING PLAN AND ANY DEVIATION FROM HEIGHTS SHOWN SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL

4. PRIOR TO CLOSING UP ANY CEILING, ANY PLENUM SYSTEMS (HVAC, PLUMBING & ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY CONTRACTORS, ENGINEERS AND PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.

5. ALL JOINTS IN THE TILE FIELD SHALL BE SQUARE, LEVEL AND PERFECTLY ALIGNED WITH EACH OTHER AND WITH RECESSED LIGHTING FIXTURES.

6. CEILING CONTRACTOR TO COORDINATE ACCESS TILES/PANELS WITH OTHER TRADES.

7. ALL DIFFUSERS AND REGISTERS IN ALL AREAS SHALL BE SET PER STARTING POINTS ON THE ARCHITECTS REFLECTED CEILING PLANS

8, ALL DRYWALL SOFFITS AND FASCIAS ARE TO BE COMPLETED AS INDICATED ON PLANS.

9. ALL LIGHTING, CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. SHALL BE LOCATED IN THE CENTER OF CEILING TILES.

REFLECTED CEILING PLAN KEY

3 5th Floor RCP 1/4" = 1'-0"

6" DIA. RECESSED LED FIXTURE

SUSPENDED DECORATIVE FIXTURE - TBD



architect seal

studio

architecture

781-724-2127

90 highland street stoughton, ma 02072

Singh Residence

Interior Renovation

11 Chestnut Street Boston, MA

Proposed Reflected Ceiling Plans

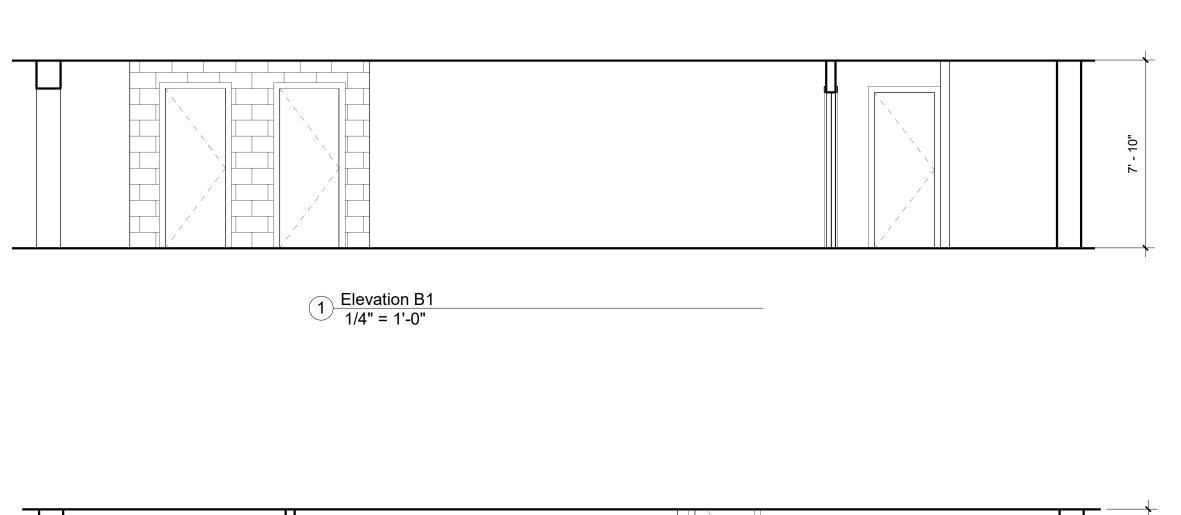
2018-009 Project Number 4.25.18 Date VJS Drawn By

