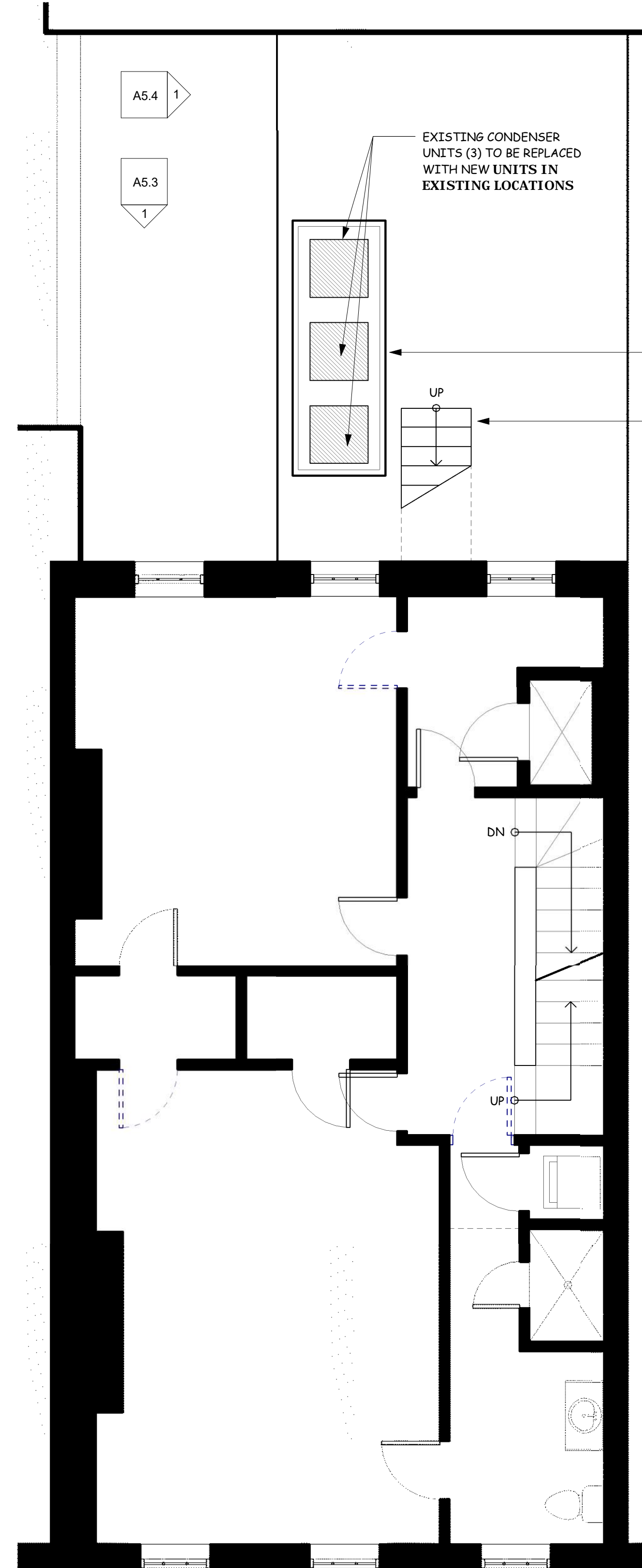


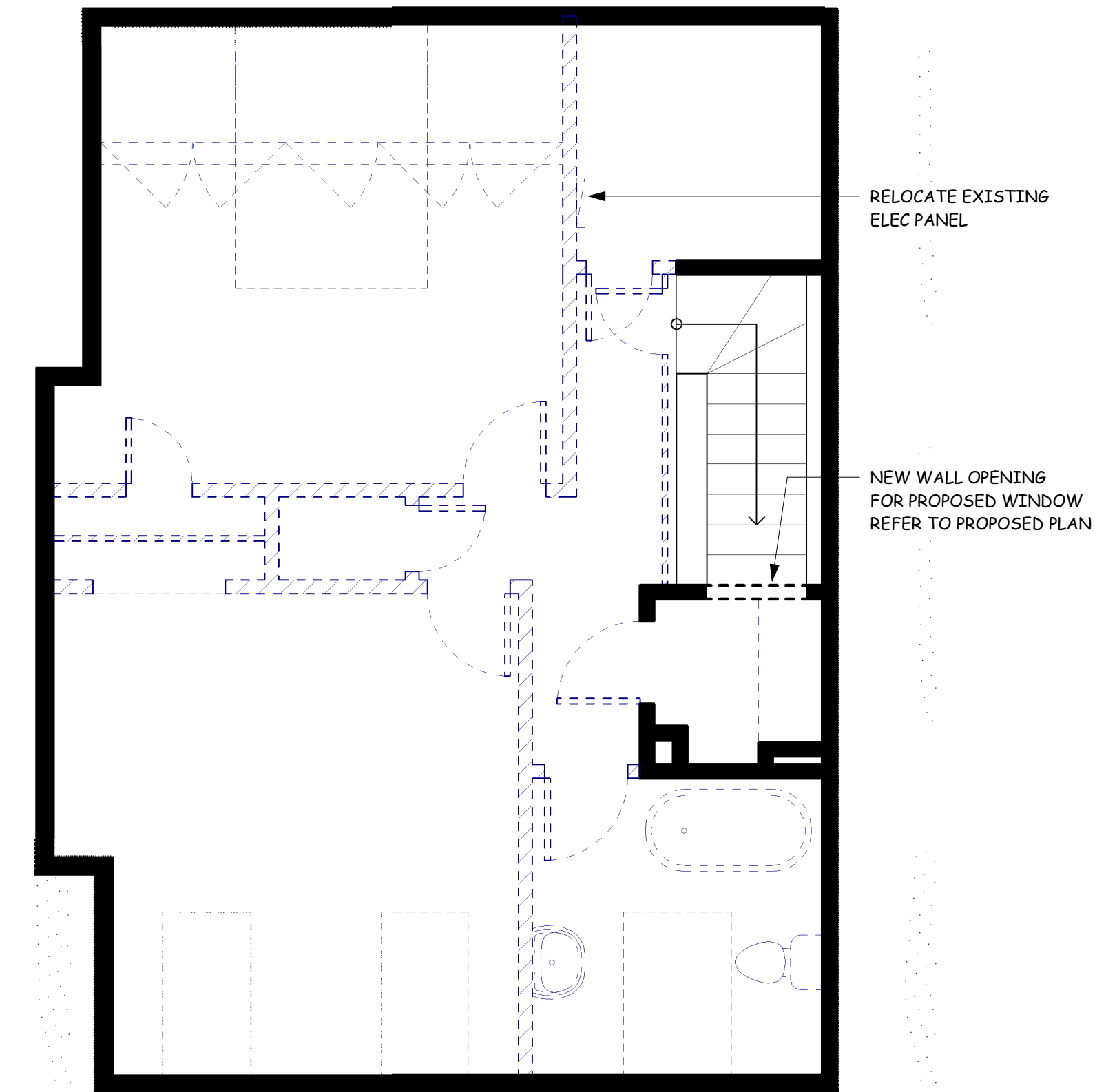
1 Existing 3rd Floor  
1/4" = 1'-0"

Existing Gross Floor Area: 1,356 S.F.



2 Existing 4th Floor  
1/4" = 1'-0"

Existing Gross Floor Area: 1,037 S.F.



3 Existing 5th Floor  
1/4" = 1'-0"

Existing Gross Floor Area: 769 S.F.

## DEMOLITION NOTES

1. REMOVE ALL EXISTING FINISHES & REPAIR & PREPARE ALL SURFACES FOR FINISHES
2. MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.
3. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK.
4. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED.
5. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHINGS TO BE DEMOLISHED.
6. ALL WALLS, DOORS, WINDOWS, FURNISHINGS AND EQUIPMENT DENOTED WITH DASHED LINES ARE TO BE REMOVED. REFER TO PROPOSED PLAN LAYOUT FOR CLARIFICATION.
7. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.
8. PRIOR TO THE START OF DEMOLITION WORK GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND TEMPORARY RELOCATION OF ALL LIFE SAFETY SYSTEMS INCLUDING FIRE/SMOKE ALARM AS REQUIRED DURING DEMOLITION AND CONSTRUCTION PHASES.
10. ALL EXISTING SIDING, TRIM, FASCIA BOARDS, RAKE BOARDS, CORNER COARDS, ETC IS TO BE REMOVED AND REPLACE WITH NEW PVC.
11. ALL EXISTING WINDOWS & DOORS INTERIOR & EXTERIOR ARE TO BE REMOVED. REFER TO PROPOSED PLAN LAYOUT FOR CLARIFICATION.
12. ALL EXISTING ROOF SHINGLES ARE TO BE REMOVED & REPAVED WITH NEW PER PLAN.
13. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS.