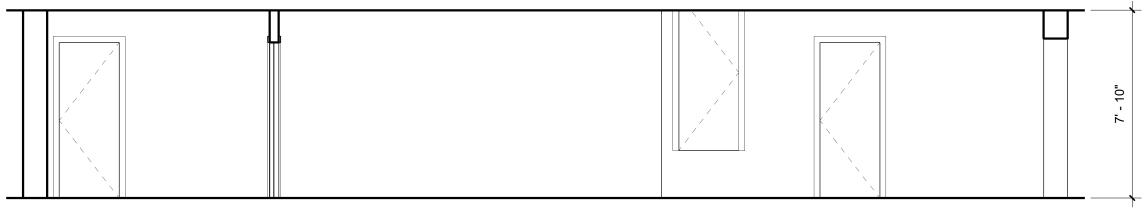
Checked By

A3.1

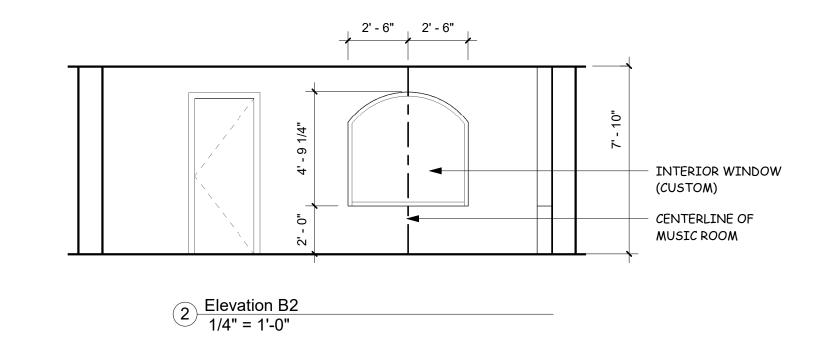
VJS

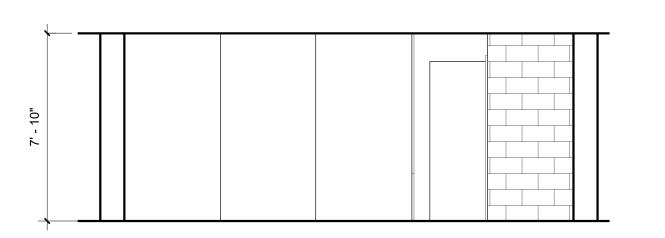
1/4" = 1'-0"