**EXISTING TO REMAIN**

**EXISTING TO BE REMOVED**



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No.	Description	Date
1	Issued for Permit	4.25.18
2	Plan Revisions	8.1.18
3	Civic Submission	8.30.18

Singh Residence  
Interior Renovation  
11 Chestnut Street  
Boston, MA

### Existing/Demo Floor Plans

Project Number	2018-009
Date	8.30.18
Drawn By	VJS
Checked By	VJS

# A1.1

Scale 1/4" = 1'-0"

DO NOT SCALE DRAWING. USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE.

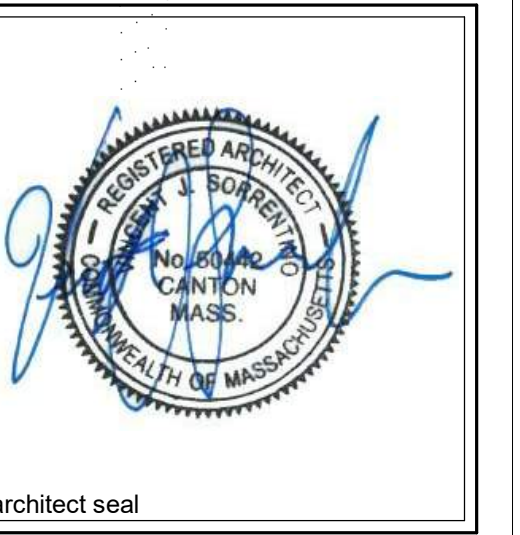
**FAR CALCULATIONS Existing & Proposed FAR is Non-Conforming**

Total Existing Gross Floor Area = 5,809 sqft    Total Lot Size = 1,740 sqft    Existing FAR = 5,809 / 1,740 = 3.34    Max FAR Allowable by Zoning Code for H-2 District = 2.0

Total Proposed Gross Floor Area = 6,603 sqft    Total Lot Size = 1,740 sqft    Proposed FAR = 6,603 / 1,740 = 3.79    Max FAR Allowable by Zoning Code for H-2 District = 2.0



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No.	Description	Date
1	Issued for Permit	4.25.18
2	BHAC-Updated	7.9.18
3	Plan Revisions	8.1.18
4	Civic Submission	8.30.18

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Interior Renovation  
11 Chestnut Street  
Boston, MA

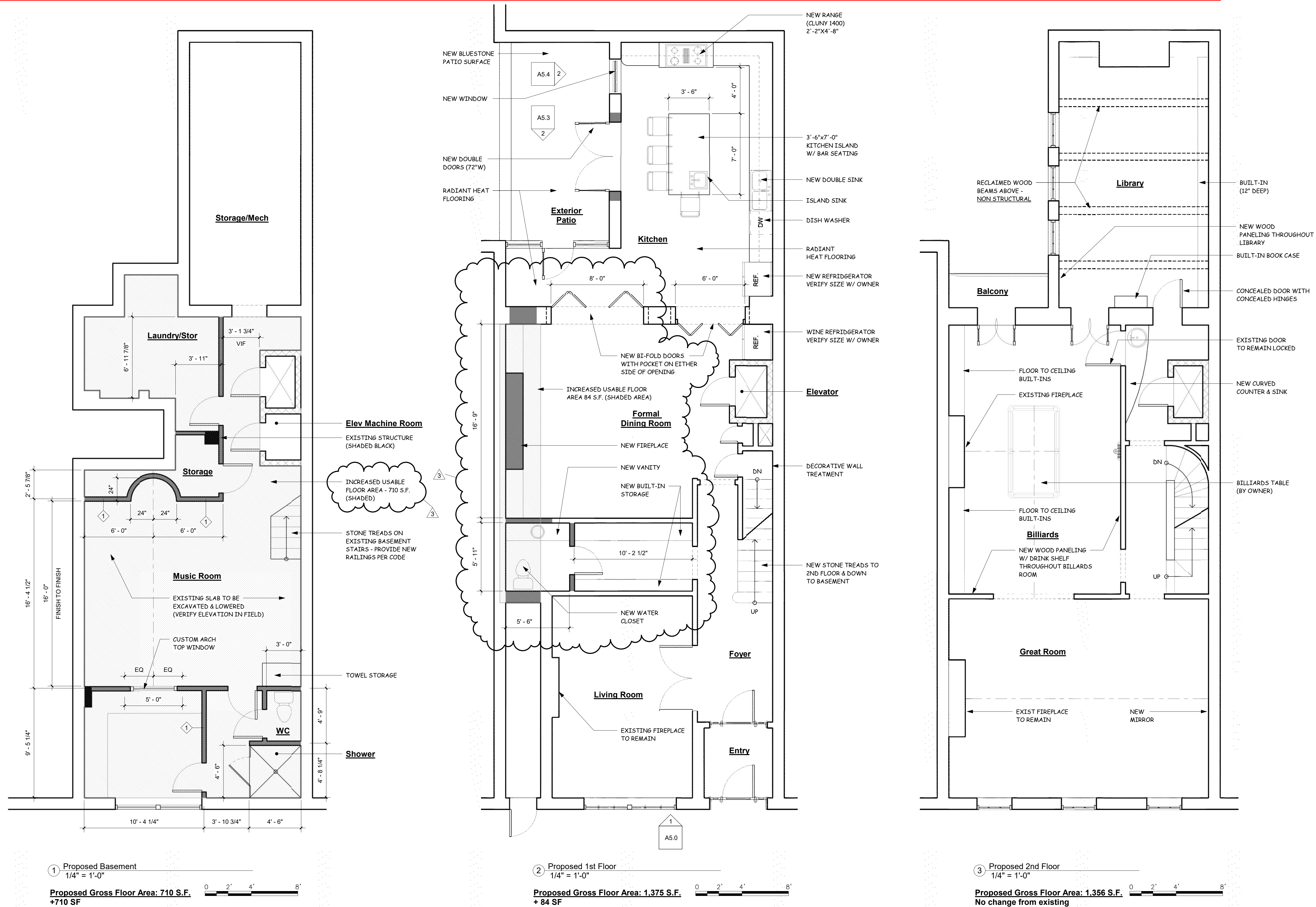
**Proposed Floor Plans**

Project Number	2018-009
Date	8.30.18
Drawn By	VJS
Checked By	VJS

**A2.0**

Scale 1/4" = 1'-0"

DO NOT SCALE DRAWING. USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE.



1 Proposed Basement  
1/4" = 1'-0"  
Proposed Gross Floor Area: 710 S.F.  
+710 SF

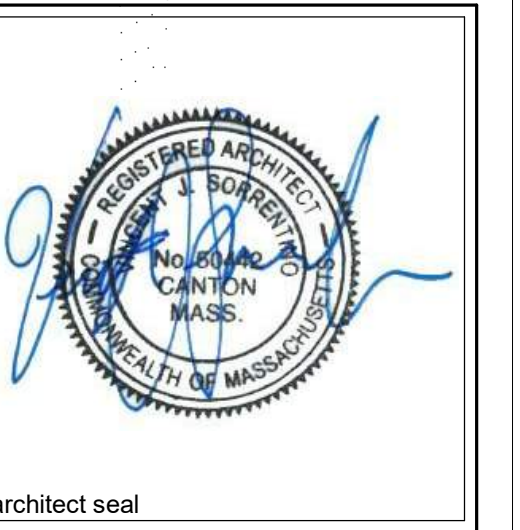
2 Proposed 1st Floor  
1/4" = 1'-0"  
Proposed Gross Floor Area: 1,375 S.F.  
+ 84 SF

3 Proposed 2nd Floor  
1/4" = 1'-0"  
Proposed Gross Floor Area: 1,356 S.F.  
No change from existing



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No.	Description	Date
1	Issued for Permit	4.25.18
2	BHAC-Updated	7.9.18
3	Plan Revisions	8.1.18
4	Civic Submission	8.30.18

### Singh Residence

#### Interior Renovation

11 Chestnut Street  
Boston, MA

### Proposed Floor Plans

Project Number 2018-009

Date 8.30.18

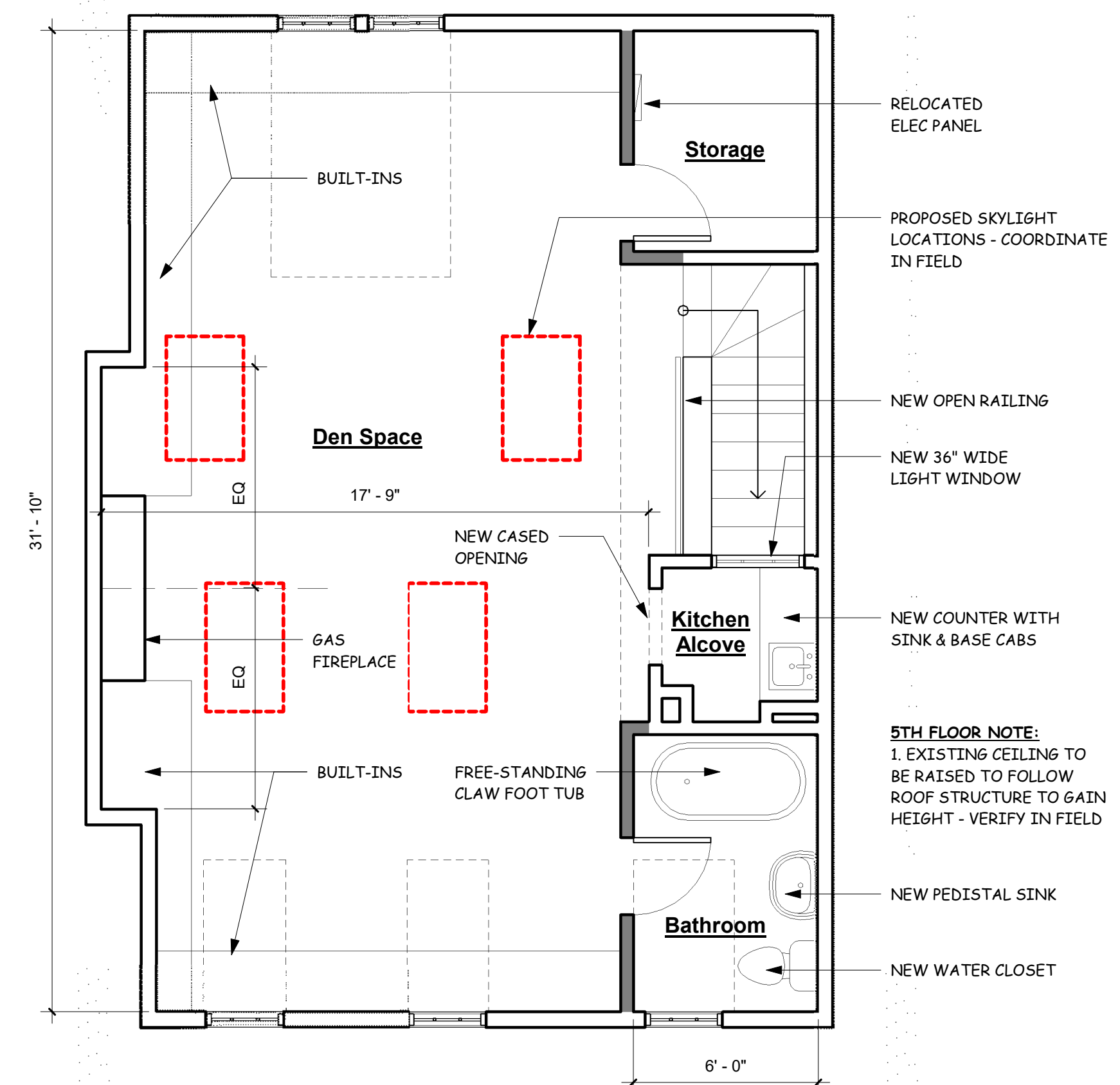
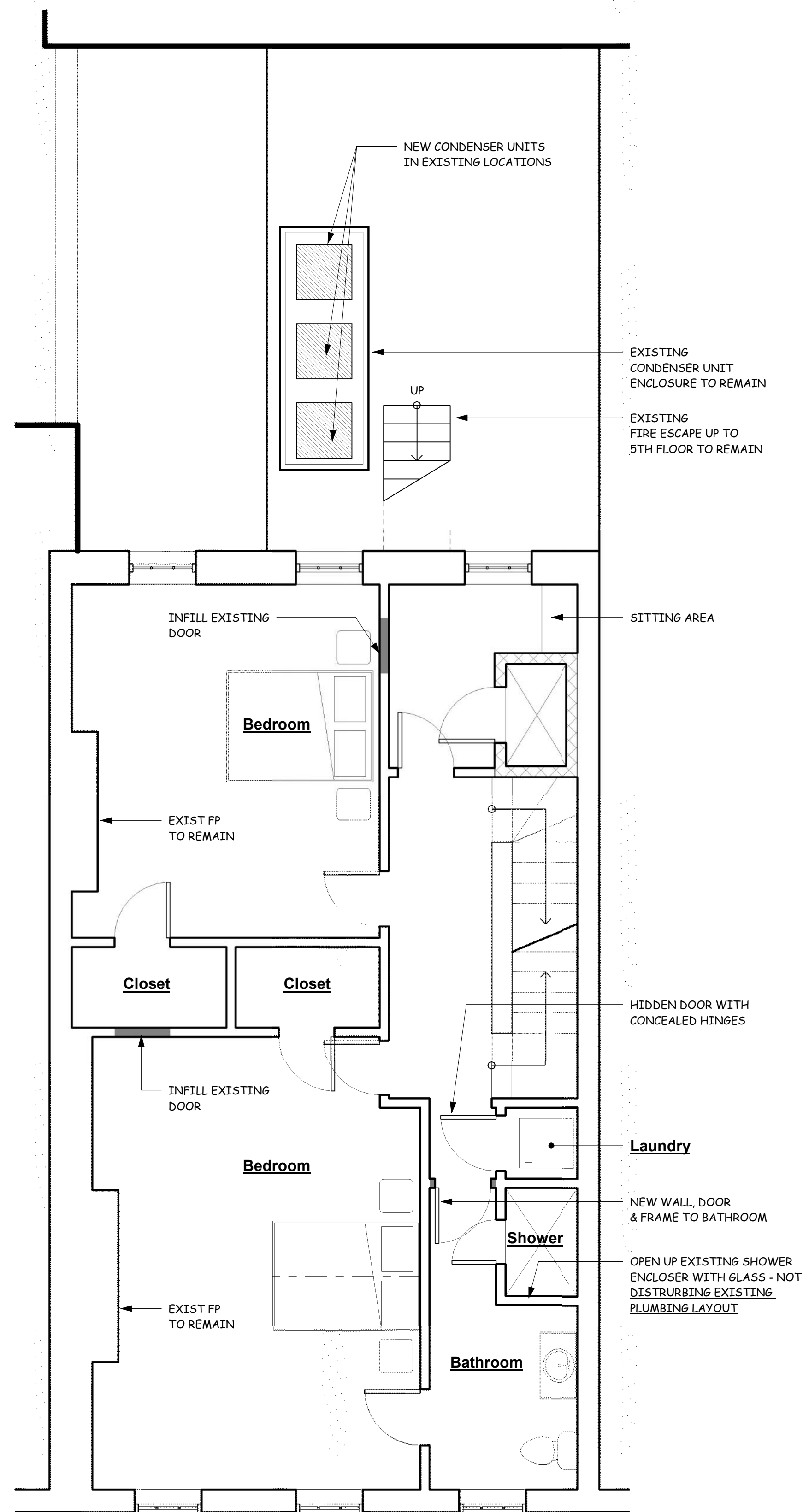
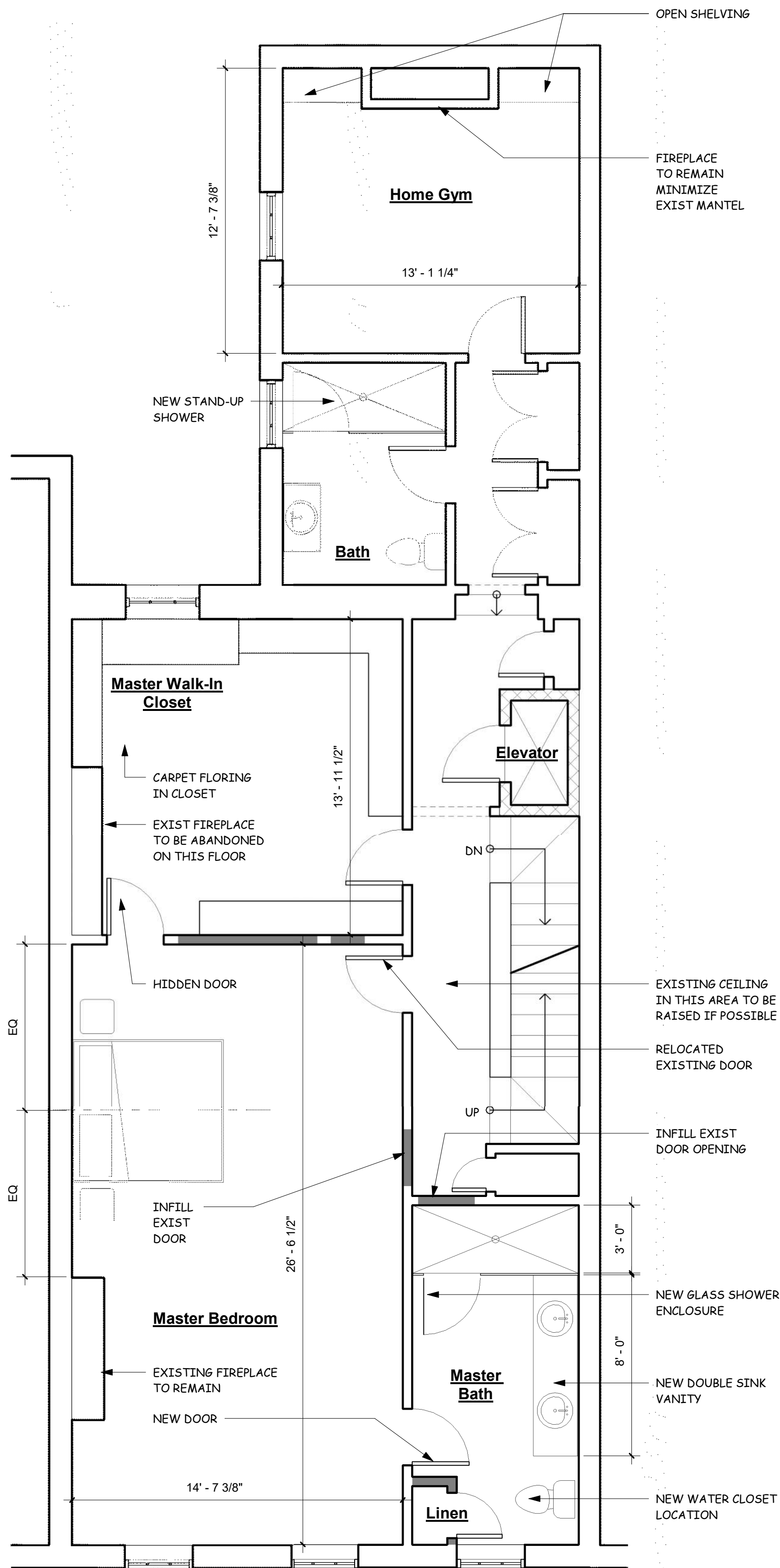
Drawn By VJS