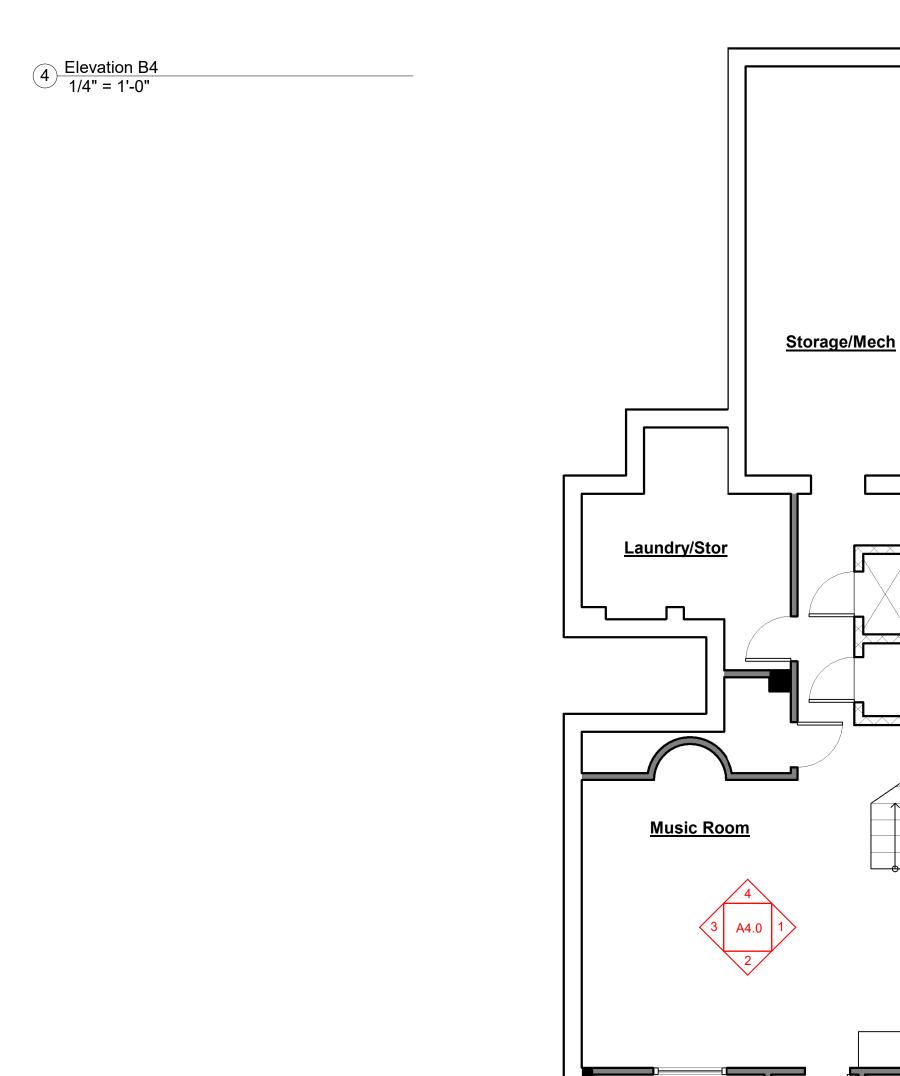




3 Elevation B3 1/4" = 1'-0"







5 Basement Key 3/16" = 1'-0"





No.	Description	Date
1	Issued for Permit	4.25.18

Singh Residence

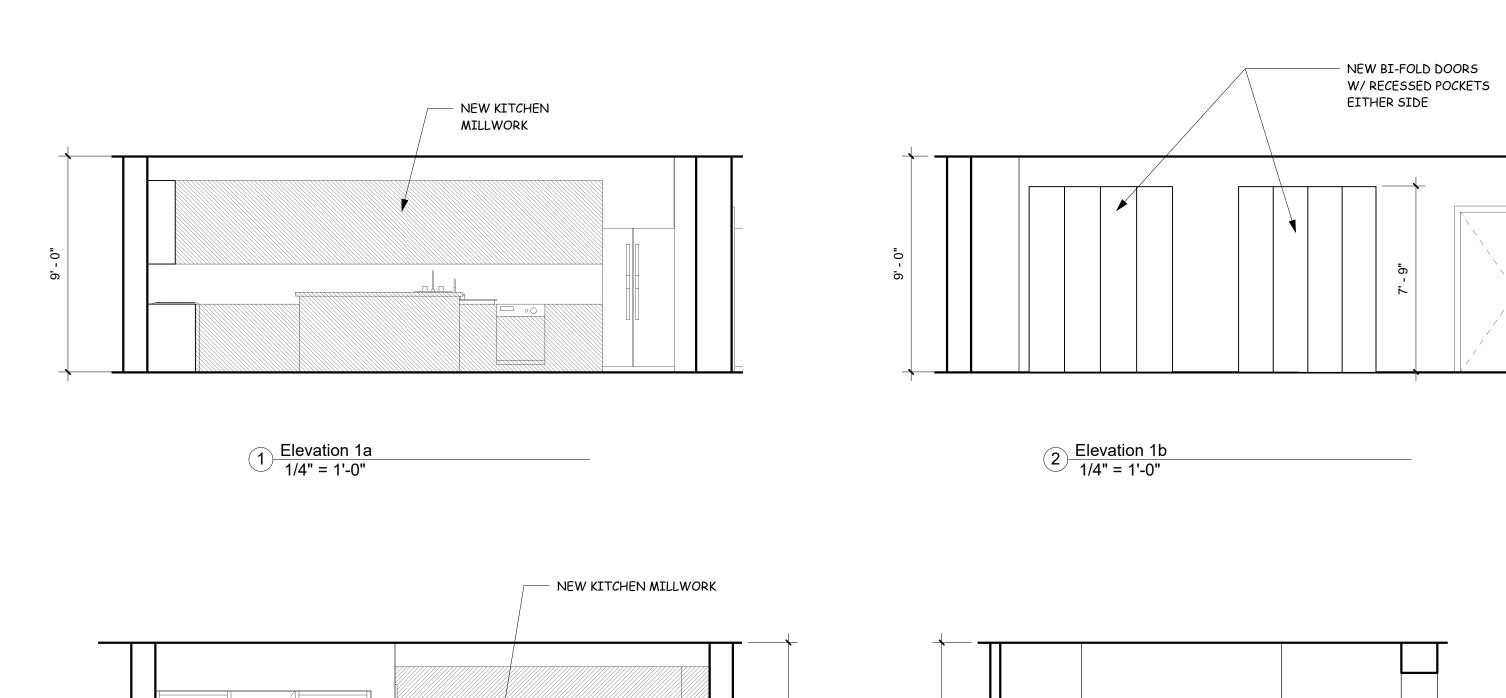
Interior Renovation

11 Chestnut Street
Boston, MA

Basement Interior Elevations

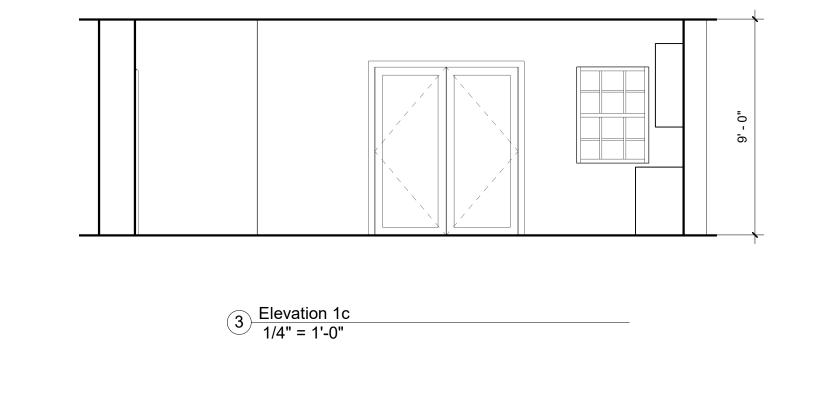
Project Number	2018-009
Date	4.25.18
Drawn By	VJS
Checked By	VJS