Checked By VJS

# A2.1

Scale 1/4" = 1'-0"

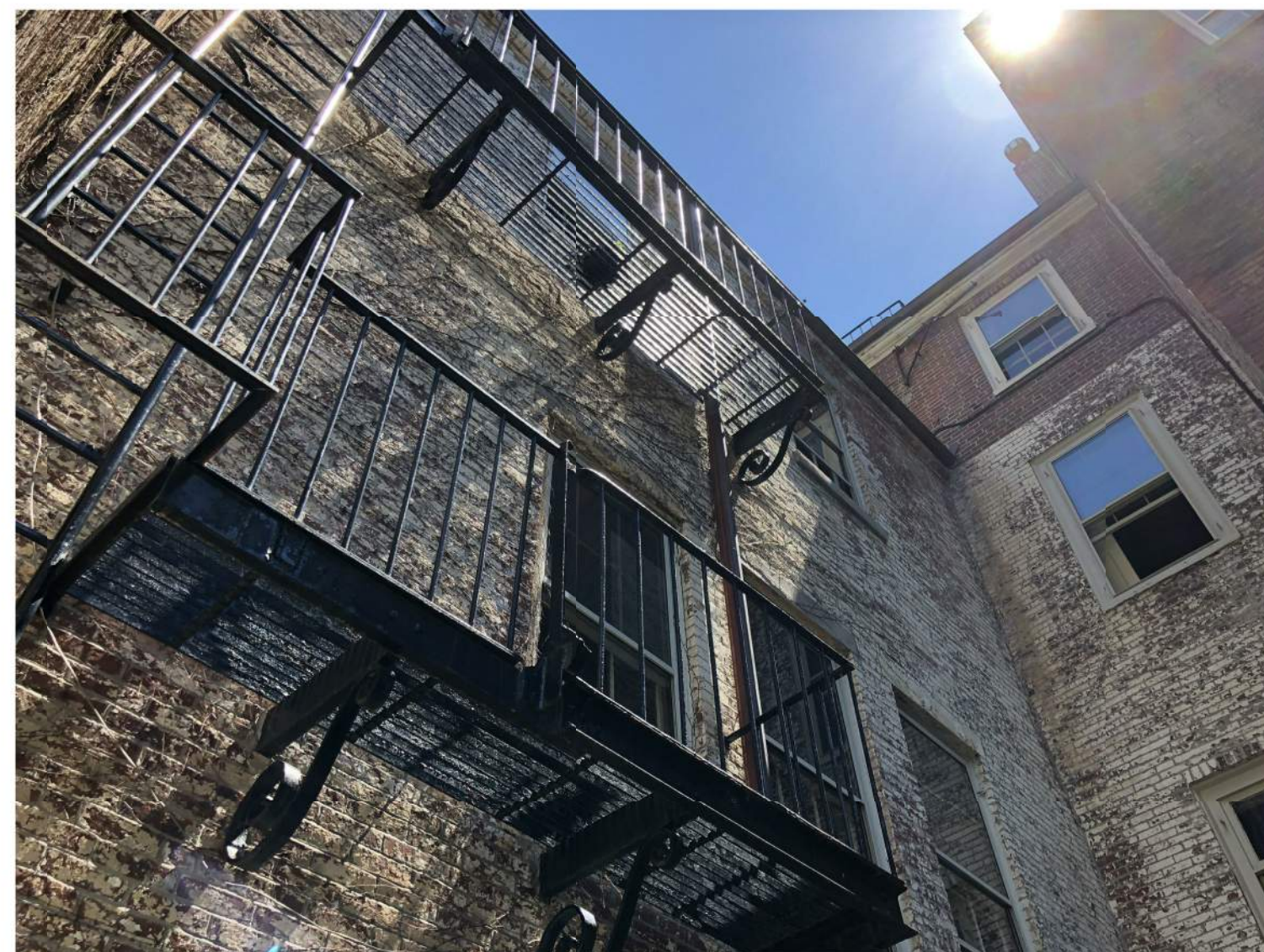
DO NOT SCALE DRAWING. USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE.



1 Proposed 3rd Floor  
1/4" = 1'-0"  
Proposed Gross Floor Area: 1,356 S.F.  
No change from existing

2 Proposed 4th Floor  
1/4" = 1'-0"  
Proposed Gross Floor Area: 1,037 S.F.  
No change from existing

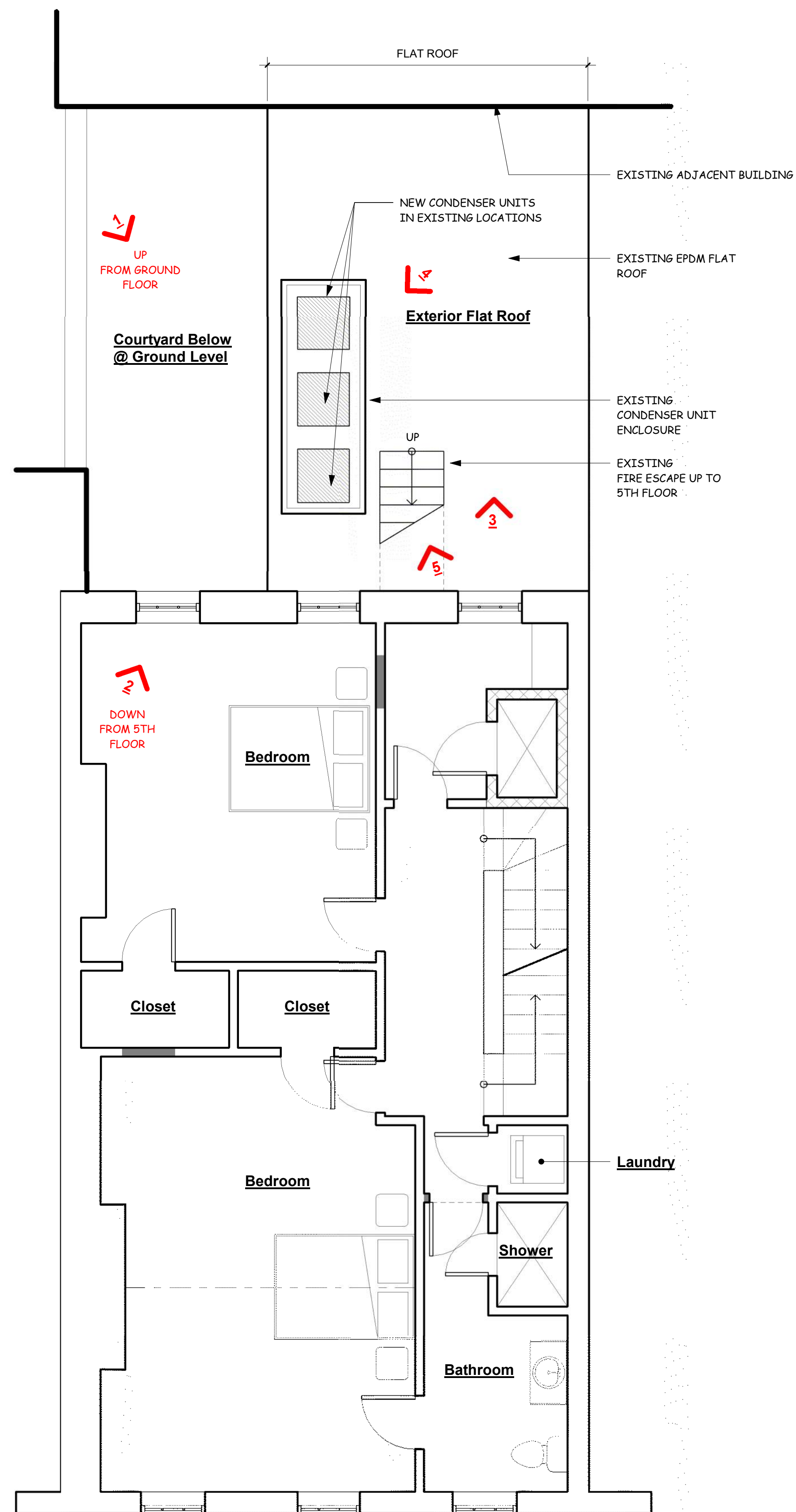
3 Proposed 5th Floor  
1/4" = 1'-0"  
Proposed Gross Floor Area: 769 S.F.  
No change from existing



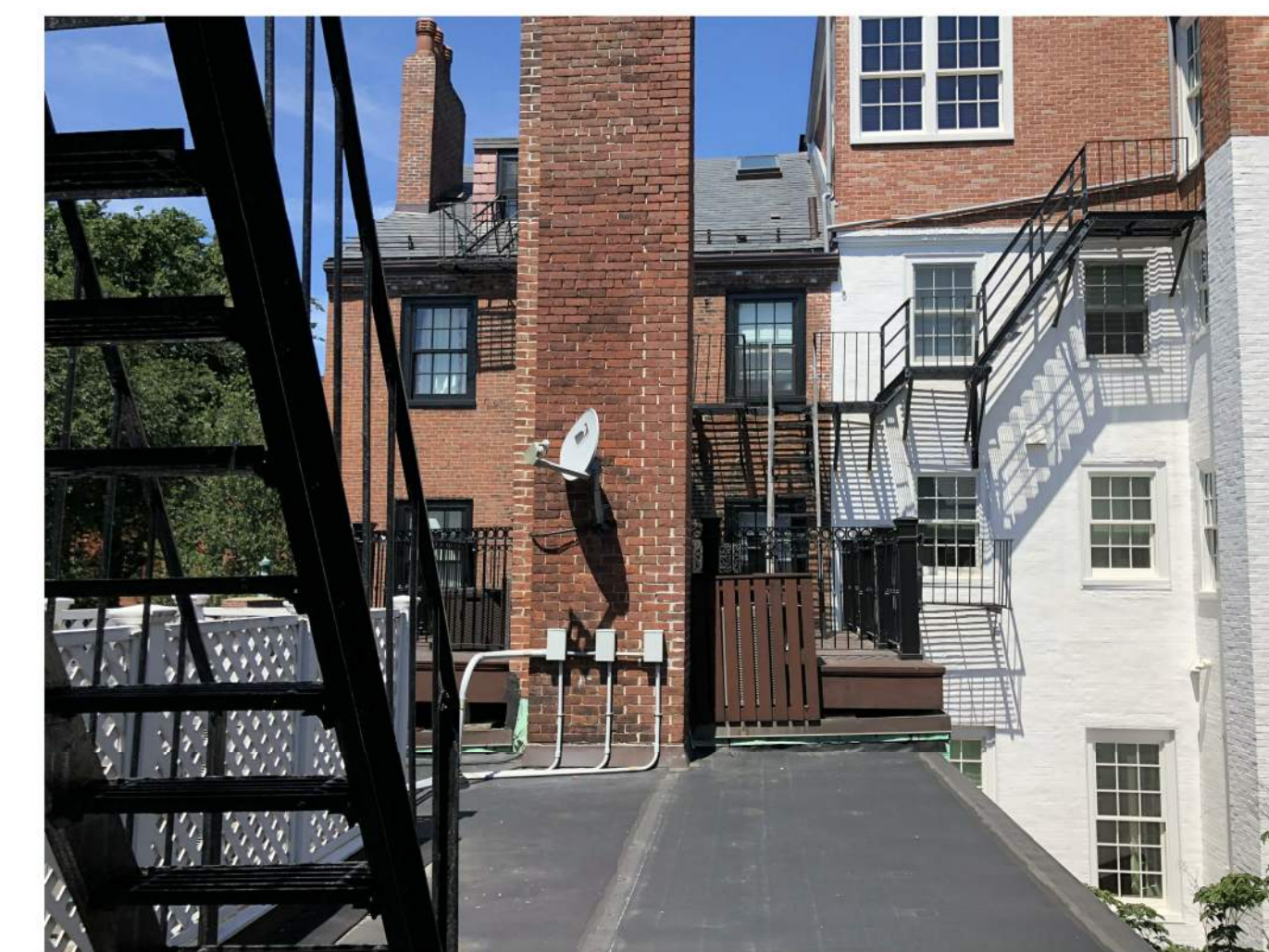
1) View from ground level courtyard up to 4th floor



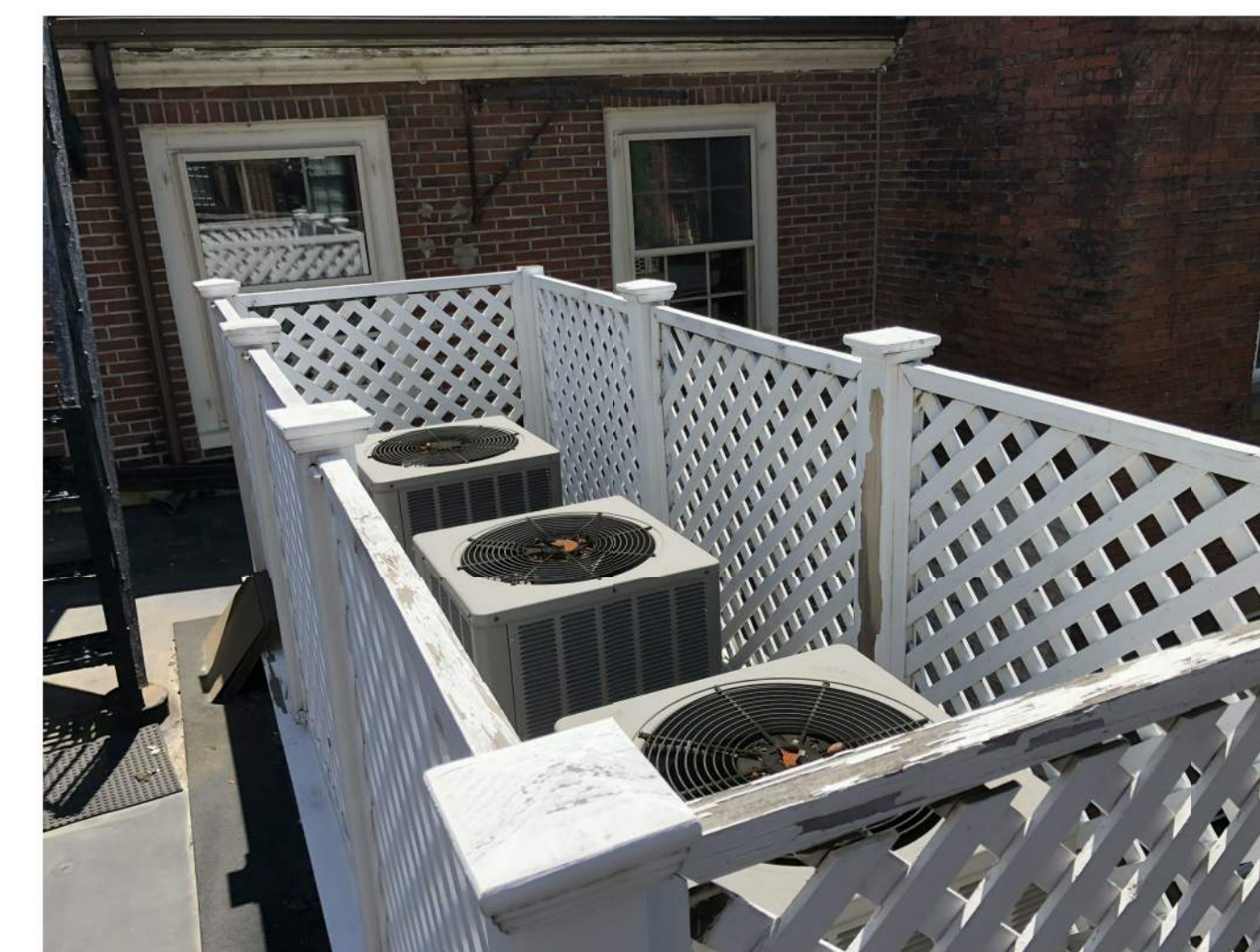
2) View from 5th floor down to 4th floor