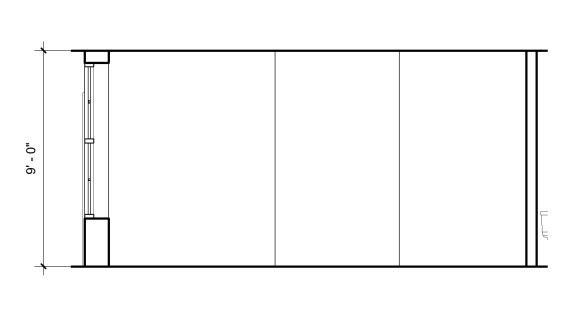
A4.0

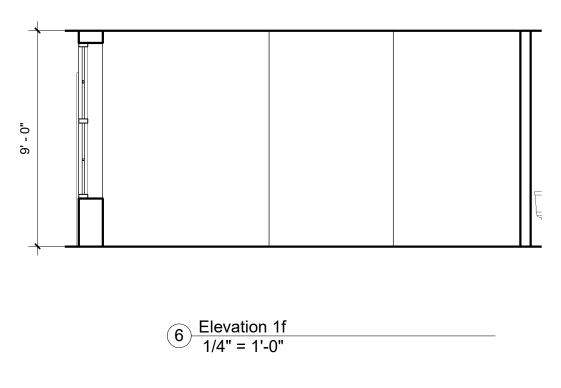


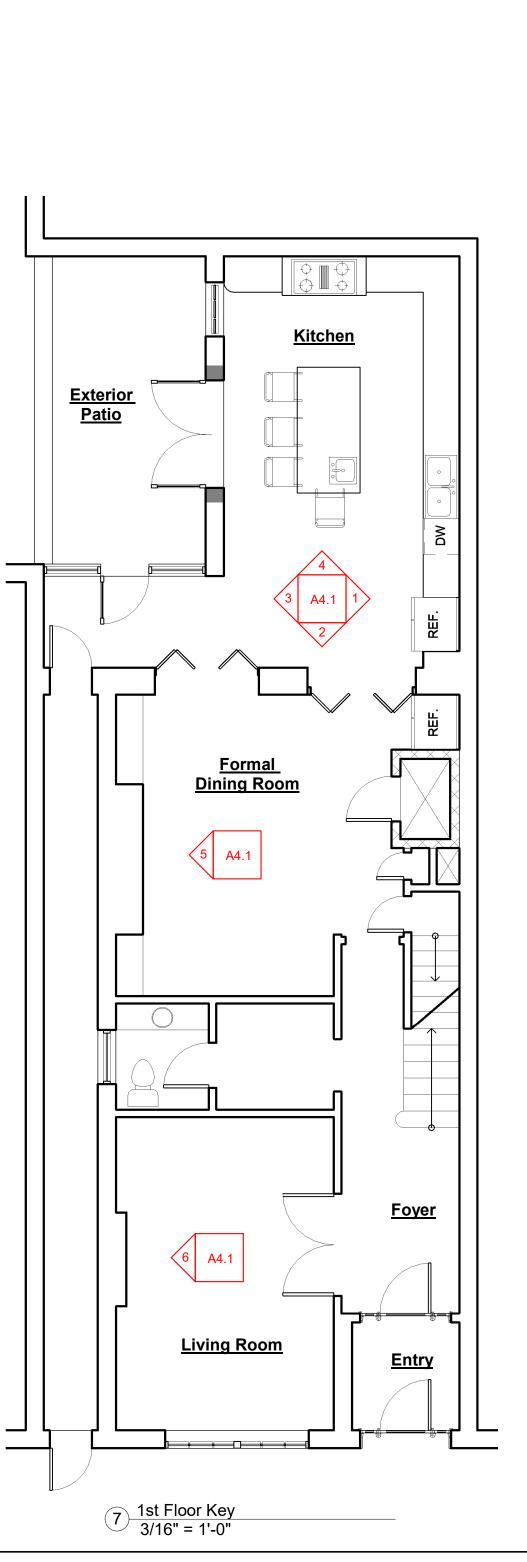
5 Elevation 1e 1/4" = 1'-0"

4 Elevation 1d 1/4" = 1'-0"













No.	Description	Date
1	Issued for Permit	4.25.18

Singh Residence

Interior Renovation 11 Chestnut Street Boston, MA

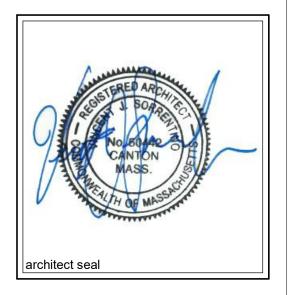
1st Floor Interior Elevations

Project Number	2018-009
Date	4.25.18
Drawn By	VJS
Checked By	VJS
Λ 4	

A4.1







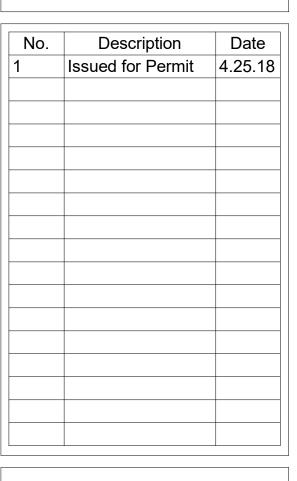
No.	Description	Date
1	Issued for Permit	4.25.1