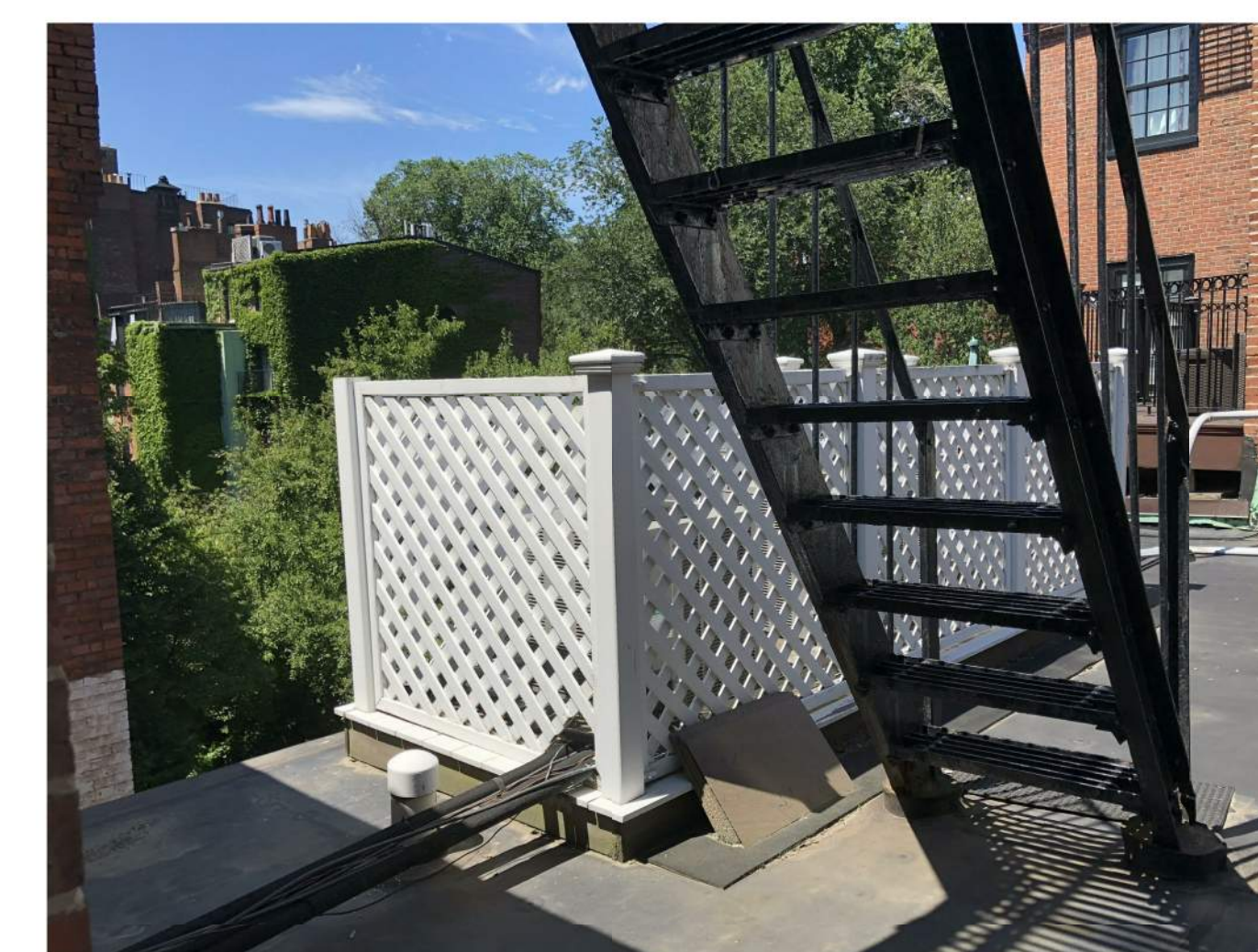
1 Proposed 4th Floor (Mechanical Location)  
1/4" = 1'-0"



3) View from 4th floor window



4) Condenser units from roof



5) Condenser units from roof



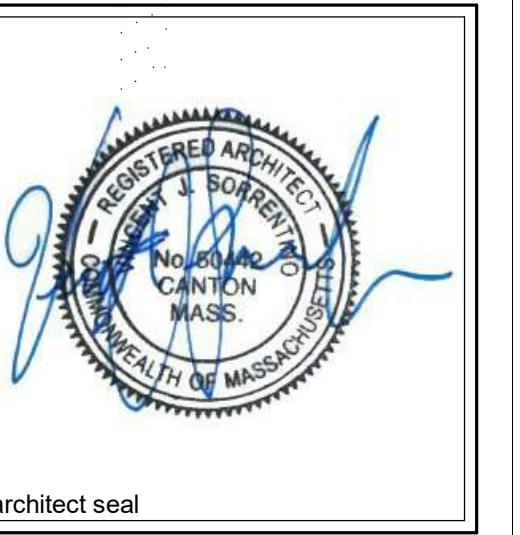
No.	Description	Date
1	Exist RTU's	8.15.18
2	Civic Submission	8.30.18

Project Number	2018-009
Date	8.30.18
Drawn By	VJS
Checked By	VJS

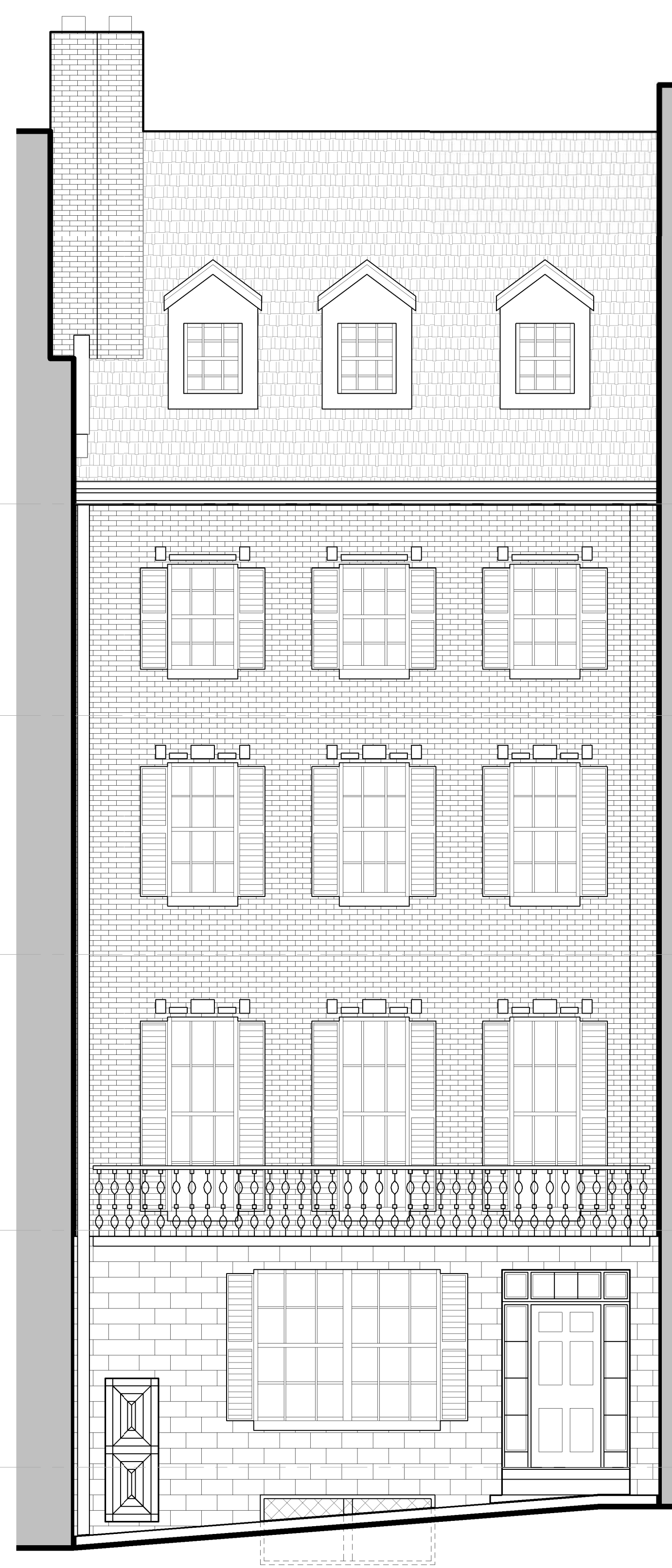


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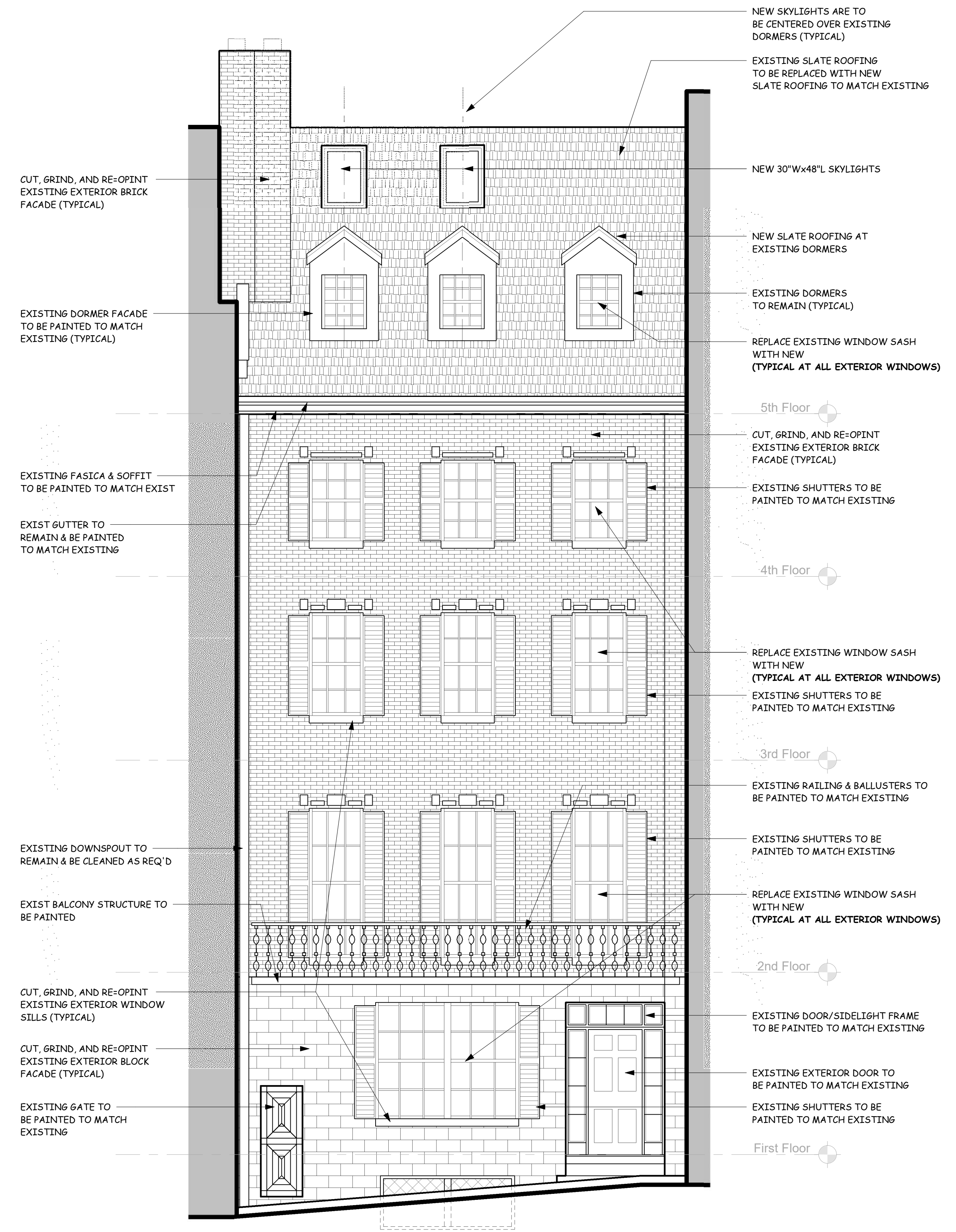
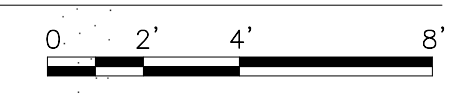
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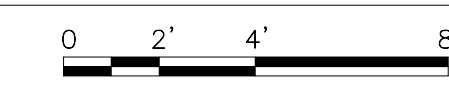
No.	Description	Date
1	BHAC-Updated	7.9.18
2	Civic Submission	8.30.18



1 Existing Chestnut Street Elevation  
1/4" = 1'-0"



2 Proposed Chestnut Street Elevation  
1/4" = 1'-0"



Singh Residence

Interior Renovation  
11 Chestnut Street  
Boston, MA

Chestnut Street Elevation

Project Number	2018-009
Date	8.30.18
Drawn By	VJS
Checked By	VJS

A5.2

Scale 1/4" = 1'-0"

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No.	Description	Date
1	BHAC-Updated	7.9.18
2	Civic Submission	8.30.18