Project Number	2018-009
Date	4.25.18
Drawn By	VJS
Checked By	VJS







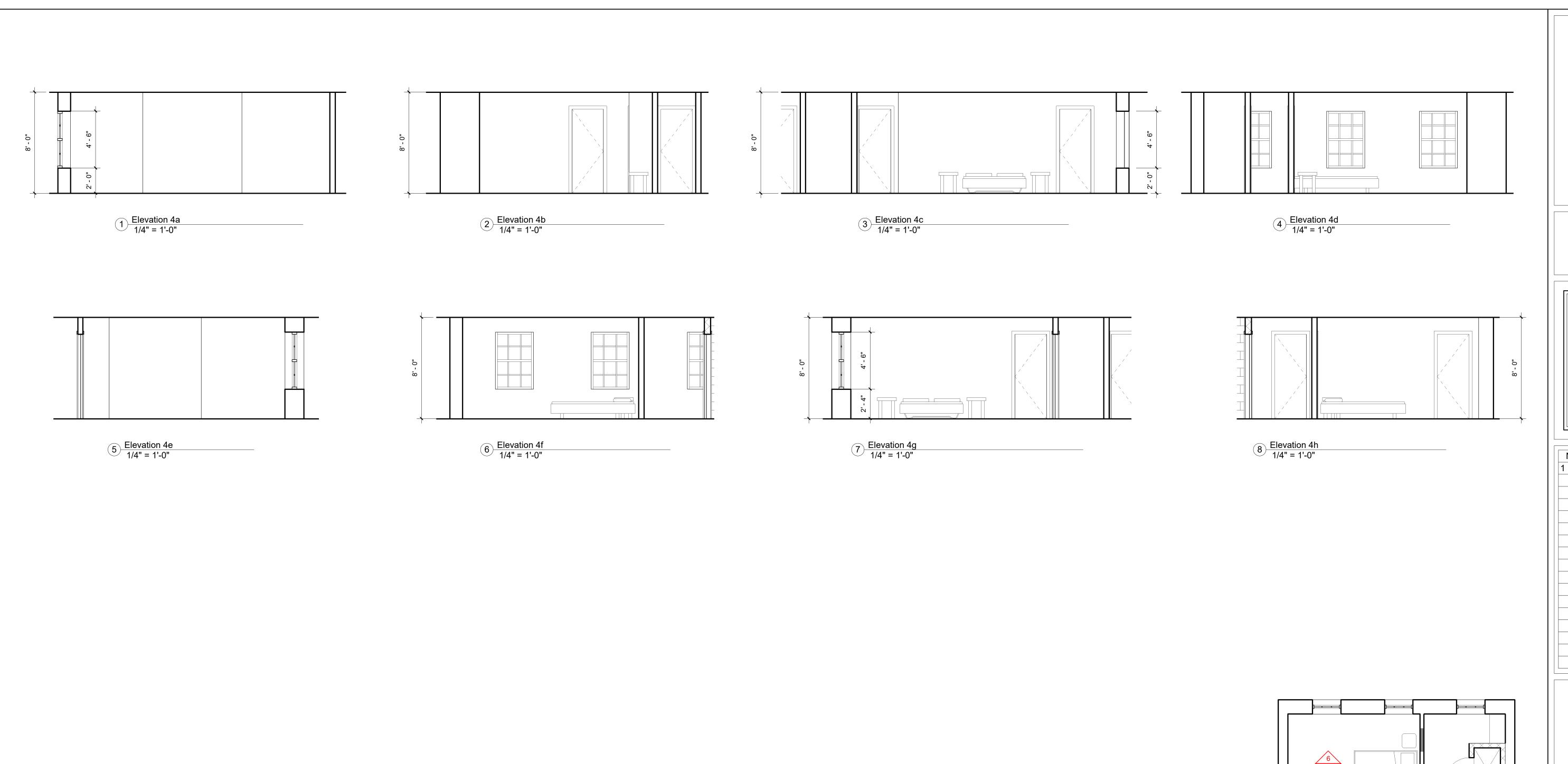


3rd Floor Interior

Project Number	2018-009
Date	4.25.18
Drawn By	VJS
Checked By	VJS
	_

As indicated DO NOT SCALE DRAWING, USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE.