### Singh Residence

#### Interior Renovation

11 Chestnut Street  
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### Exterior Elevations (Rear)

Project Number 2018-009

Date 8.30.18

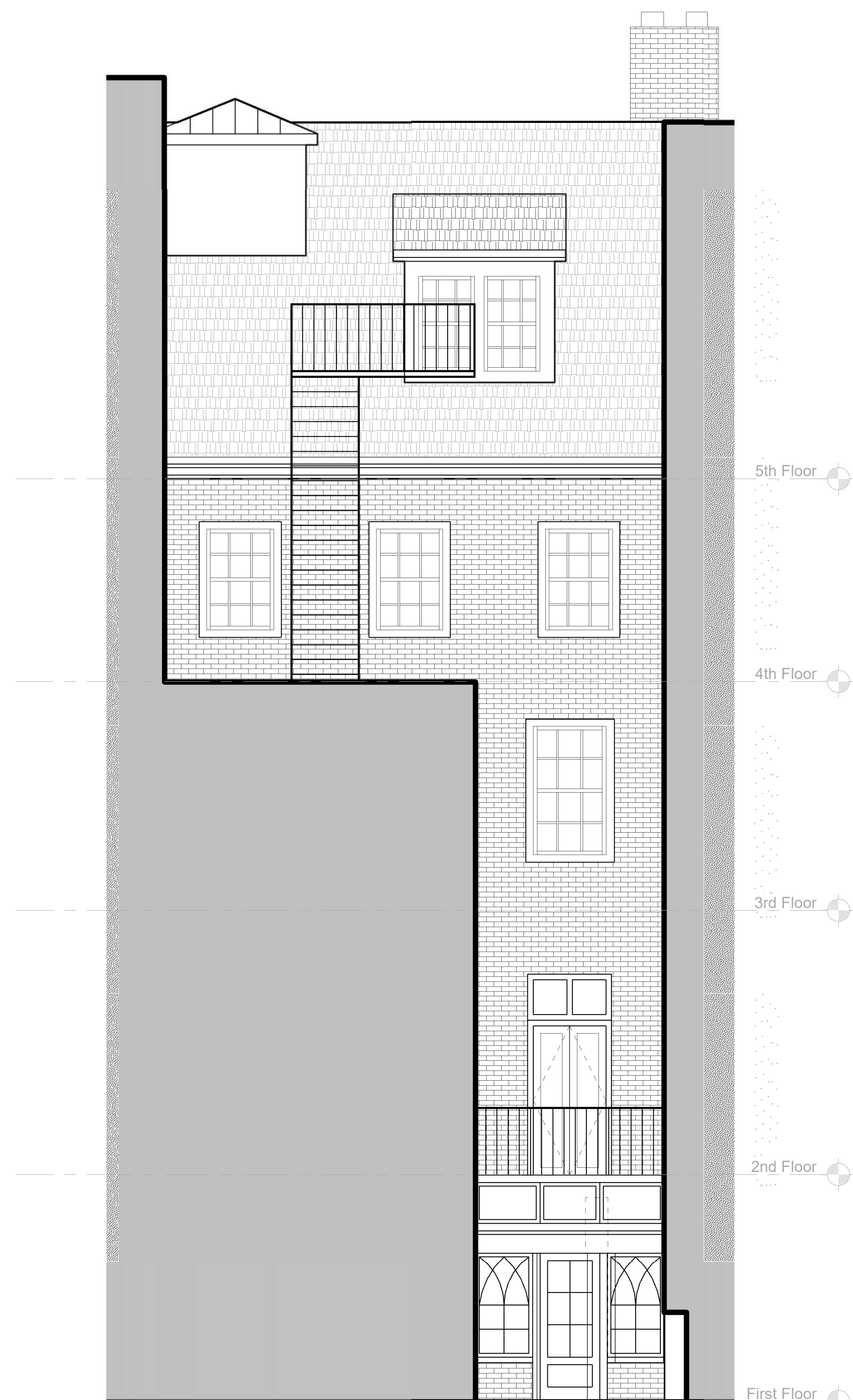
Drawn By VJS

Checked By VJS

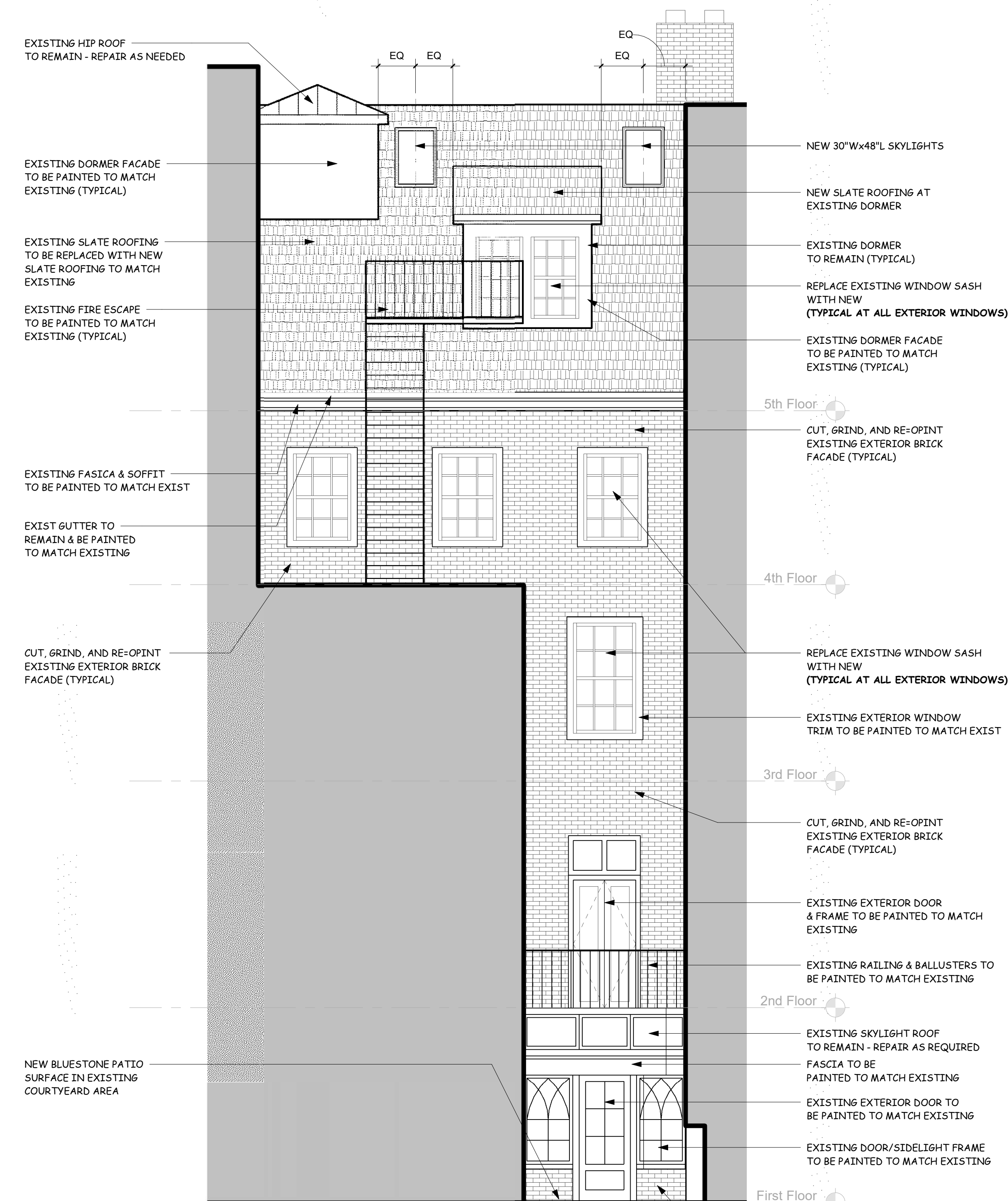
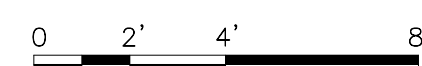
# A5.3

Scale 1/4" = 1'-0"

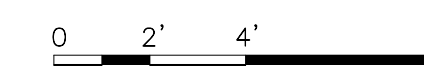
DO NOT SCALE DRAWING. USE DIMENSIONS SHOWN.  
VERIFY ALL DIMENSIONS ON SITE.



1 Existing Rear Elevation  
1/4" = 1'-0"

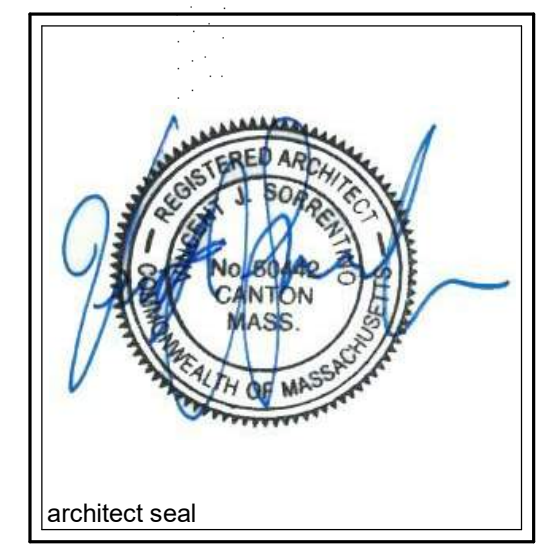


2 Proposed Rear Elevation  
1/4" = 1'-0"



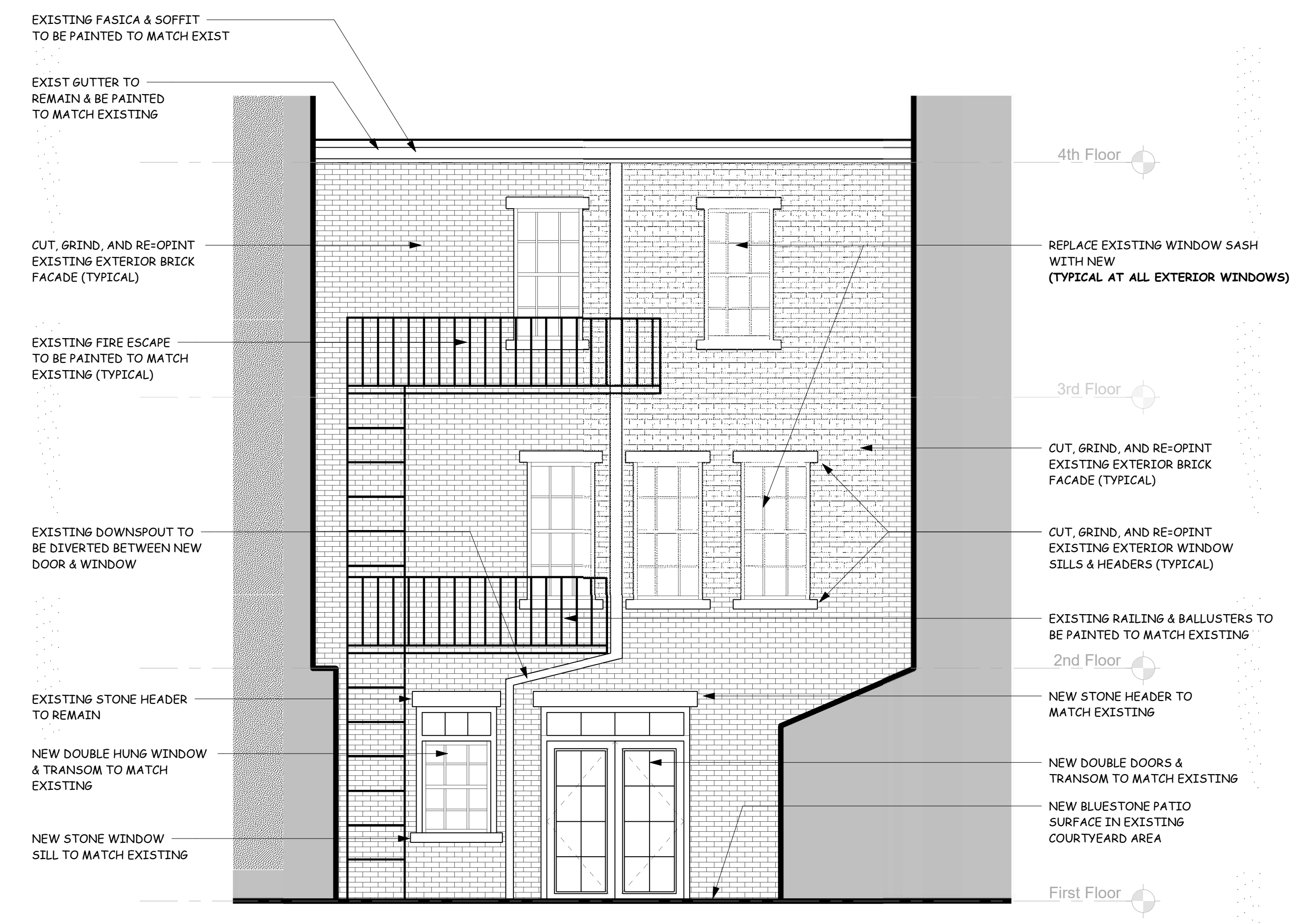


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EXISTING DOORS & FRAMES  
TO BE REMOVED (DASHED)

① Existing Rear Side Elevation  
1/4" = 1'-0"  
0 2' 4' 8'



② Proposed Rear Side Elevation  
1/4" = 1'-0"  
0 2' 4' 8'

No.	Description	Date
1	BHAC-Updated	7.9.18
2	Civic Submission	8.30.18

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Interior Renovation  
11 Chestnut Street  
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Exterior Elevations (Rear-Side)

Project Number	2018-009
Date	8.30.18
Drawn By	VJS
Checked By	VJS

**A5.4**

Scale 1/4" = 1'-0"

DO NOT SCALE DRAWING. USE DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS ON SITE.