3rd Floor Key 3/16" = 1'-0"







No.	Description	Date
1	Issued for Permit	4.25.18

Singh Residence

Interior Renovation 11 Chestnut Street Boston, MA

4th Floor Interior Elevations

2018-009 Project Number 4.25.18 Date VJS Drawn By VJS Checked By

A4.4

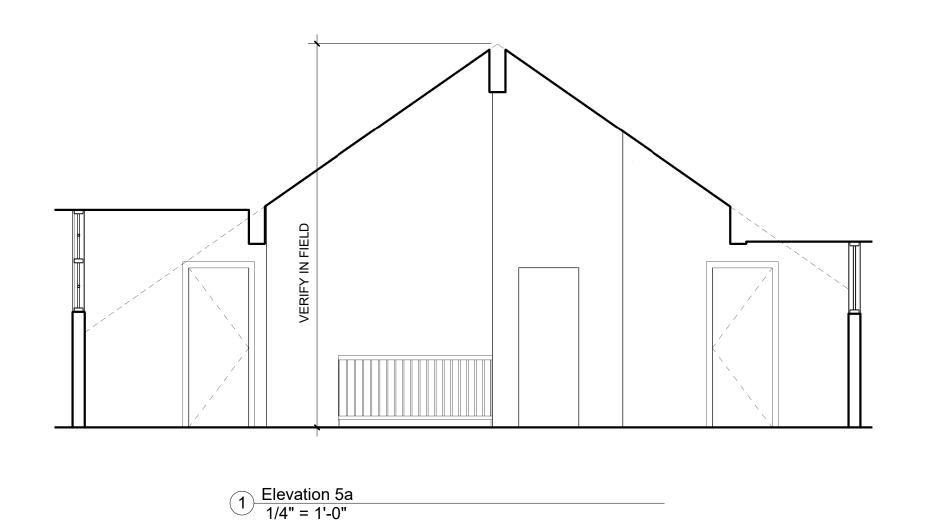
As indicated

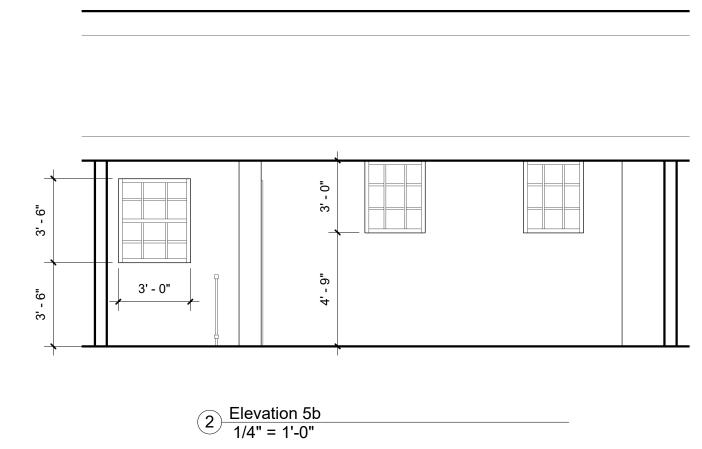
9 4th Floor Key 3/16" = 1'-0" DO NOT SCALE DRAWING, USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE.

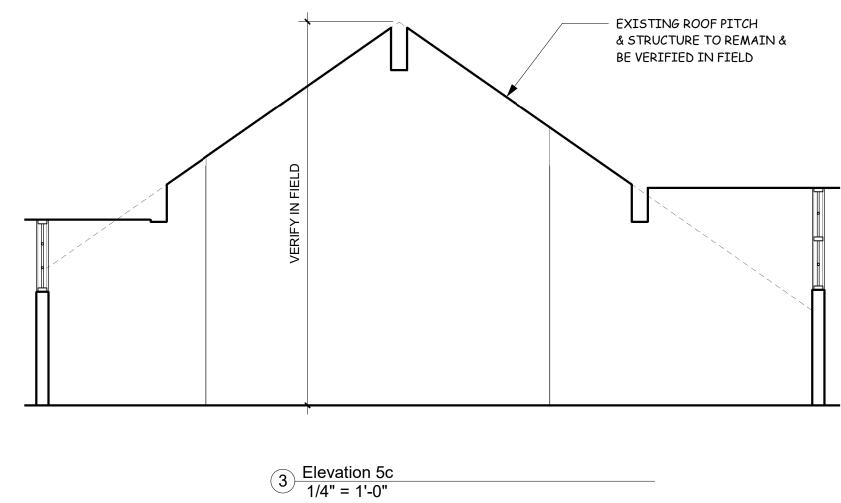
<u>Bathroom</u>

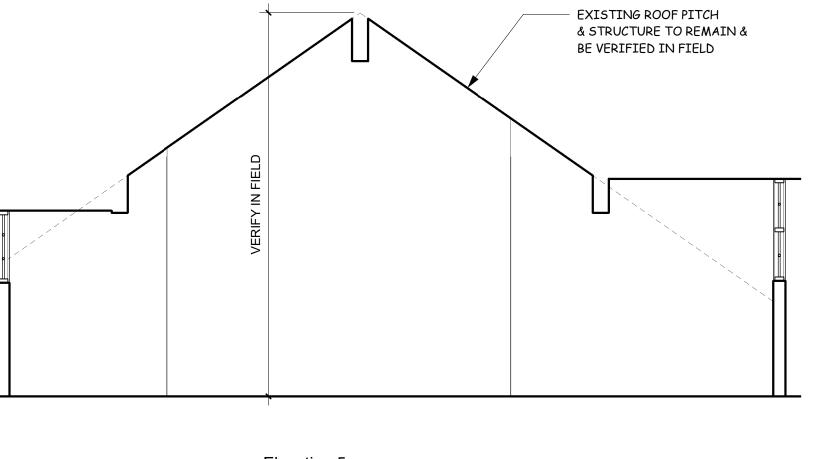
<u>Bedroom</u>

<u>Bedroom</u>



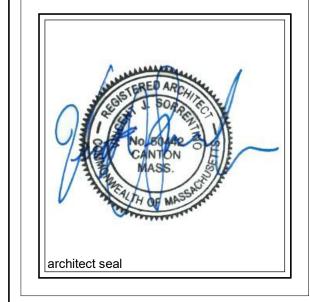




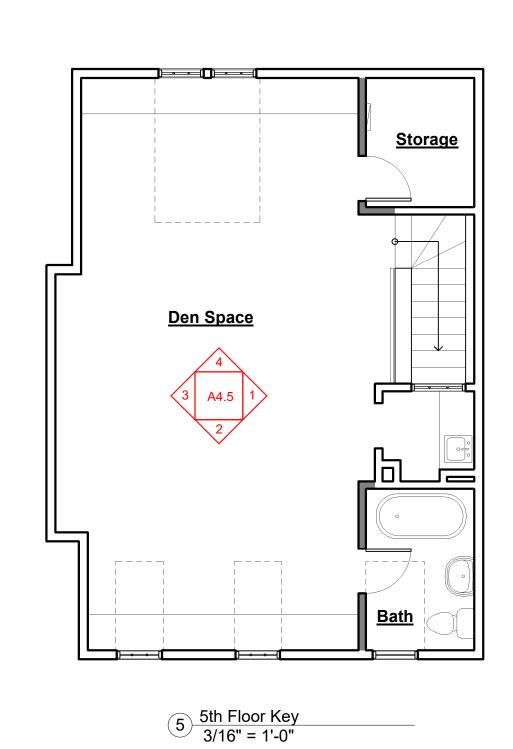




studio



No.	Description	Date
1	Issued for Permit	4.25.1



Singh Residence

Interior Renovation 11 Chestnut Street Boston, MA

5th Floor Interior Elevations

Project Number	2018-009
Date	4.25.18
Drawn By	VJS
Checked By	VJS
Λ 1	E

A4.5

As indicated Scale DO NOT SCALE DRAWING, USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE.

